

OCONEE COUNTY PLANNING COMMISSION

415 South Pine Street - Walhalla, SC



TEL (864) 638-4218 FAX (864) 638-4168

COMMISSION MEMBERS

Mike Smith, District I

Alex Vassey, District III

Gary Gaulin, Vice-Chairman, District V

Pat Williams, At-Large

David Nix, District II

Frankie Pearson, Chairman, District IV

Mike Johnson, At-Large

AGENDA

5:00 pm, Monday, April 4, 2022

Council Chambers - Oconee County 415 S Pine St, Walhalla SC 29691

1. Call to Order
2. Invocation
3. Pledge of Allegiance
4. Approval of minutes from March 21, 2022
5. Public Comment for Non-Agenda Items (4 minutes per person)
6. Commission Member Comments
7. Staff Comments
8. Active Subdivisions under review
 - a. Public comment
 - b. Update
9. Sidewalk subcommittee update; Chapter 26-3, q,
 - a. Public comment
 - b. Discussion/ vote
10. Flag lot policy review
 - a. Public comment
 - b. Update
11. Adjourn

If you are not able to attend in person and you have a comment, you may submit it by contacting the Planning Department at planninginfo@oconeesc.com or 864-638-4218, so that we may receive your comment and read it into the record. Meetings available on YouTube: "YourOconee"

OCONEE COUNTY PLANNING COMMISSION

415 South Pine Street - Walhalla, SC



TEL (864) 638-4218 FAX (864) 638-4168

Minutes

5:00 pm- Monday, March 21, 2022

Council Chambers - Oconee County Administrative Complex

Members

Gary Gaulin
Frankie Pearson
Mike Johnson (absent)
Pat Williams

Mike Smith
David Nix
Alex Vassey

Staff Present

James Coley, Planning Director
Vivian Kompier, Senior Planner
David Root, County Attorney

Media Present – Lauren Pierce, The Journal

1. Call to order – Mr. Pearson called meeting to order at 5:00 PM.
2. Invocation was led by Mr. Root.
3. Pledge of Allegiance was led by Mr. Gaulin.
4. Approval of minutes from February 24, 2022 – Mr. Williams made a motion to approve the minutes; seconded by Mr. Nix. Approved unanimously 6/0.
5. Public comment (non-agenda items): None
6. Commission member comments:
 - a. Mr. Williams mentioned that development is out of control.
 - b. Mr. Gaulin mentioned that he attended an OJRSA meeting and it was very informative. Mr. Gaulin also attended the Fair Play master plan meeting, the meeting was well attended by the community.
7. Staff comments: None
8. Discussion by County Attorney regarding procedural / parliamentary issues: Mr. Root explained the Model Rules of Parliamentary Procedure for South Carolina Counties and answered board member questions.
9. County “Junkyard” Ordinance subcommittee

- a. Public comment: Mr. Jake Marcengill spoke about his junkyard calling it “The Junkyard” and explained that there is difference between junkyards and storage facilities.
 - b. Update:

Mr. Gaulin updated the commission with a handout (attached).

Mr. Smith said that it was a very cordial meeting and that all members recognized the need and that Mr. Travis Nix will do some outreach.

Mr. Williams would like to “fine tune” the definition of the word “junkyard”.

Mr. Nix agreed with Mr. Williams.
10. County Junkyard Letter to County Council
- a. Public comment: None
 - b. Discussion/ vote:

Mr. Smith made a motion that no letter or Planning Commission contact be made with the County Council regarding the junk yard subject until the junk yard sub-committee makes their final report to the Planning Commission. Mr. Gaulin seconded the motion. Much discussion followed by a 3/3 vote with the motion failing.

Mr. Gaulin asked for a roll call vote with the following results: Mr. Vassey – opposed, Mr. Smith - in favor, Mr. Williams – in favor, Mr. Pearson – opposed, Mr. Gaulin in favor, Mr. Nix – opposed.

Mr. Pearson made a motion to send a letter to Council asking for their approval/denial to work on the junkyard ordinance. Motion was seconded by Mr. Nix. Discussion followed. Motion failed 2/4 with Mr. Smith, Mr. Gaulin, Mr. Vassey, and Mr. Williams opposing.
11. HWY 123 Curb Cut and Aux turn Lane Ordinance subcommittee
- a. Public comment: None
 - b. Update:

Mr. Smith gave an update of the meeting that was on March 10th as well as mentioned that the next meeting will be April 12th. The people that attended were himself, Mr. Gaulin, Mr. Coley, Mr. Markovich, and an interested citizen. PED met June 1st, 2021 directing the Planning Commission to address curb cuts. Mr. Smith showed a map of “miracle mile” (attached).
12. Sidewalks Chapter 26-3, q, construction of sidewalks in the county road right-of-way subcommittee
- a. Public comment: None
 - b. Update:

Mr. Smith updated the Commission that the sidewalk committee has had two meetings. The discussion was on sidewalks in the county right-of-way. Three ways to address this:

 1. Leave the ordinance as is with no sidewalks.
 2. Revise the ordinance to allow sidewalks with the HOA or other entity taking the maintenance of them.
 3. The County take maintenance and liability after the warranty period expires.

Mr. Smith then made a motion that the sidewalk sub-committee draft an ordinance to allow for sidewalks built to SCDOT standards in the County road right-of-way provided the HOA or other entity will be responsible for their maintenance and liability. The motion was seconded by Mr. Vassey. Discussion follow and Mr. Gaulin amended the motion to include a list of conditions. (attached). Mr. Smith seconded. The amended motion was approved 6/0. Mr. Markovich said this is a tricky subject. You are trying to put a private mechanism into a public right-of-way. The original motion as amended was approved 6/0.

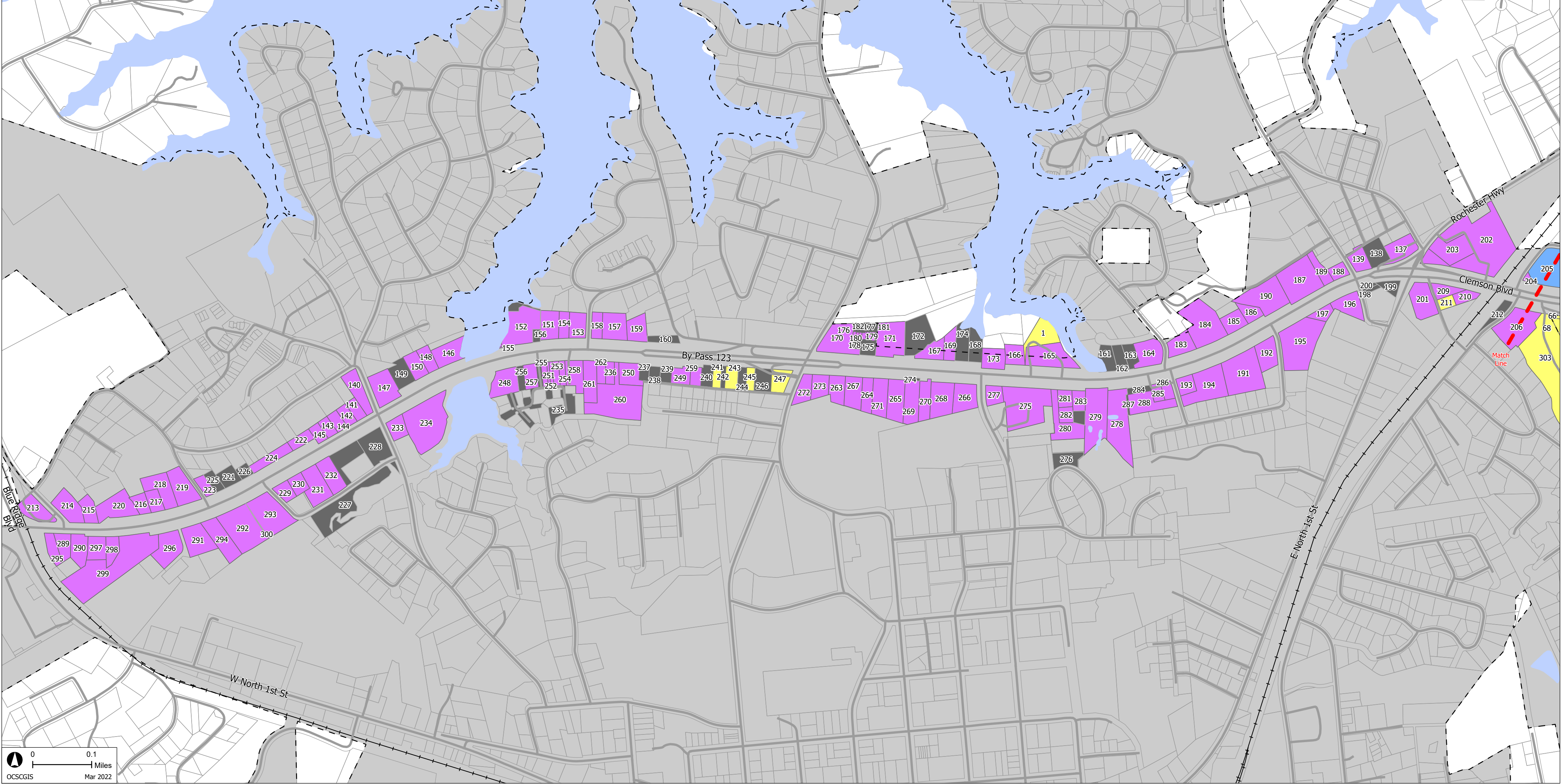
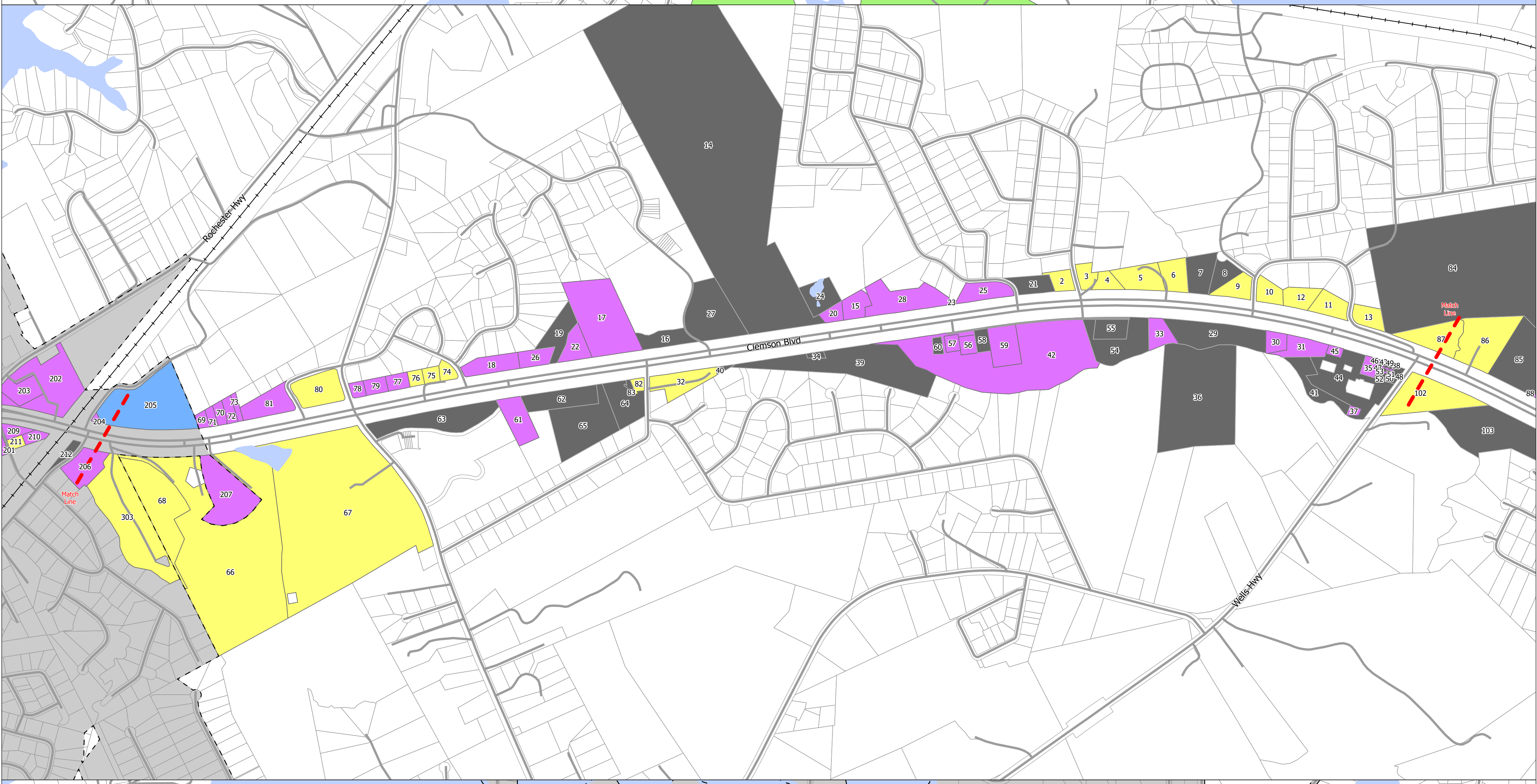
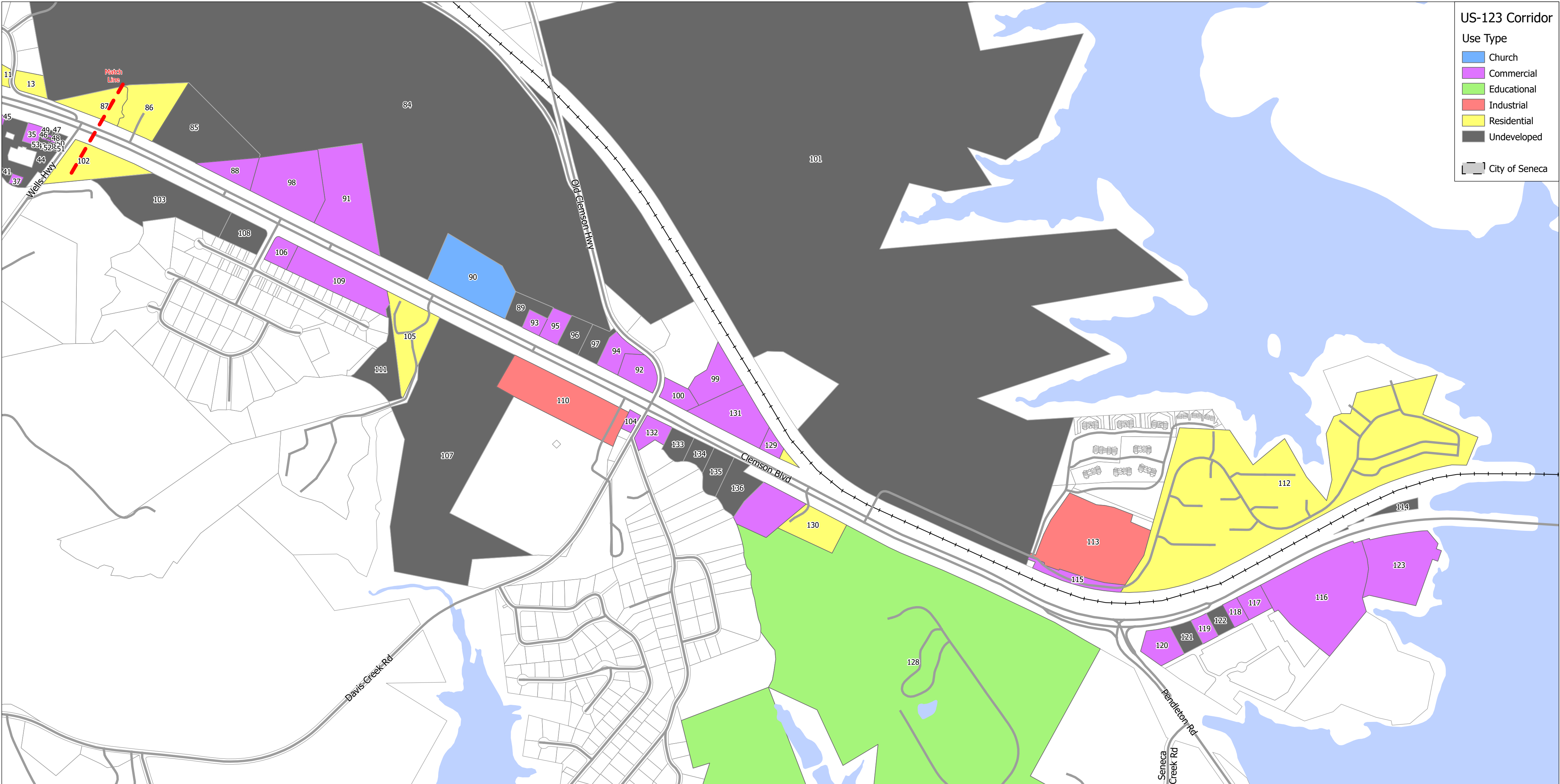
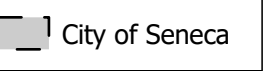
13. Adjourn – The meeting was unanimously adjourned at 6:12pm.

DRAFT

US-123 Corridor

Use Type

- Church
- Commercial
- Educational
- Industrial
- Residential
- Undeveloped



Chapter 26-3(q)

Sidewalks are only permitted in the County Right-of-Way when they meet the following conditions:

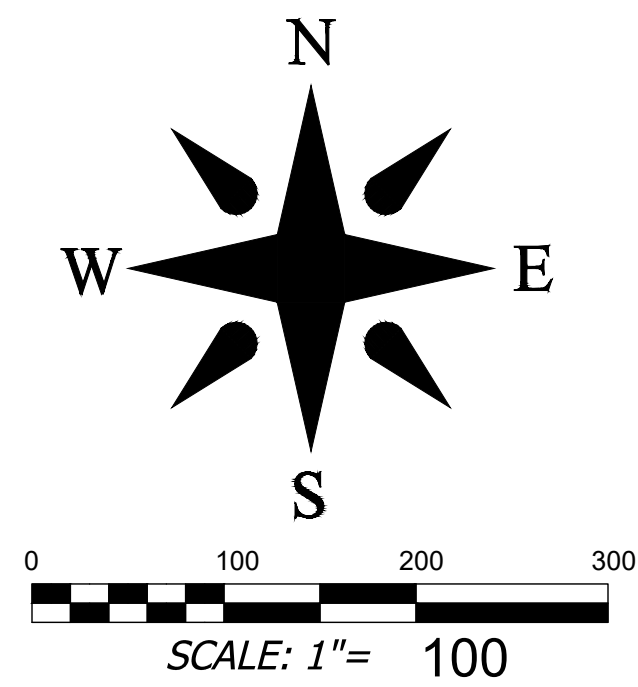
1. An entity is established to own, maintain, and accept liability for the sidewalk.
2. The sidewalk is designed to the most recent SCDOT minimum standard, by a professional engineer, register in South Carolina, and final construction drawing include their stamp.
3. Final plat recording drawing for the location must include

"THE SIDEWALK LOCATED IN THE OCONEE COUNTY RIGHT-OF-WAY SHOWN ON THIS PLAT SHALL BE PRIVATE, NOT OWNED, MAINTAINED OR SUPERVISED BY OCONEE COUNTY, AND NOT CONSTRUCTED PURSUANT TO ANY PLAN FOR FUTURE ACCEPTANCE BY OCONEE COUNTY. SIDEALK IN THE RIGHT-OF-WAYS SHOWN UPON THE PLAT SHALL NOT BE ACCEPTED FOR MAINTENANCE BY OCONEE COUNTY AT ANY TIME IN THE FUTURE UNLESS CONSTRUCTED IN ACCORDANCE WITH ALL ADOPTED OCONEE COUNTY REGULATIONS. MAINTENANCE OF THE SIDEWALK SHALL BE THE RESPONSIBILITY OF _____."

4. Repair or replacement of any portion will be performed expeditiously and to the most recent SCDOT minimum design standards.

PRELIMINARY PLAT LEGEND

- EXIST. BOUNDARY
- EXIST. ADJOINER
- MONUMENT FOUND
- REBAR FOUND
- IRON PIPE FOUND
- NAIL FOUND
- CALCULATED POINT
- FENCE POST FOUND
- EXIST. STREAM
- EXIST. STREAM BUFFER
- EXIST. WETLAND
- EXIST. FEMA NON-ENCROACHMENT
- EXIST. FEMA FLOOD HAZARD AREA (1%)
- EXIST. FEMA FLOOD HAZARD AREA (0.2%)
- EXIST. RIGHT OF WAY
- EXIST. BUILDING SETBACK
- EXIST. SEWER EASEMENT
- EXIST. WATER EASEMENT
- EXIST. BUILDING
- NEW PROPERTY LINES
- NEW RIGHT OF WAY
- NEW EASEMENT
- BUILDING SETBACK LINE
- NEW LANDSCAPE BUFFER
- NEW SEWER EASEMENT
- NEW WATER EASEMENT
- NEW COMMON OPEN SPACE



DEVELOPMENT DATA

PROPERTY ADDRESS: TOWNE HARBOR WAY
SALEM, SC 29676

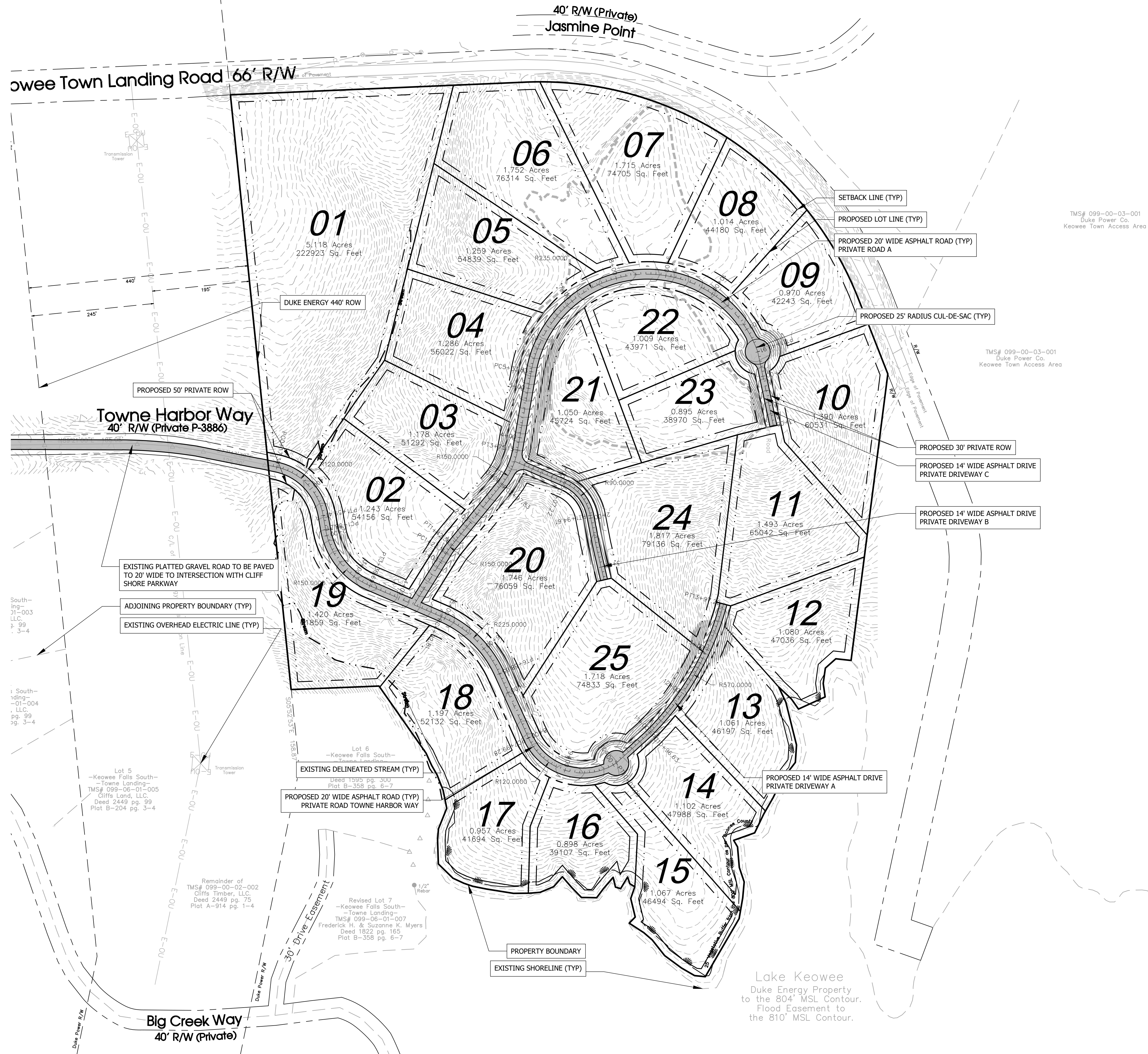
PIN NUMBER: 099-00-02-002
PROPERTY SIZE: 335.3 AC.
PROJECT SIZE: 38.6 AC.
ZONING REVIEW: OCONEE COUNTY
EROSION CONTROL REVIEW: SCDHEC
STORMWATER REVIEW: SCDHEC
ZONING CLASSIFICATION: CF
PROPOSED NUMBER OF UNITS: 25
PROPOSED DENSITY: 0.64 UNITS/AC.

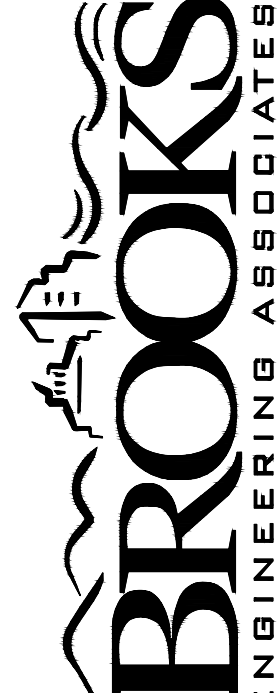
PROPERTY OWNER: CLIFFS TIMBER LLC
CONTACT: STEWART TATE
ADDRESS: 1400 16TH STREET #320
DENVER, CO 80202
EMAIL: STEWART@SHAWTATE.COM
PHONE: 704-281-0279

DEVELOPER: CLIFFS TIMBER LLC
CONTACT: STEWART TATE
ADDRESS: 1400 16TH STREET #320
DENVER, CO 80202
EMAIL: STEWART@SHAWTATE.COM
PHONE: 704-281-0279

ENGINEER: BROOKS ENGINEERING
CONTACT: MARK BROOKS, PE
ADDRESS: 17 ARLINGTON ST
ASHEVILLE, NC 28801
EMAIL: MBROOKS@BROOKSEA.COM
PHONE: 828-232-4700

SEWER WILL BE PROVIDED BY INDIVIDUAL SEPTIC SYSTEMS
WATER WILL BE PROVIDED BY THE CITY OF SALEM AS A PUBLIC WATER SYSTEM EXTENSION
ALL OTHER UTILITIES TO BE PROVIDED BY LOCAL UTILITY COMPANIES

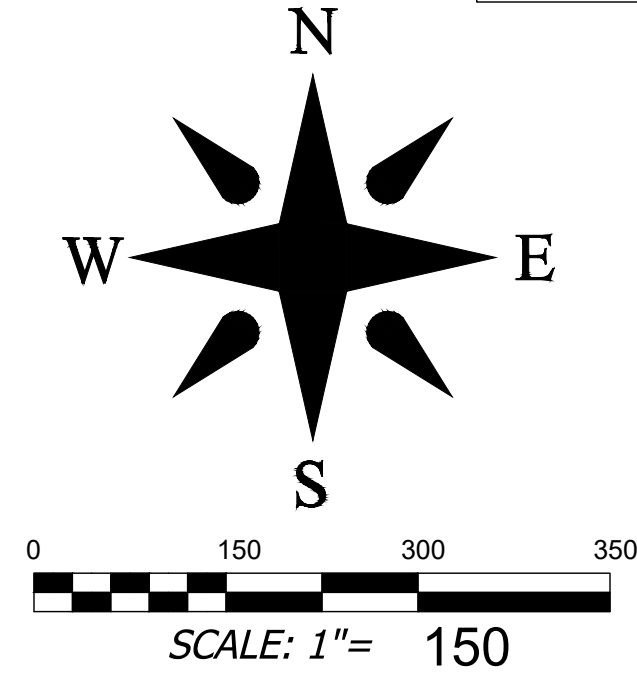


Project No: 555221	Drawing Title: C-1.0 SUBDIVISION SKETCH PLAN	Project Location: NORTH CAROLINA OCONEE COUNTY	 <p>BROOKS ENGINEERING ASSOCIATES Planning • Engineering • Surveying • Environmental Services •</p>	Reviewed: MCB Scale: AS NOTED Date: 01-28-2022	15 Arlington Street Asheville, N.C. 28801 Phone: 1-828-232-4700 Fax: 1-828-232-1331 www.brooksea.com
				No. 1 REVISIONS/SUBMISSIONS SKETCH PLAN TO OCONEE CO.	Date 01-28-2022
KEOWEE MARINA SUBDIVISION DEVELOPMENT PLAN			PRELIMINARY - NOT FOR CONSTRUCTION		

File Location: L:\2021 Projects\555221 Cliffs Timber - Falls South\DWG\Civil-Base-PROJECT.rvt

PRELIMINARY PLAT LEGEND

- EXIST. BOUNDARY
- EXIST. ADJOINER
- ELEV— EXIST. MAJOR CONTOUR
- NEW BUILDING
- NEW PAVEMENT
- EXIST. STREAM
- EXIST. STREAM BUFFER
- EXIST. WETLAND
- EXIST. RIGHT OF WAY
- EXIST. BUILDING SETBACK
- NEW RIGHT OF WAY
- NEW EASEMENT
- BUILDING SETBACK LINE
- NEW LANDSCAPE BUFFER
- P-WE NEW WATER EASEMENT
- ELEV— NEW MINOR CONTOUR
- ELEV— NEW MAJOR CONTOUR



DEVELOPMENT DATA

PROPERTY ADDRESS: SHALLOWFORD ROAD
SALEM, SC 29676

PIN NUMBER: 056-00-03-022

PROPERTY SIZE: 138.47

ZONING REVIEW: OCONEE COUNTY

EROSION CONTROL REVIEW: SCDHEC

STORMWATER REVIEW: SCDHEC

ZONING CLASSIFICATION: CF

PROPOSED NUMBER OF UNITS: 32

PROPOSED DENSITY: 0.23 UNITS/AC.

PROPERTY OWNER: CLIFFS TIMBER LLC

CONTACT: STEWART TATE

ADDRESS: 1400 16TH STREET #320
DENVER, CO 80202

EMAIL: STEWART@SHAWTATE.COM

PHONE: 704-281-0279

DEVELOPER: CLIFFS TIMBER LLC

CONTACT: STEWART TATE

ADDRESS: 1400 16TH STREET #320
DENVER, CO 80202

EMAIL: STEWART@SHAWTATE.COM

PHONE: 704-281-0279

ENGINEER: BROOKS ENGINEERING

CONTACT: MARK BROOKS, PE

ADDRESS: 17 ARLINGTON ST
ASHEVILLE, NC 28801

EMAIL: MBROOKS@BROOKSEA.COM

PHONE: 828-232-4700

SEWER WILL BE PROVIDED BY INDIVIDUAL SEPTIC SYSTEMS

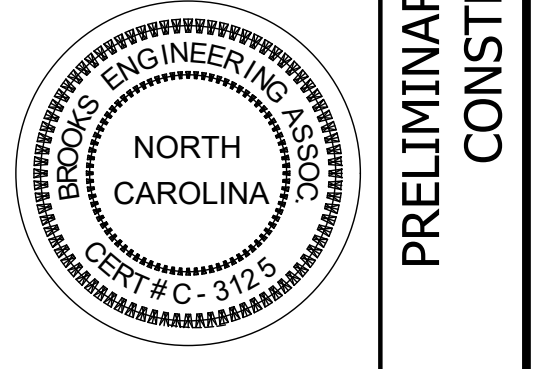
WATER WILL BE PROVIDED BY THE CITY OF SALEM AS A PUBLIC WATER SYSTEM EXTENSION

ALL OTHER UTILITIES TO BE PROVIDED BY LOCAL UTILITY COMPANIES



No.	REVISIONS/SUBMISSIONS	Date
1	SKETCH PLAN TO OCONEE CO.	01-28-2022

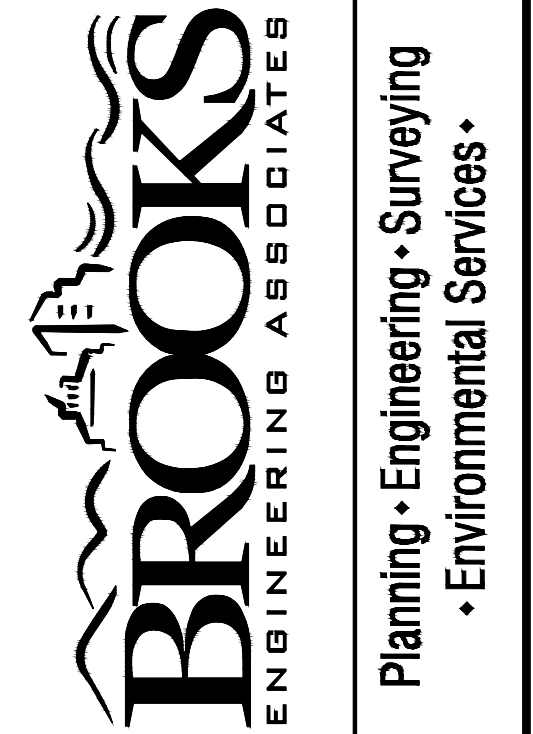
PRELIMINARY - NOT FOR CONSTRUCTION



Reviewed: MCB
Scale: AS NOTED
Date: 01-28-2022

Designed: ZAW
Drawn: ZAW
Checked: JHK

15 Arlington Street
Asheville, N.C. 28801
Phone: 1-828-232-4700
Fax: 1-828-232-1331
www.brooksea.com



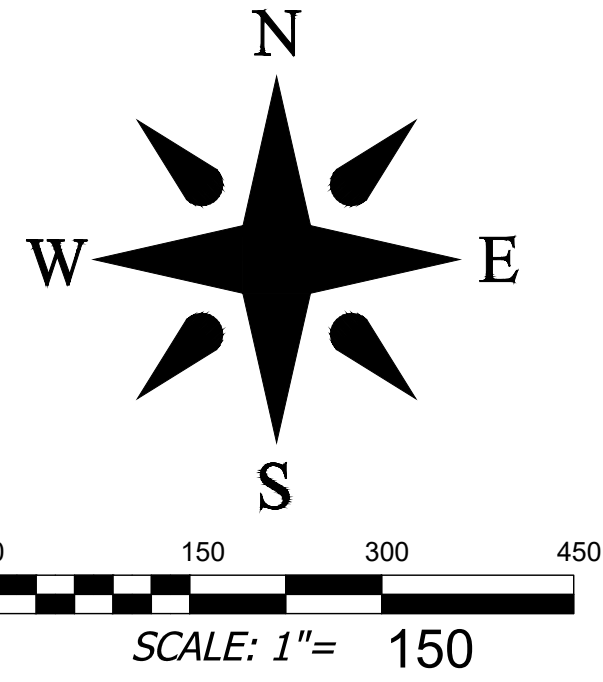
KEOWEE SNAKES SUBDIVISION
DEVELOPMENT PLAN
NORTH CAROLINA
OCONEE COUNTY

Project No: 555221
C-1.0
Drawing Title: SUBDIVISION SKETCH PLAN

File Location: L:\2021 Projects\555221 Cliffs Timber, Falls South\DWG\Civil-Base-PROJECT.rvt

PRELIMINARY PLAT LEGEND

- EXIST. BOUNDARY
- EXIST. ADJOINER
- MONUMENT FOUND
- REBAR FOUND
- IRON PIPE FOUND
- NAIL FOUND
- CALCULATED POINT
- FENCE POST FOUND
- EXIST. STREAM
- EXIST. STREAM BUFFER
- EXIST. WETLAND
- EXIST. FEMA NON-ENCROACHMENT
- EXIST. FEMA FLOOD HAZARD AREA (1%)
- EXIST. FEMA FLOOD HAZARD AREA (0.2%)
- EXIST. RIGHT OF WAY
- EXIST. BUILDING SETBACK
- E-SE EXIST. SEWER EASEMENT
- E-W EXIST. WATER EASEMENT
- EXIST. BUILDING
- NEW PROPERTY LINES
- NEW RIGHT OF WAY
- NEW EASEMENT
- BUILDING SETBACK LINE
- NEW LANDSCAPE BUFFER
- P-SE NEW SEWER EASEMENT
- P-W NEW WATER EASEMENT
- NEW COMMON OPEN SPACE



DEVELOPMENT DATA

PROPERTY ADDRESS: TOWNE HARBOR WAY
SALEM, SC 29676

PIN NUMBER: 099-00-02-002
PROPERTY SIZE: 335.3 AC.
PROJECT SIZE: 83.8 AC.
ZONING REVIEW: OCONEE COUNTY
EROSION CONTROL REVIEW: SCDHEC
STORMWATER REVIEW: SCDHEC
ZONING CLASSIFICATION: OF
PROPOSED NUMBER OF UNITS: 25
PROPOSED DENSITY: 0.64 UNITS/AC.

PROPERTY OWNER: CLIFFS TIMBER LLC
CONTACT: STEWART TATE
ADDRESS: 1400 16TH STREET #320
DENVER, CO 80202
EMAIL: STEWART@SHAWTATE.COM
PHONE: 704-281-0279

DEVELOPER: CLIFFS TIMBER LLC
CONTACT: STEWART TATE
ADDRESS: 1400 16TH STREET #320
DENVER, CO 80202
EMAIL: STEWART@SHAWTATE.COM
PHONE: 704-281-0279

ENGINEER: BROOKS ENGINEERING
CONTACT: MARK BROOKS, PE
ADDRESS: 17 ARLINGTON ST
ASHEVILLE, NC 28801
EMAIL: MBROOKS@BROOKSEA.COM
PHONE: 828-232-4700

SEWER WILL BE PROVIDED BY INDIVIDUAL SEPTIC SYSTEMS
WATER WILL BE PROVIDED BY THE CITY OF SALEM AS A PUBLIC WATER SYSTEM EXTENSION
ALL OTHER UTILITIES TO BE PROVIDED BY LOCAL UTILITY COMPANIES

Project No: 555221	Drawing Title: C-1.0 SUBDIVISION SKETCH PLAN	REVISIONS/SUBMISSIONS	Date	
		1	01-28-2022	SKETCH PLAN TO OCONEE CO.
KEOWEE MARINA SUBDIVISION DEVELOPMENT PLAN		NORTH CAROLINA		
OCONEE COUNTY		PRELIMINARY - NOT FOR CONSTRUCTION		
BROOKS ENGINEERING ASSOCIATES Planning • Engineering • Surveying • Environmental Services •		Reviewed: MCB Scale: AS NOTED Drawn: ZAW Checked: JHK Date: 01-28-2022 15 Arlington Street Asheville, N.C. 28801 Phone: 1-828-232-4700 Fax: 1-828-232-1331 www.brooksea.com		
File Location: L:\2021 Projects\555221 Cliffs Timber - Lake Keowee Subdivision\DWG\Civil-Base-PROJECT.dwg				

SCDOT Note:
No landscaping or irrigation to be installed in SCDOT Right-Of-Way.

- Site Notes:**
- Dimensions are to the face of curb, edge of pavement, face of building or property line.
 - R denotes face of curb or edge of pavement radius. All radii are 5-feet unless noted otherwise.
 - All work in the r/w shall be verified with the approved encroachment permit prior to commencing work.
 - Total area of site = 80.51 acres
total area disturbed = 48.0 acres
 - An electronic file of the site plan shall be made available for staking purposes.

- Road notes:**
- Road is proposed to be a County road that must meet Chapter 26 of Oconee County Code of Ordinances.
 - Required inspection per Chapter 26-3(G)(1).

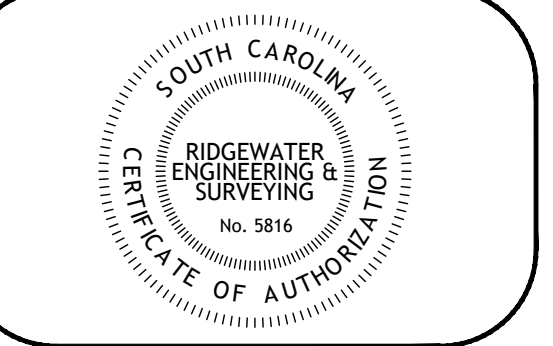
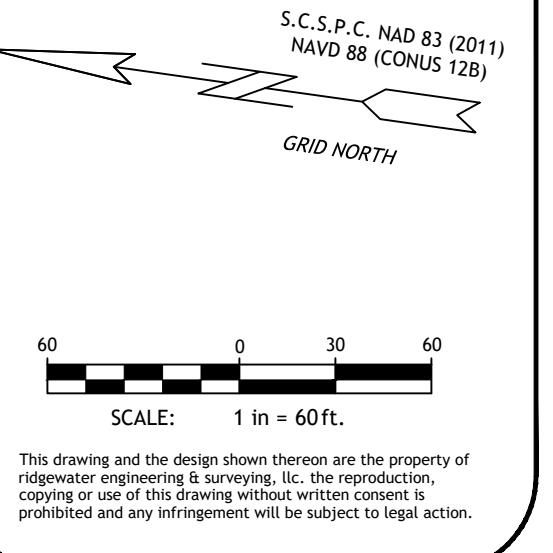
SITE LEGEND

- Denotes light duty asphalt pavement
Refer to detail
- Denotes asphalt pavement in r/w
Refer to encroachment permit
- DENOTES 25' SEWER EASEMENT
- DENOTES 15' STORM DRAIN ACCESS EASEMENT, TYP.
- LOD Denotes limit of disturbance
- Traffic flow
- C Denotes compact parking stalls
- EOP Edge of pavement
- BOC Back of curb
- R/W Right-of-way
- R Radius
- Phase line

ZONING: CFD
SETBACKS: 10' Front Setback
5' Side Setback
5' Rear Setback



PO BOX 806
ANDERSON, SC 29622
(864) 226-0980
RIDGATERENG.COM



Coopers Mill Subdivision

Oconee County, South Carolina

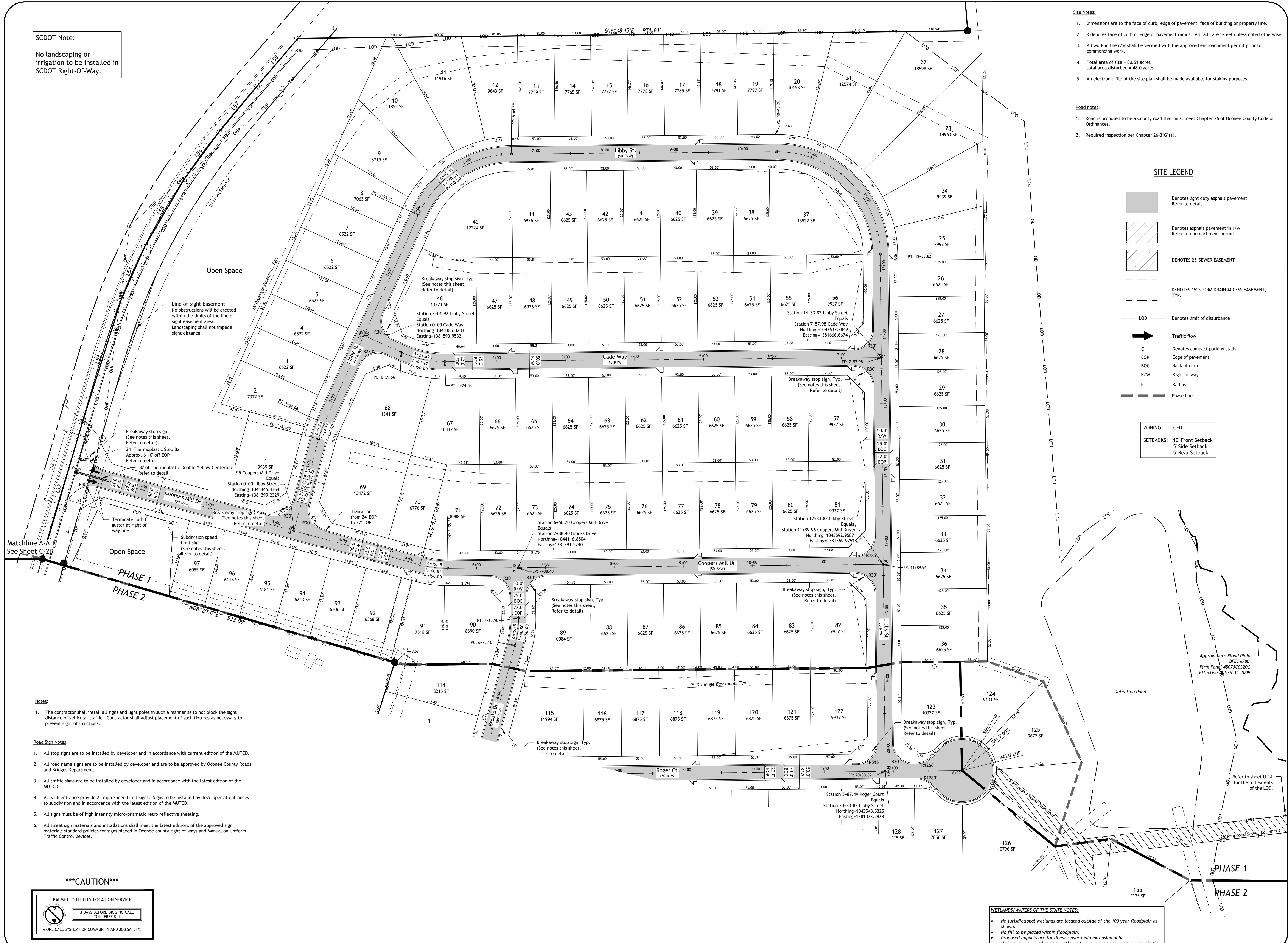
Drawn By: KOC
Checked: JWW
Job Number: 21055

REV #	DATE	COMMENT
0	8-26-21	Release To Client
1	9-21-21	Submit for Review
1	10-18-21	Revisions Per Comments
2	12-3-21	Revisions Per Comments
...

SHEET

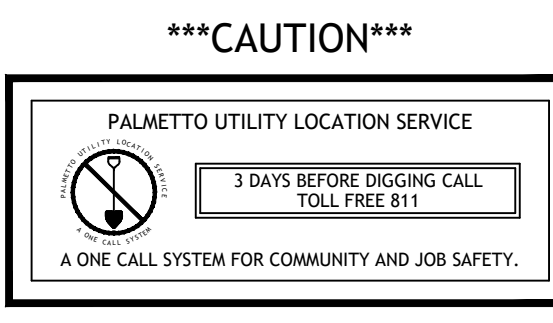
SITE PLAN

C - 2A



- Notes:**
- The contractor shall install all signs and light poles in such a manner as to not block the sight distance of vehicular traffic. Contractor shall adjust placement of such fixtures as necessary to prevent sight obstructions.
- Road Sign Notes:**
- All stop signs are to be installed by developer and in accordance with current edition of the MUTCD.
 - All road name signs are to be installed by developer and are to be approved by Oconee County Roads and Bridges Department.
 - All traffic signs are to be installed by developer and in accordance with the latest edition of the MUTCD.
 - At each entrance provide 25 mph Speed Limit signs. Signs to be installed by developer at entrances to subdivision and in accordance with the latest edition of the MUTCD.
 - All signs must be of high intensity micro-prismatic retro reflective sheeting.
 - All street sign materials and installations shall meet the latest editions of the approved sign materials standard policies for signs placed in Oconee county right-of-ways and Manual on Uniform Traffic Control Devices.

- WETLANDS/WATERS OF THE STATE NOTES:**
- No jurisdictional wetlands are located outside of the 100 year floodplain as shown.
 - No fill to be placed within floodplain.
 - Proposed impacts are for linear sewer main extension only.
 - No impacts to jurisdictional wetlands to occur due to sewer main installation.



CAUTION



Notes:

- The contractor shall install all signs and light poles in such a manner as to not block the sight distance of vehicular traffic. Contractor shall adjust placement of such fixtures as necessary to prevent sight obstructions.

Road Sign Notes:

- All stop signs are to be installed by developer and in accordance with current edition of the MUTCD.
- All road name signs are to be installed by developer and are to be approved by Oconee County Roads and Bridges Department.
- All traffic signs are to be installed by developer and in accordance with the latest edition of the MUTCD.
- At each entrance provide 25 mph Speed Limit signs. Signs to be installed by developer at entrances to subdivision and in accordance with the latest edition of the MUTCD.
- All signs must be of high intensity micro-prismatic retro reflective sheeting.
- All street sign materials and installations shall meet the latest editions of the approved sign materials standard policies for signs placed in Oconee county right-of-ways and Manual on Uniform Traffic Control Devices.

Site Notes:

- Dimensions are to the face of curb, edge of pavement, face of building or property line.
- R denotes face of curb or edge of pavement radius. All radii are 5-feet unless noted otherwise.
- All work in the r/w shall be verified with the approved encroachment permit prior to commencing work.
- Total area of site = 80.51 acres
total area disturbed = 48.0 acres
- An electronic file of the site plan shall be made available for staking purposes.

Road notes:

- Road is proposed to be a County road that must meet Chapter 26 of Oconee County Code of Ordinances.
- Required inspection per Chapter 26-3(G)(1).

SCDOT Note:

No landscaping or irrigation to be installed in SCDOT Right-Of-Way.

SITE LEGEND

- Denotes light duty asphalt pavement Refer to detail
- Denotes asphalt pavement in r/w Refer to encroachment permit
- Denotes 25' SEWER EASEMENT
- Denotes 15' STORM DRAIN ACCESS EASEMENT, TYP.
- Denotes limit of disturbance
- Traffic flow
- Denotes compact parking stalls
- Edge of pavement
- Back of curb
- Right-of-way
- Radius
- Phase line

ZONING:

CFD

SETBACKS:

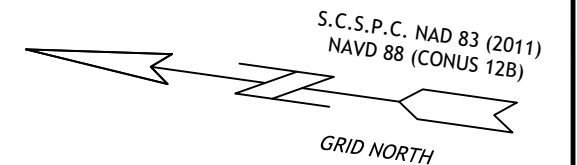
10' Front Setback
5' Side Setback
5' Rear Setback

WETLANDS/WATERS OF THE STATE NOTES:

- No jurisdictional wetlands are located outside of the 100 year floodplain as shown.
- No fill to be placed within floodplain.
- Proposed impacts are for linear sewer main extension only.
- No impacts to jurisdictional wetlands to occur due to sewer main installation.



PO BOX 806
ANDERSON, SC 29622
(864) 226-0980
RIDGEWATERENG.COM



This drawing and the design shown thereon are the property of Ridgewater Engineering & Surveying, Inc. The reproduction, copying or use of this drawing without written consent is prohibited and any infringement will be subject to legal action.



Coopers Mill Subdivision

Oconee County, South Carolina

Drawn By: KOC
Checked: JWW
Job Number: 21055

REV #	DATE	COMMENT
Prelim	8-26-21	Release To Client
0	9-21-21	Submit for Review
1	10-18-21	Revisions Per Comments
2	12-3-21	Revisions Per Comments
...

SHEET

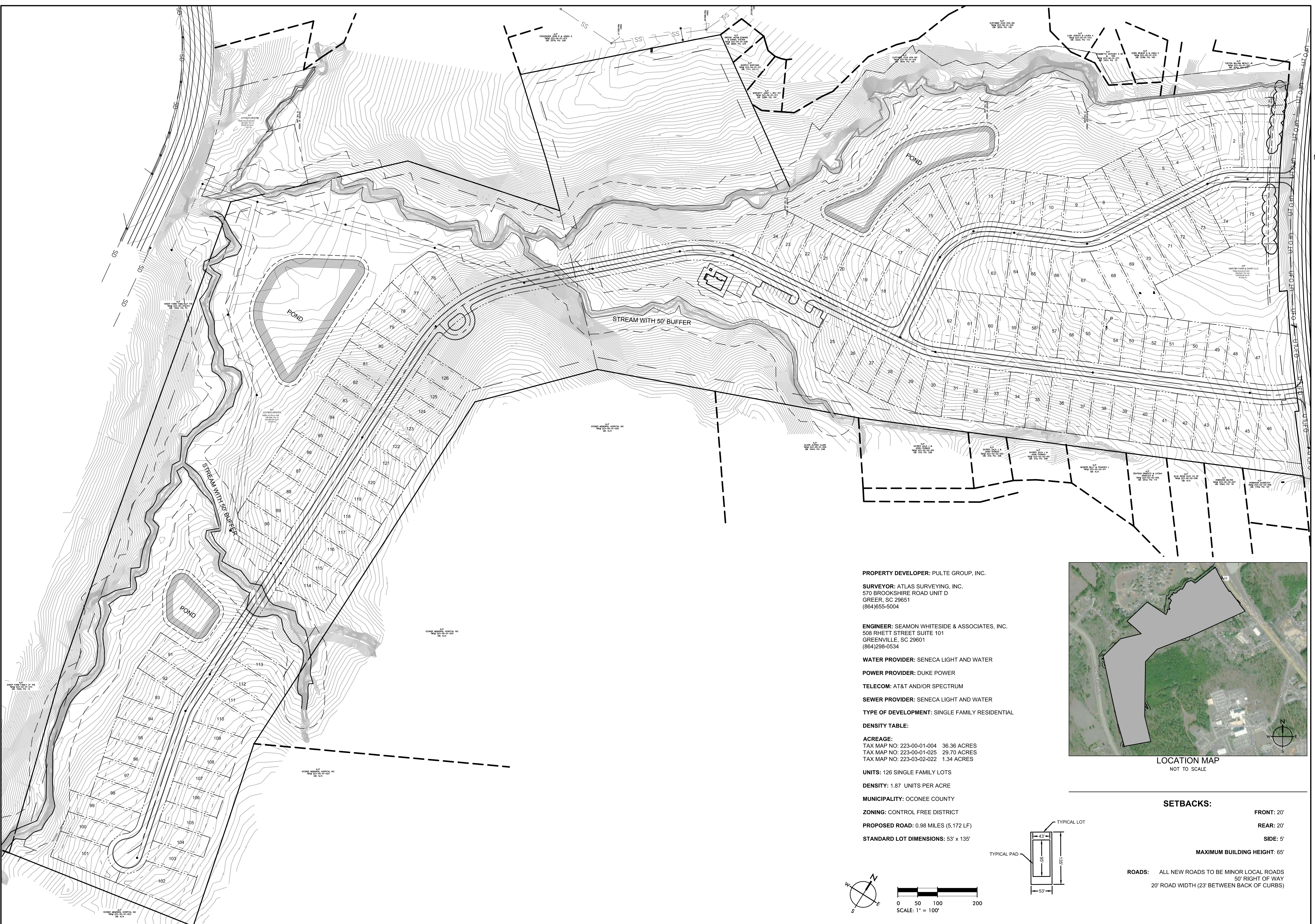
SITE PLAN

C - 2B

Matchline A-A
See Sheet C-2A



THIS DRAWING SHALL NOT BE REPRODUCED IN ANY MANNER OR USED FOR ANY PURPOSE WITHOUT WRITTEN PERMISSION
501 WANDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29464 | 508 RHETT STREET, SUITE 101 | GREENVILLE, SC 29601
COPYRIGHT © SEAMON WHITESIDE & ASSOCIATES, INC.



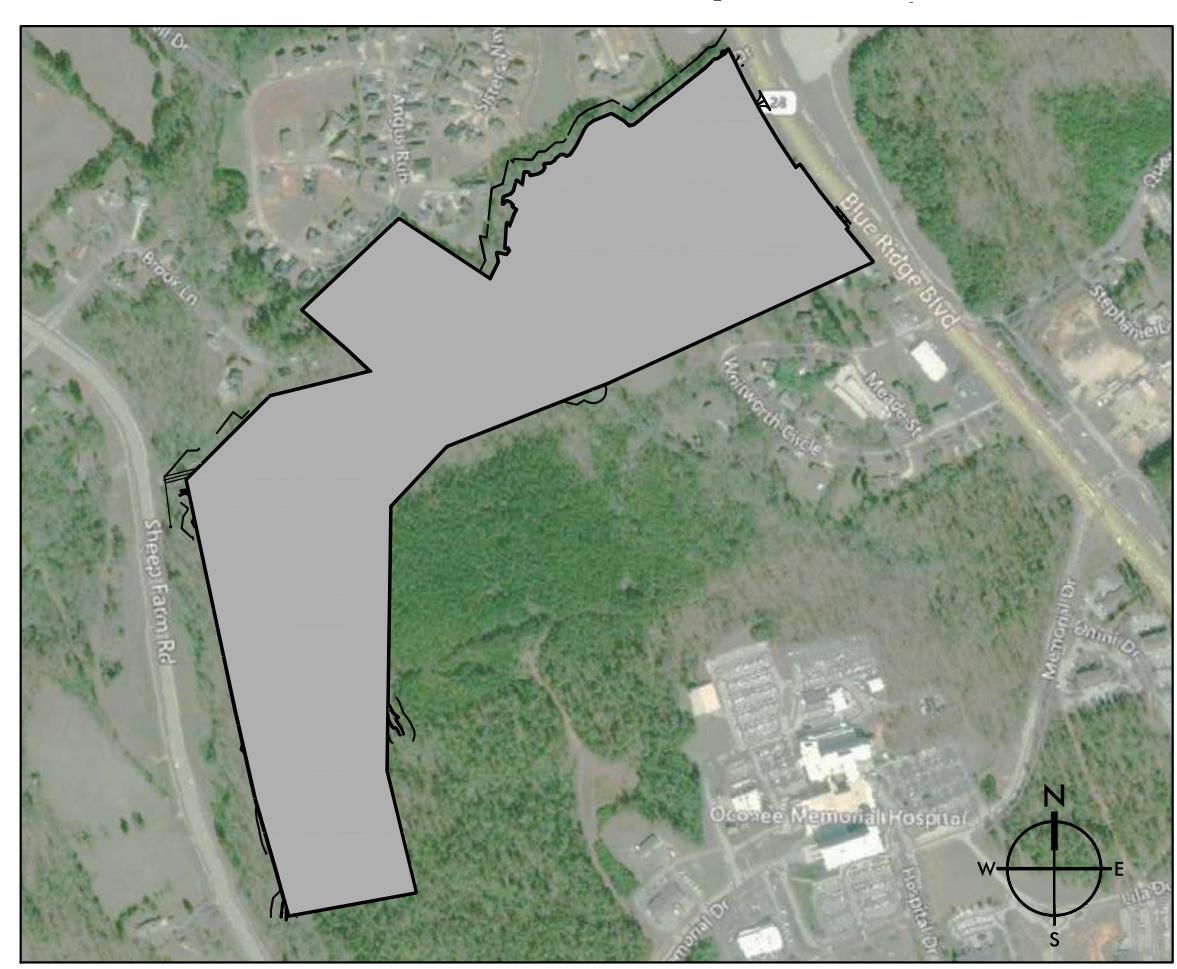
PROPERTY DEVELOPER: PULTE GROUP, INC.
SURVEYOR: ATLAS SURVEYING, INC.
570 BROOKSHIRE ROAD UNIT D
GREER, SC 29651
(864)655-5004

ENGINEER: SEAMON WHITESIDE & ASSOCIATES, INC.
508 RHETT STREET SUITE 101
GREENVILLE, SC 29601
(864)298-0534

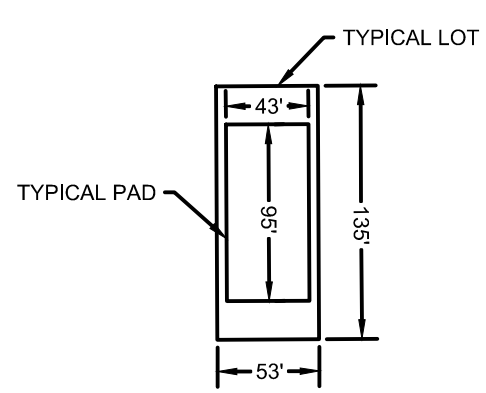
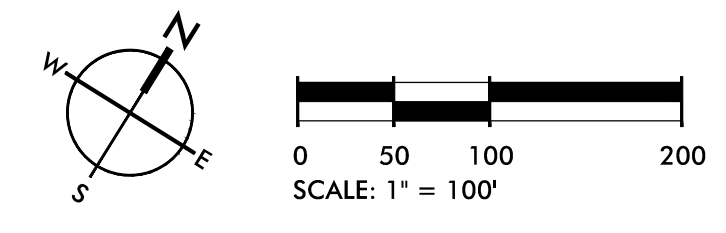
WATER PROVIDER: SENECA LIGHT AND WATER
POWER PROVIDER: DUKE POWER
TELECOM: AT&T AND/OR SPECTRUM
SEWER PROVIDER: SENECA LIGHT AND WATER
TYPE OF DEVELOPMENT: SINGLE FAMILY RESIDENTIAL

DENSITY TABLE:
ACREAGE:
TAX MAP NO: 223-00-01-004 36.36 ACRES
TAX MAP NO: 223-00-01-025 29.70 ACRES
TAX MAP NO: 223-03-02-022 1.34 ACRES

UNITS: 126 SINGLE FAMILY LOTS
DENSITY: 1.87 UNITS PER ACRE
MUNICIPALITY: OCONEE COUNTY
ZONING: CONTROL FREE DISTRICT
PROPOSED ROAD: 0.98 MILES (5,172 LF)
STANDARD LOT DIMENSIONS: 53' x 135'



LOCATION MAP
NOT TO SCALE



SETBACKS:
FRONT: 20'
REAR: 20'
SIDE: 5'
MAXIMUM BUILDING HEIGHT: 65'

ROADS: ALL NEW ROADS TO BE MINOR LOCAL ROADS
50' RIGHT OF WAY
20' ROAD WIDTH (23' BETWEEN BACK OF CURBS)



MOUNT PLEASANT, SC 843.884.1667
GREENVILLE, SC 864.298.0534
SUMMERVILLE, SC 843.884.1667
SPARTANBURG, SC 864.298.0534
CHARLOTTE, NC 980.312.5450
WWW.SEAMONWHITESIDE.COM



PULTE GROUP
BLUE RIDGE PKWY
OCONEE COUNTY, SOUTH CAROLINA

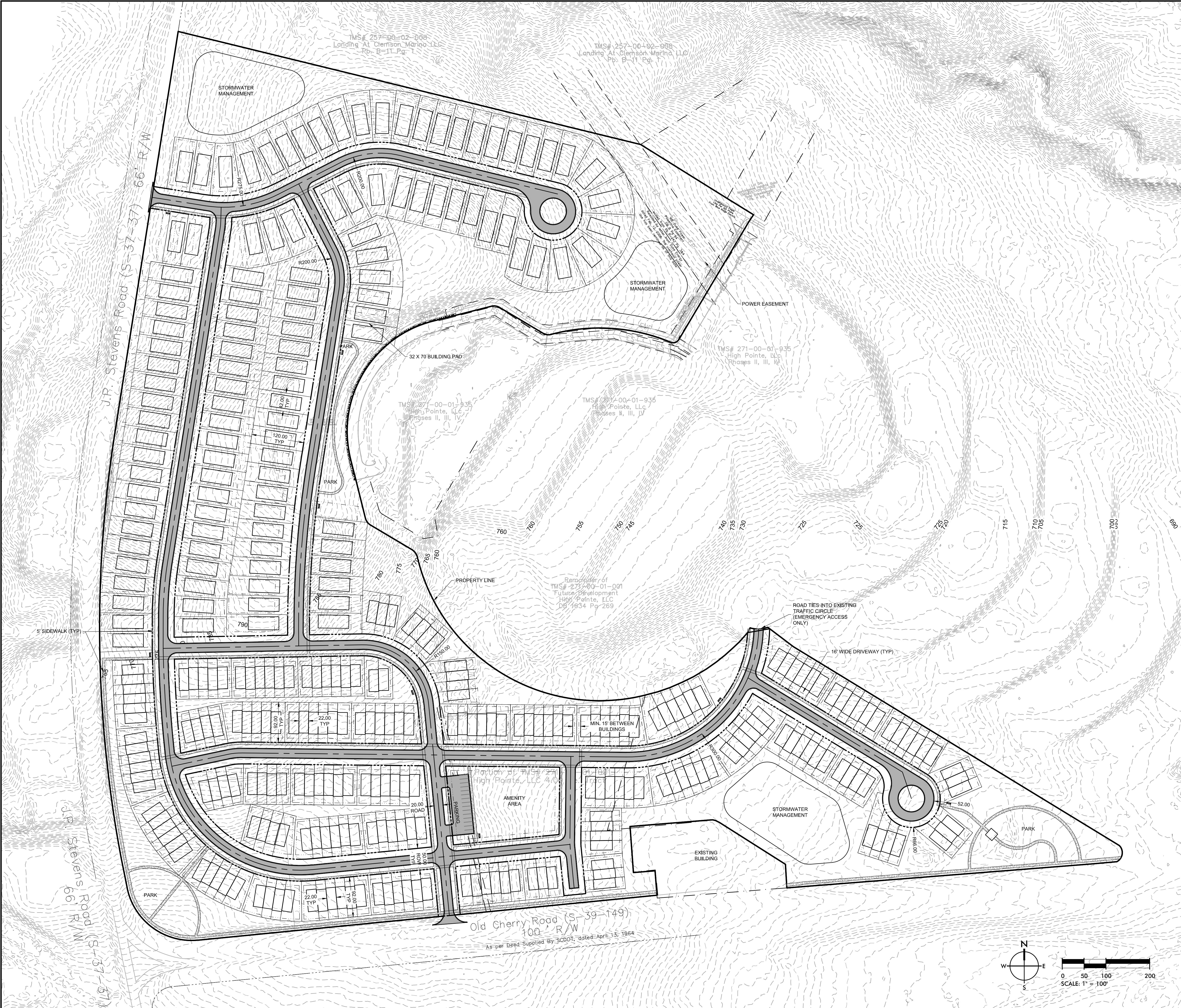
SW+ PROJECT: GR3838
DATE: 12/07/2021
DRAWN BY: CD/PT
CHECKED BY: JB/CW

REVISION HISTORY	

SKETCH PLAN

02.17.2022

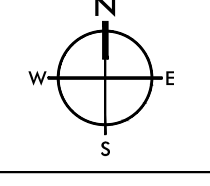
THIS DRAWING SHALL NOT BE REPRODUCED IN ANY MANNER OR USED FOR ANY PURPOSE WITHOUT WRITTEN PERMISSION
 501 WANDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29664 | 508 RHETT STREET, SUITE 101 | GREENVILLE, SC 29601
 COPYRIGHT © SEAMON WHITESIDE & ASSOCIATES, INC.



LOCATION MAP
NOT TO SCALE

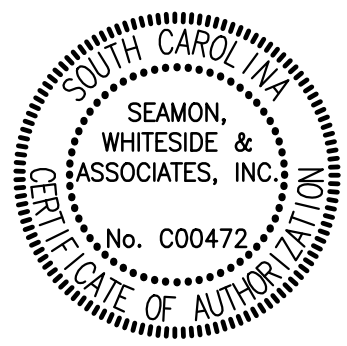


MOUNT PLEASANT, SC 843.884.1667
 GREENVILLE, SC 864.298.0534
 SUMMERVILLE, SC 843.884.1667
 SPARTANBURG, SC 864.298.0534
 CHARLOTTE, NC 980.312.5450
 WWW.SEAMONWHITESIDE.COM



DENSITY TABLE:

TYPE OF DEVELOPMENT:	SINGLE FAMILY RESIDENTIAL (ATTACHED AND DETACHED)
MUNICIPALITY:	OCONEE COUNTY
ZONING:	CONTROL FREE DISTRICT
ACREAGE:	50.87 ACRES
ROADS:	ALL PUBLIC
DENSITY:	6.62 UNITS PER ACRE
UNITS:	
SINGLE FAMILY DETACHED (42' X 120 LOTS)	115 UNITS
SINGLE FAMILY ATTACHED (22' X 92' LOTS)	222 UNITS
TOTAL:	337 UNITS



PAVEMENT LEGEND

STANDARD DUTY ASPHALT PAVING	
NATURAL TRAIL	
CONCRETE SIDEWALK	
HEAVY DUTY CONCRETE PAVING	

SETBACKS:

FRONT: 10'
 REAR: 5'
 SIDE: 5'
 MAXIMUM BUILDING HEIGHT: 65'

ROADS: ALL NEW ROADS TO BE PUBLIC MINOR LOCAL ROADS
 50' RIGHT OF WAY
 20' ROAD WIDTH (23' BETWEEN BACK OF CURBS)
 6' SIDEWALK ON ONE SIDE OF ALL ROADS

NOTE: TRAILS TO BE LAID OUT ON SITE BASED ON TOPOGRAPHY AND NATURAL FEATURES. TRAILS ON PLAN ARE CONCEPTUAL AND LOCATION MAY SHIFT TO ACCOMMODATE NATURAL FEATURES

The Pier North

Type of Development: Single Family Residential

Property Owner/Developer:
 Forestar
 150 Executive Center Dr, Suite 208
 Greenville, SC 29615
 864-940-6784

Surveyor: Nu-South Surveying Inc
 Engineer:
 Seamon Whiteside
 508 Rhett St, Suite 101
 Greenville, SC 29601
 864-298-0534

Point of Contact: Paul Talbert, PE
 Phone: (904) 885-0188
 PTalbert@SeamonWhiteside.com

Tax Map Number:
 271-00-01-940/943/942/941/939/938
 Current Zoning: control free district
 Acres: 50.87
 Units: 337 units

Utilities:
 Water: Seneca Light and Water
 Wastewater: Goldie Associates (private)
 Power: Seneca Light and Water
 Telecom: AT&T and Charter

Lot Data:
 Single Family Detached Lot:
 Minimum dimensions: 42' x 120'
 Minimum Area: 5,040 sf
 (no lots exceed 1/4 acre)
 Single Family Attached Lot:
 Minimum dimensions: 22' x 120'
 Minimum Area: 2,640 sf

Miles of new
 Public road: 1.49 miles (7,852 lf)

THE PIER NORTH
 JP STEVENS RD
 OCONEE COUNTY, SOUTH CAROLINA

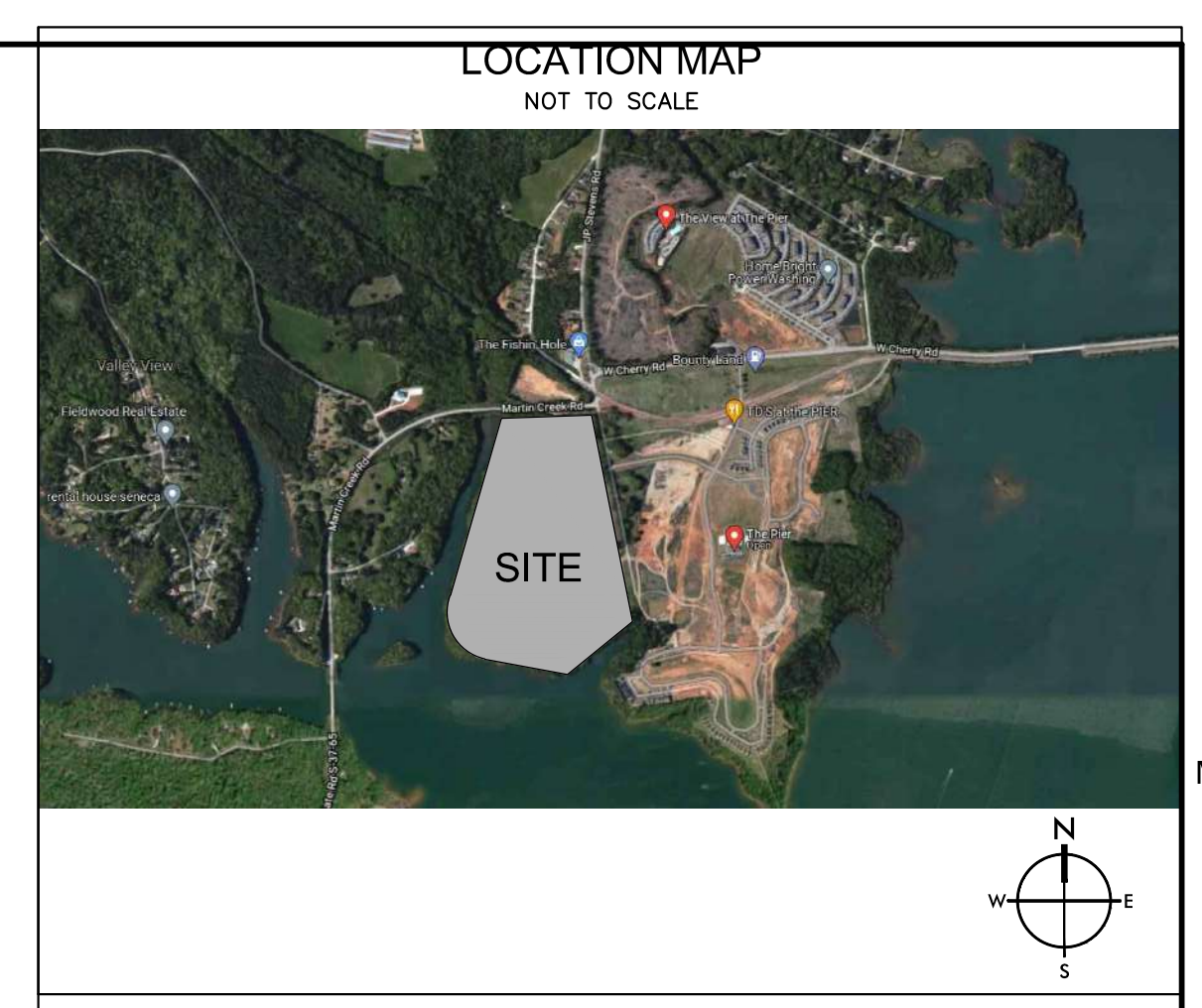
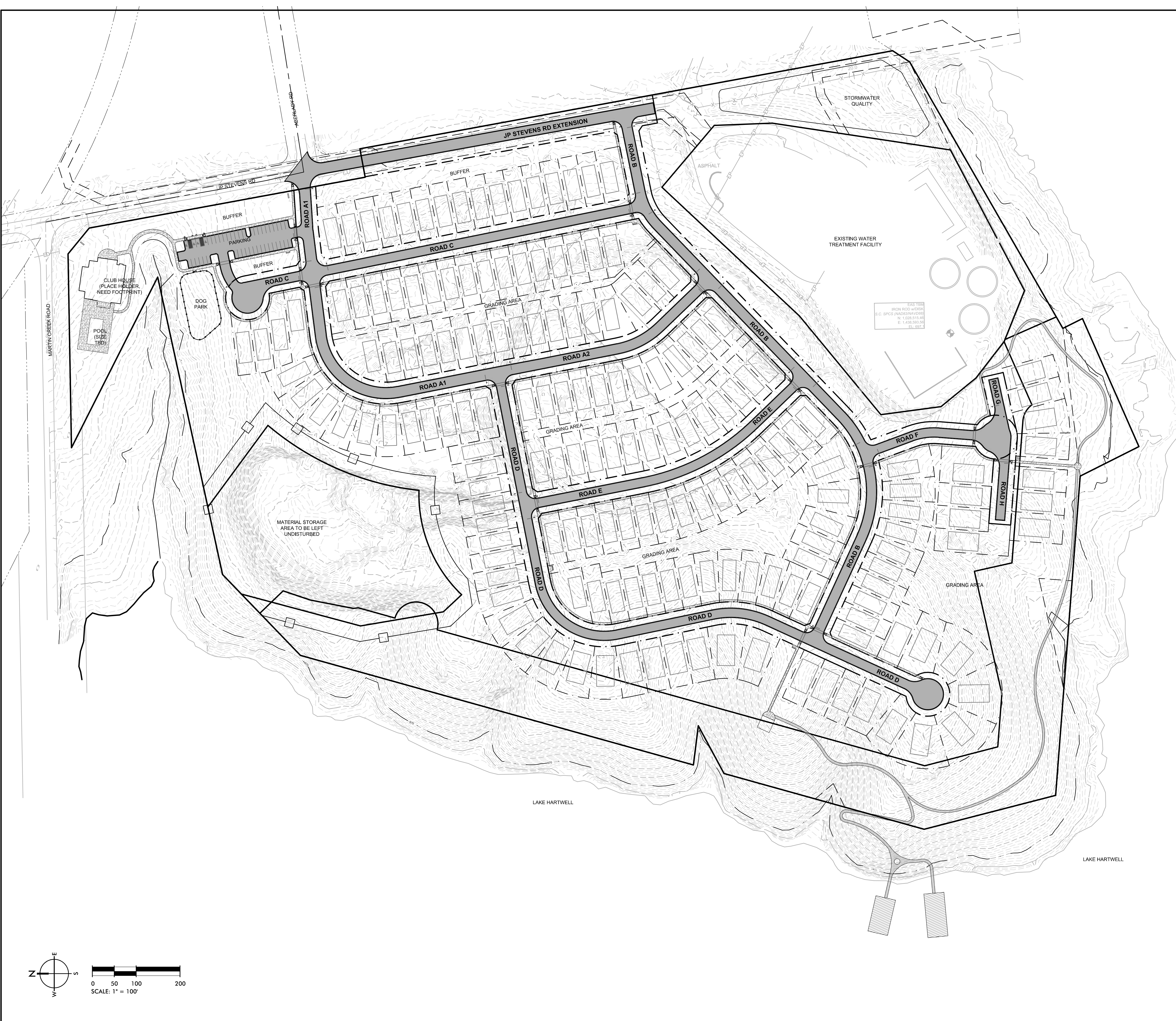
REVISION HISTORY

NO.	DATE	DESCRIPTION

SKETCH PLAN

12.21.2021

501 WANDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29464 | 508 RHETT STREET, SUITE 101 | GREENVILLE, SC 29601
 COPYRIGHT © SEAMON, WHITESIDE & ASSOCIATES, INC.



MOUNT PLEASANT, SC 843.884.1667
 GREENVILLE, SC 864.298.0534
 SUMMERVILLE, SC 843.884.1667
 SPARTANBURG, SC 864.298.0534
 CHARLOTTE, NC 980.312.5450
 WWW.SEAMONWHITESIDE.COM

DENSITY TABLE:

ACREAGE:	58 ACRES
TYPE OF DEVELOPMENT:	SINGLE FAMILY RESIDENTIAL
MUNICIPALITY:	OCONEE COUNTY
ZONING:	CONTROL FREE DISTRICT
ACREAGE:	57.88 ACRES
DENSITY:	3.03 UNITS PER ACRE
UNITS:	
SINGLE FAMILY (42' X 120' LOTS)	143 UNITS
SINGLE FAMILY (52' X 120' LOTS)	33 UNITS
TOTAL:	176 UNITS

PAVEMENT LEGEND

STANDARD DUTY ASPHALT PAVING	
NATURAL TRAIL	
CONCRETE SIDEWALK	
HEAVY DUTY CONCRETE PAVING	

SETBACKS:

FRONT: 10' REAR: 5' SIDE: 5'

MAXIMUM BUILDING HEIGHT: 65'

ROADS: ROADS TO BE A MIXTURE OF PUBLIC AND PRIVATE:

JP STEVENS ROAD EXTENSION	COLLECTOR
ROAD A1	COLLECTOR
ROAD A2	MAJOR LOCAL
ROAD B	MAJOR LOCAL
ROAD C	MINOR LOCAL
ROAD D	MINOR LOCAL
ROAD E	MINOR LOCAL
ROAD F	MINOR LOCAL
ROAD G	PRIVATE
ROAD H	PRIVATE

SIDEWALKS: 5' WIDE CONCRETE SIDEWALK ON ONE SIDE OF ALL PUBLIC ROADS (OUTSIDE OF RIGHT OF WAY)

NOTE: TRAILS TO BE LAID OUT ON SITE BASED ON TOPOGRAPHY AND NATURAL FEATURES, TRAILS ON PLAN ARE CONCEPTUAL AND LOCATION MAY SHIFT TO ACCOMMODATE NATURAL FEATURES

The Pier South

Type of Development: Single Family Residential
 Property Owner/Developer: Forestar
 150 Executive Center Dr, Suite 208
 Greenville, SC 29615
 864-940-6784

Surveyor: Nu-South Surveying Inc

Engineer: Seamon Whiteside
 508 Rhett St, Suite 101
 Greenville, SC 29601
 864-298-0534

Tax Map Number: 271-01-01-150
 Current Zoning: control free district
 Acres: 57.88
 Units: 176 units

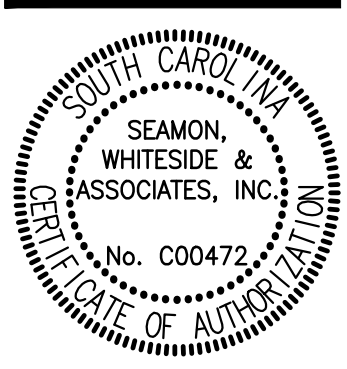
Miles of new public road: 1.44 miles (7,349 lf)
 private road: 0.04 miles (220 lf)

Lot Data:

Standard Lot:
 Minimum dimensions: 42' x 120'
 Minimum Area: 5,040 sf

Lake Front Lot:
 Minimum dimensions: 52' x 120'
 Minimum Area: 6,240 sf

Utilities:
 Water: Seneca Light and Water
 Wastewater: Goldie Associates (private)
 Power: Blue Ridge Electric
 Telecom: AT&T and Charter



THE PIER SOUTH
 JP STEVENS RD
 OCONEE COUNTY, SOUTH CAROLINA

REVISION HISTORY

NO.	DATE	DESCRIPTION

SKETCH PLAN
 02.10.2022

NOTE:
IF ROADS ARE NOT ACCEPTED BY OCONEE COUNTY,
HOA WILL BE RESPONSIBLE FOR ROAD MAINTENANCE.

SITE NOTES:

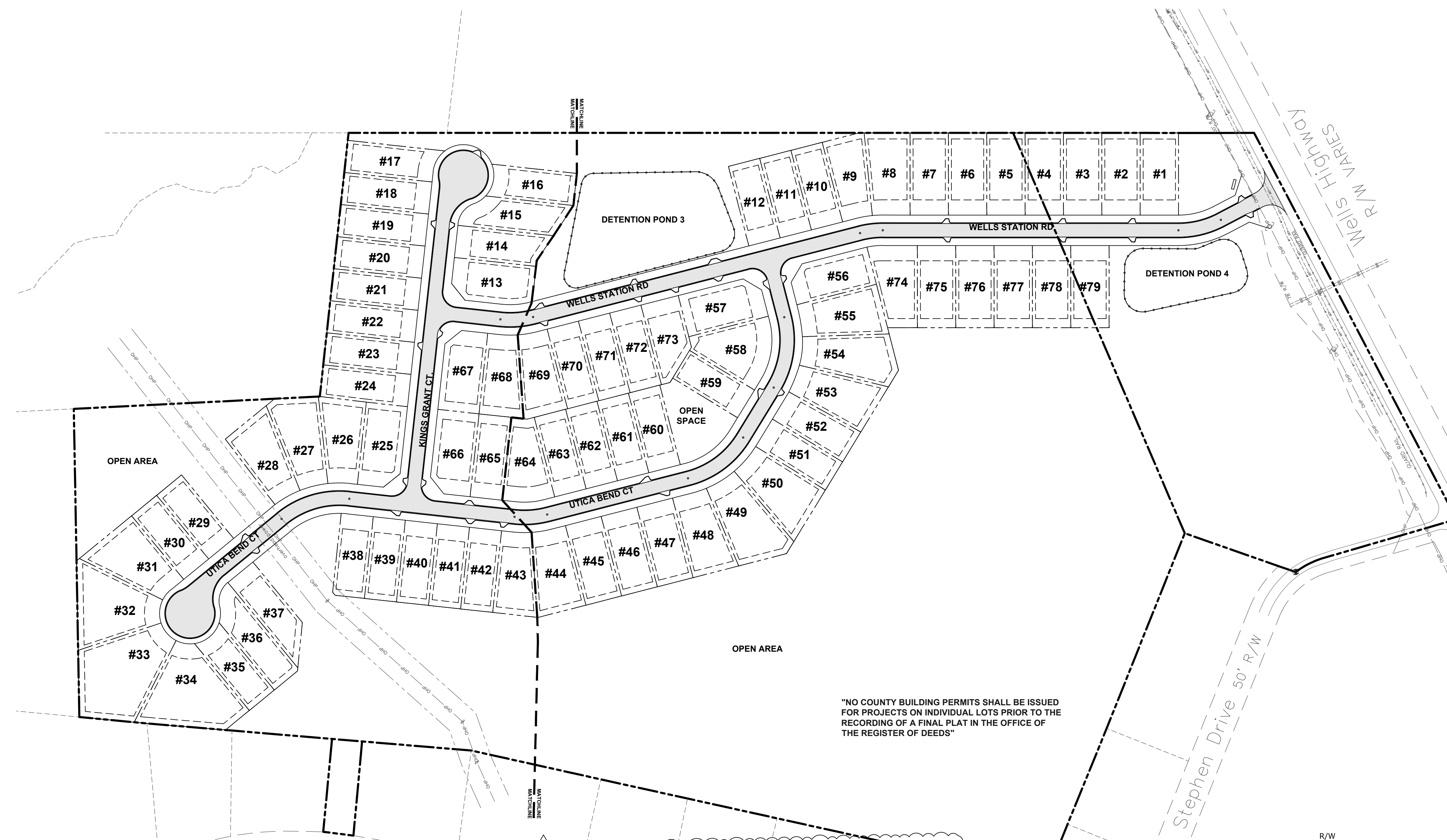
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE STANDARD SITE SPECIFICATIONS.
- ALL DIMENSIONS, UNLESS OTHERWISE NOTED, ARE TO FACE OF CURB, FACE OF BUILDING, OR CENTERLINE OF PARKING BAY.
- UNLESS NOTED OTHERWISE, PAVEMENT SHALL BE STANDARD DUTY PAVEMENT.
- ALL RADII SHALL BE 4' UNLESS OTHERWISE NOTED.
- ALL CONCRETE SIDEWALKS AND APRONS SHALL RECEIVE CONSTRUCTION JOINTS AT 25' ON CENTER UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN THE PROJECT AND PAY ALL REQUIRED FEES AND COSTS.
- THE SITE IS NOT WITHIN A FLOOD HAZARD AREA.
- ALL PAVEMENT MARKINGS WITHIN THE SCODOT ROW TO BE 125 MIL THERMOPLAST

SITE TABLE	
ALL LOTS TO BE SINGLE FAMILY RESIDENTIAL	
ALL LOTS TO BE HAVE SEWER AND TREATED BY SENECA LIGHT AND WATER	
TOTAL AREA :	44.16 AC
TOTAL AREA IN R/W:	0.75 AC
TOTAL AREA TO BE SUBDIVIDED:	21.22 AC
TOTAL NUMBER OF PROPOSED LOTS:	79
TOTAL LENGTH OF NEW ROAD:	3,312 L.F.
SETBACK FROM WELLS HWY:	50 L.F.
RIGHT-OF-WAY / FRONT:	10 L.F.
SIDE SETBACK:	5 L.F.
REAR SETBACK:	10 L.F.

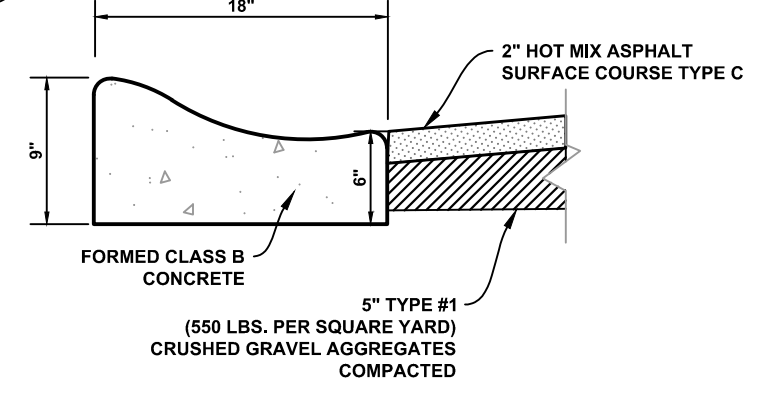
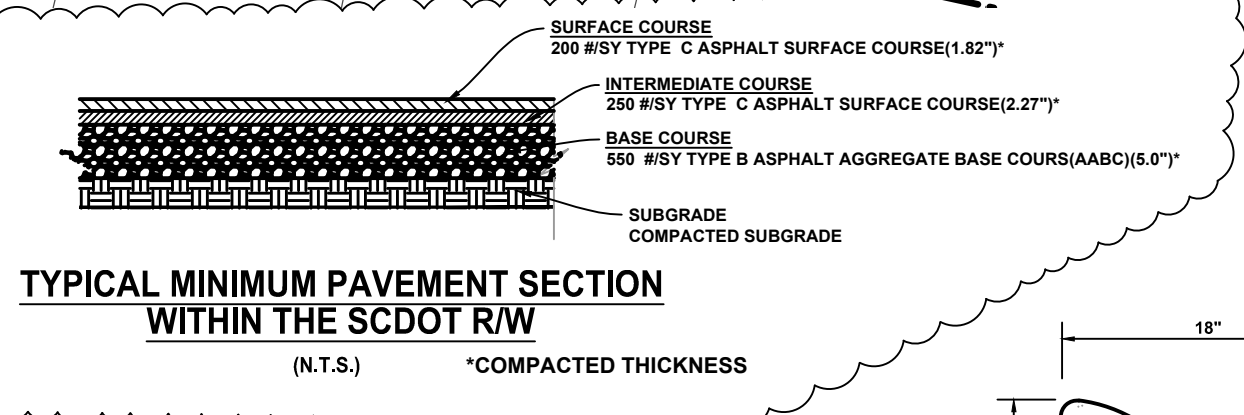
- NEAREST FIRE STATION IS SENECA FD - OCONEE CO. STATION 7
321 W SOUTH 4TH ST, SENECA, SC 29678 - 3.5 MILES AWAY
- NEAREST WATER LINE IS LOCATED IN FRONT OF SITE ON WELLS HIGHWAY
- NEAREST PUBLIC SEWER LINE IS ON WELLS HWY NORTH OF SITE
APPROXIMATELY 375 FEET.

PROPOSED LEGEND

	PROPOSED CURB AND GUTTER
	PROPERTY LINE
	SETBACK LINE
	LOT LINE
	LOT NUMBER
	PROPOSED ASPHALT
	FENCE LINE

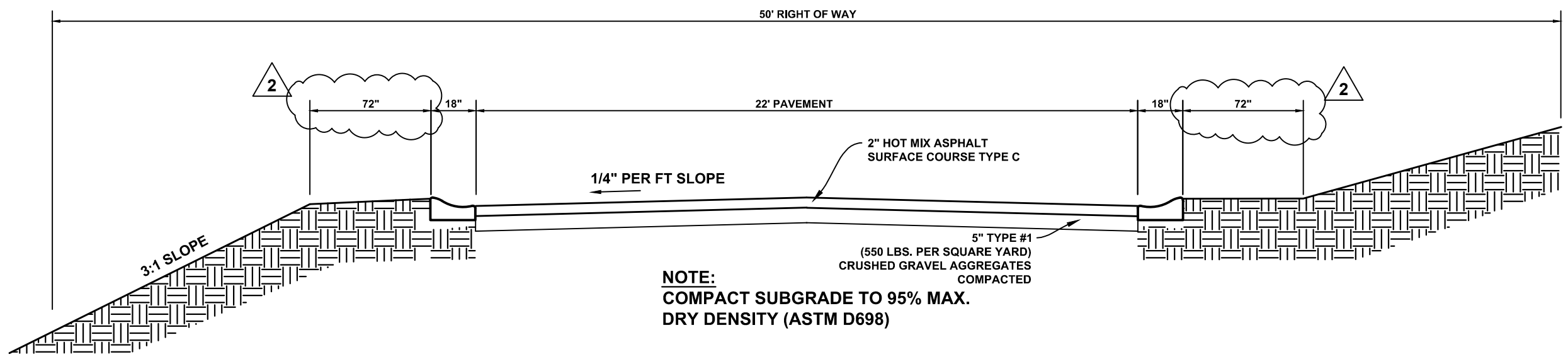


"NO COUNTY BUILDING PERMITS SHALL BE ISSUED FOR PROJECTS ON INDIVIDUAL LOTS PRIOR TO THE RECORDING OF A FINAL PLAT IN THE OFFICE OF THE REGISTER OF DEEDS"



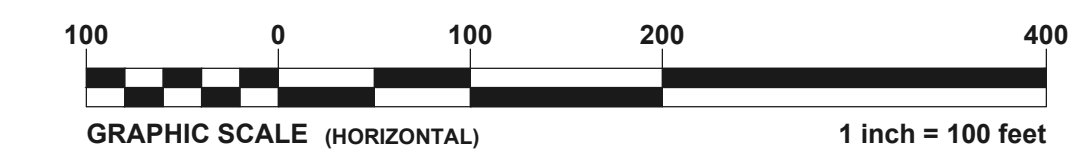
CONCRETE CURB AND GUTTER DETAIL
(N.T.S.)

- NOTES:**
- EXPANSION JOINTS SHALL BE MADE EVERY 50' O.C.
 - 3/4" DEEP CONSTRUCTION JOINTS SHALL BE MADE EVERY 10' O.C.



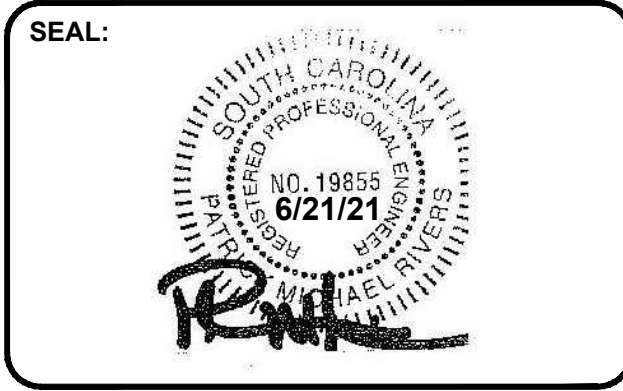
TYPICAL ROAD SECTION
(N.T.S.)

NOTE:
COMPACT SUBGRADE TO 95% MAX.
DRY DENSITY (ASTM D698)



REVISIONS:

NO.	DATE	DESCRIPTION	BY
1.	6/15/2021	REVISED PER SC DOT REVIEW	JTH
2.	6/21/21	REVISED PER ROADS & BRIDGES COMMENTS	JTH



LAND PLANNING ASSOCIATES, INC.
110 WEST 1ST AVENUE - SUITE A
EASLEY, SC 29640
864.242.6072
design@lpa-inc.net

**WELLS STATION
RESIDENTIAL DEVELOPMENT
OCONEE COUNTY**

PROPERTY INFORMATION:

TAX MAP NUMBER: 240-00-04-28 & 250-00-01-079

REFERENCE D.B. & PG: D.B. 2623 PG. 129
D.B. 1287 PG. 270

ADDITIONAL INFO:
XXX
XXX

ISSUE FOR CONSTRUCTION:

PERMIT DATE:

BID DATE:

DRAWN BY: JTH

DESIGN BY: JTH

CHECKED BY: PMR

DATE: 5/7/21

SCALE: HORIZ. 1"=100' VERT.

JOB NUMBER: 21.015

OVERALL SITE PLAN

C-105
WELLS STATION
OCONEE COUNTY
SOUTH CAROLINA

Chapter 26-3(q)

Sidewalks are only permitted in the County Right-of-Way when they meet the following conditions:

1. An entity is established to own, maintain, recognized (i.e. described in the HOA C&R's and described in the plat) and accept liability for the sidewalk.
2. The sidewalk is designed to the most recent SCDOT minimum standard, by a professional engineer, register in South Carolina, and final construction drawing include their stamp.
3. Final plat recording drawing for the location must include

"THE SIDEWALK LOCATED IN THE OCONEE COUNTY RIGHT-OF-WAY SHOWN ON THIS PLAT SHALL BE PRIVATE, NOT OWNED, MAINTAINED OR SUPERVISED BY OCONEE COUNTY, AND NOT CONSTRUCTED PURSUANT TO ANY PLAN FOR FUTURE ACCEPTANCE BY OCONEE COUNTY. SIDEWALK IN THE RIGHT-OF-WAYS SHOWN UPON THE PLAT SHALL NOT BE ACCEPTED FOR MAINTENANCE BY OCONEE COUNTY AT ANY TIME IN THE FUTURE. MAINTENANCE OF THE SIDEWALK SHALL BE THE RESPONSIBILITY OF _____."

4. Repair or replacement of any portion will be performed expeditiously and to the most recent SCDOT minimum design standards.

Chapter 26-3(r)

Sidewalks are only permitted in Private Right-of-Way when they meet the following conditions:

1. An entity is established to own, maintain, recognized (i.e. described in the HOA C&R's and described in the plat) and accept liability for the sidewalk.
2. The sidewalk is designed to the most recent SCDOT minimum standard, by a professional engineer, register in South Carolina, and final construction drawing include their stamp. The developer must include typical design drawings for residents to use to connect to the sidewalk; these must include at a minimum, a typical, on grade connection, and a typical section for stairs if topography requires.
3. Final plat recording drawing for the location must include

"THE SIDEWALK LOCATED IN THE RIGHT-OF-WAY SHOWN ON THIS PLAT SHALL BE PRIVATE, NOT OWNED, MAINTAINED OR SUPERVISED BY OCONEE COUNTY, AND NOT CONSTRUCTED PURSUANT TO ANY PLAN FOR FUTURE ACCEPTANCE BY OCONEE COUNTY. SIDEWALK IN THE RIGHT-OF-WAYS SHOWN UPON THE PLAT SHALL NOT BE ACCEPTED FOR MAINTENANCE BY OCONEE COUNTY AT ANY TIME IN THE FUTURE. MAINTENANCE OF THE SIDEWALK SHALL BE THE RESPONSIBILITY OF _____."

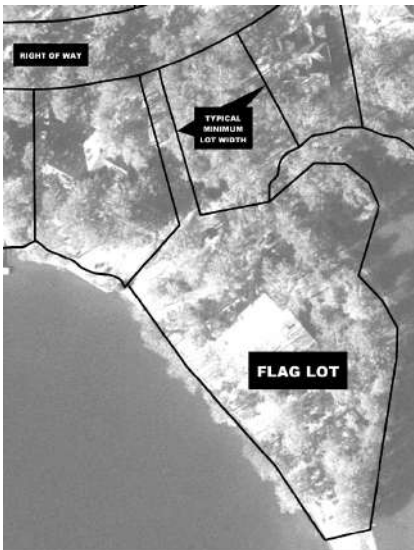
4. Repair or replacement of any portion will be performed expeditiously and to the most recent SCDOT minimum design standards.

Sec. 38-9.3. - Dimensional requirements: General provisions and exceptions.

In addition to the dimensional requirements listed below and district dimensional requirements, further dimensional requirements may be set forth in Article 5 for those uses listed as conditional. The control free district shall be exempt from the provisions of this section. The control free district shall be exempt from the provisions of this section except provisions listed under item (2), setbacks.

(1) *Lot size and configuration.*

- a. Public utilities and government uses shall not be subject to the minimum lot size requirements, but shall meet the setback requirements.



- b. A flag lot shall contain no more than two single-family dwellings and uninhabited accessory structures. Flag lots may be permitted under the following conditions:
1. The maximum flagpole length shall be 300 feet.
 2. The minimum flagpole width shall be 30 feet.
 3. The front setback shall be measured from where the lot meets the district minimum width requirements.
 4. The flagpole portion of the lot shall not be used to calculate area, width, or setbacks of the lot or to provide off-street parking.
 5. There shall be no more than one flag lot per each four lots, per subdivision or development.

(2) *Setbacks.*

- a. The required front, side, and rear yards for individual lots shall be measured inward toward the center of said lot from all points along the respective front, side, and rear property lines of the lot. Once the yard areas of a given lot have been established, the remaining area of the lot which is not included in any required front, side, or rear lot shall be known as the "buildable" area within which the approved structure(s) shall be placed.

3C-5 Coordination of Driveways and Sidewalks

Vehicles moving between the roadway and abutting property must pass through the portion of transportation system provided for pedestrians referred to as the sidewalk. Sidewalks should not be permitted for individual properties unless there is a logical and safe terminus. In the design of driveways and entrances/exits through this space where motorists and pedestrians must coexist, the right of way, which SC Code affords the pedestrian, must be basis for the design. In the design of all Low Volume and Medium Volume driveways, the concrete sidewalk, where present, should continue across the driveway with the features shown in the latest version of the *SCDOT Standard Drawings for Road Construction*.

Installation of driveways classified as Medium, High and Major Volume may result in the removal of the existing sidewalk. Where this occurs, care must be taken to minimize severe changes in the longitudinal grade and cross slope of the portion of the driveway within the pedestrian crossing area. The running slopes introduced by the proposed encroachment should not exceed the values provided in the *Americans with Disabilities Act Accessibility Guidelines (ADAAG)*. The pedestrian crossing of driveways can be emphasized by the marking of standard six-foot (minimum) width crosswalks as shown in the MUTCD. This is especially important on wider radius-return (private street type) driveways where the crosswalk markings can emphasize to motorists that they must yield the right of way to pedestrians when crossing all driveways across sidewalks (SC Code 56-5-3250).

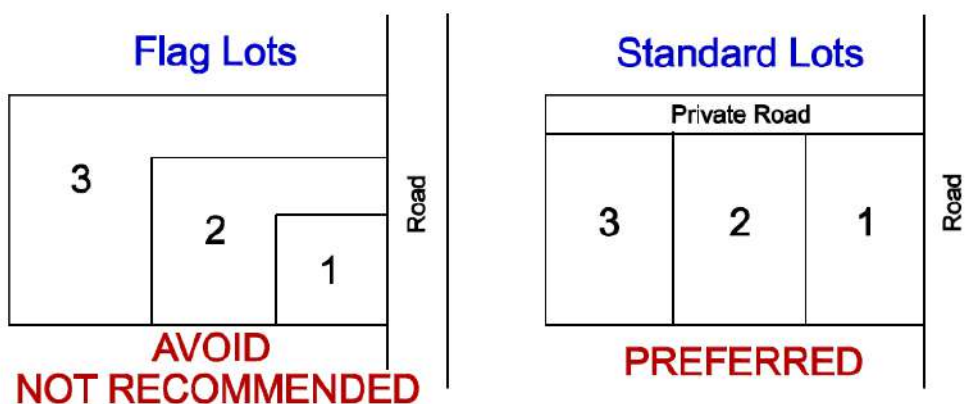
3C-6 Shared Driveways

Shared driveways requiring mutually executed easements are encouraged and, in some circumstances, may be required by the Department. The requirements of [subsection 3C-3](#) shall not apply to shared driveways.

3C-7 Flag Lots

Access problems often occur as the result of land development techniques that produce lots shaped like flags with long narrow access poles (see [Figure 3-12](#)). Landowners often stack flag lots when dividing a parcel to provide interior lots with direct access to the State Highway System, thereby avoiding the expense of providing a public or private road.

Figure 3-12: Flag Lots and Alternative Access



Access problems frequently occur when drives from stacked flag lots violate driveway spacing standards on the State Highway System. Inadequate spacing between these driveways increases safety hazards from vehicles turning on and off the high-speed roadway. To reduce the potential for access problems and improve safety, the construction of one drive per flag lot should be avoided. Instead, internal flag lots should be served by an internal street or road system that provides access to the State Highway System at one location. This access point should meet the design standards for a street or roadway and not those of a driveway. A residential property with a frontage of less than 50 feet will be permitted a point of access only upon special consideration by the Department.

3D MEDIAN CROSSOVERS

The initial placement of median crossovers along divided highways is determined by engineering design. Divided highways operate at higher levels of safety with a minimum number of median crossovers. Additional crossovers create more conflicts and can lead to higher accident experience and loss of the advantages of the divided highway. They, therefore, are not normally permitted at driveways, and the Department reserves the right to limit access to right-in, right-out. However, when additional median crossovers are warranted, in order to not compromise the operation of existing crossovers or the highway, the spacing of these additional median crossovers should follow a typical pattern for each roadway and shall be limited by the criteria set forth in this section. Applications for median crossovers which are difficult to reconcile shall be forwarded for review to the Director of Traffic Engineering. The design and construction of new median crossovers shall be the responsibility of the permittee and be accomplished at no additional expense to the Department.

Whenever applicable, driveways should align directly with existing median crossover. Those that do not align directly should be located according to the minimum driveway spacing in [Figure 3-7](#) so that conflicts with traffic using the crossover can be avoided. (See [Figure 3-13](#))

Figure 3-13: Driveways with Median Crossovers

