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Meeting agenda  
Monday, December 22, 2022 6:00pm

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1. Call to order
2. Approval of minutes: 08/22/2022
3. Brief statement about rules and procedures
4. Special Exception application #SE22-007 – William Mullen- Wayne Nicholas is requesting a special exception hearing for a Communications Tower. TMS# 235-00-02-030 with the closest address of 407 Hall Rd Westminster SC 29693.
5. Variance application #VA22-0014 William Mullen- Wayne Nicholas requesting a 216' height variance (175' maximum), 216' fall zone variance (300' requirement), and variance from proximity to a church (Faith Baptist Church). TMS# 235-00-02-030 with the closest address of 407 Hall Rd Westminster SC 29693.
6. Discussion of rules regarding timeline for applicant submittals.
7. Adjourn

**Oconee County  
Board of Zoning  
Appeals**

Council Chambers  
415 South Pine Street  
Walhalla, S.C. 29691

[www.oconeesc.com](http://www.oconeesc.com)

**YouTube:** "YourOconee"

**Staff contact**

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**BOARD MEMBERS**

Jim Codner, Chairman, District I	Marty McKee, District IV
Gwen Fowler, District II	Bill Gilster, District III
John Eager, Vice Chairman, At-Large	Tim Mays, District V
Bill Decker, At-Large	

# OCONEE COUNTY BOARD OF ZONING APPEALS

415 South Pine Street - Walhalla, SC



TEL (864) 638-4218 FAX (864) 638-4168

## Minutes

6:00 PM – July 25, 2022, 2022

### Members in Attendance

Gwen Fowler  
Jim Codner  
William Decker

Bill Gilster  
John Eagar  
Marty McKee

### Staff

James Coley, Planning Director

### Media

NA

**ITEM 1 – Call to order** – Mr. Codner called the meeting to order at 6:00 PM.

**ITEM 2 – Motion to approve the minutes from June 27, 2022** – Mr. Eagar made a **motion** to approve the minutes from May 23; seconded by Mr. Decker. Mr. Codner called for a vote. The motion passed 4/0 with 2 abstentions (absent at previous meeting).

**ITEM 3 – Brief statement about rules and procedures** – Mr. Codner outlined the proceedings of the meeting going forward:

- Applicant will provide a presentation to state their request (5 minutes).
- Staff will be asked to make any comments regarding the request.
- The public is allowed to voice their approval or opposition to the proposed. Please do not repeat opinions that have already been stated into the record (3-5 minutes).
- Applicant rebuttal
- Board members will discuss in detail.
- Voting

**ITEM 4 – 4. Variance application #VA22-009 - Signarama Anderson - Jamie Smith is requesting a 93 square-foot increase variance from the 75 square-foot limit for stacked signs. TMS# 222-00-02-046, 1631 Sandifer Blvd, Seneca, SC 29678.**

**Applicant's opening statement and provision of evidence:** Mr. Dave Smith representing Signarama. Mr. Smith stated in pre planning that the planning staff stated

the sign would be allowed in the format shown assuming each section was individual. According to the ordinance would allow for 3 different signs across 123 however Mr. Smith states it would be an eye sore to have 3 individual signs.

**Staff comments:**

Mr. Coley states the ordinance allows a limit of 75sqft for a single sign. Three signs are allowed on the Hwy 123 frontage due to having over 300 linear feet.

**Public Comment:** None

**Applicant rebuttal:** None

**Board questions and discussion:**

- None

**Consideration of VA22-009:**

1. There **are** extraordinary and exceptional conditions pertaining to the particular piece of property:
  - a. Motion – Mr. Eagar made a motion, seconded by Mr. Gilster. No discussion.
  - b. Vote

In-favor	Opposed
5	0

Mr. Codner noted that the criterion passed.

2. These conditions **do not** generally apply to other property in the vicinity:
  - a. Motion – Mr. Eagar made a motion, seconded by Mr. Gilster. No discussion.
  - b. Vote

In-favor	Opposed
5	0

Mr. Codner noted that the criterion passed.

3. Because of these conditions, the application of this chapter to the particular piece of property **would** effectively prohibit or unreasonably restrict the utilization of the property; and
  - a. Motion – Mr. Eagar made a motion, seconded by Mr. Gilster.
  - b. Vote

In-favor	Opposed
5	0

Mr. Codner noted that the criterion passed.

4. The authorization of a variance **will not** be of substantial detriment to adjacent uses or to the public good, and the character of the district will not be harmed by the granting of the variance.

- a. Motion – Mr. Eagar made a motion; seconded by Mr. Gilster. No discussion.
- b. Vote

In-favor	Opposed
5	0

Mr. Codner noted that the criterion passed.

5. Mr. Codner asked – Based on the evidence presented to the Board, do I hear a motion that the proposed variance be **Approved**.

- a. Motion – Mr. Eagar made a motion; seconded by Mr. Gilster. No discussion.
- b. Vote

In-favor	Opposed
5	0

Mr. Codner noted that variance request was approved..

**ITEM 5 - 5. Variance application #VA22-011 – Civil & Environmental Consultants Inc – Karuam Booker is requesting a +/- 7'-15' variance from the required 25' front setback. TMS# 176-00-01-155, 102 Lusk Dr. West Union, SC 29696.**

**Applicant's opening statement and provision of evidence:** Mr. Karuam Booker and Mr. Brian Letwise are speaking on behalf of the owner. The owner would like to expand their services by adding an addition to the property.

**Staff comments:** Beneficial to the community to have additional building services.

**Public Comment:** None

**Applicant rebuttal:** None

**Board questions and discussion:** None

**Consideration of VA22-011:**

- 1. There **are** extraordinary and exceptional conditions pertaining to the particular piece of property:
  - a. Motion – Mr. Eagar made a motion, seconded by Mr. Mckee. No discussion.
  - b. Vote



In-favor	Opposed
5	0

Mr. Codner noted that the criterion passed.

2. These conditions **do not** generally apply to other property in the vicinity:
  - a. Motion – Mr. Eagar made a motion, seconded by Mr. Decker. No discussion.
  - b. Vote

In-favor	Opposed
5	0

Mr. Codner noted that the criterion passed.

3. Because of these conditions, the application of this chapter to the particular piece of property **would** effectively prohibit or unreasonably restrict the utilization of the property; and
  - a. Motion – Mr. Eagar made a motion, seconded by Mr. Decker.
  - b. Vote

In-favor	Opposed
5	0

Mr. Codner noted that the criterion passed.

4. The authorization of a variance **will not** be of substantial detriment to adjacent uses or to the public good, and the character of the district will not be harmed by the granting of the variance.
  - a. Motion – Mr. Eagar made a motion; seconded by Mr. Decker. No discussion.
  - b. Vote

In-favor	Opposed
5	0

Mr. Codner noted that the criterion passed.

5. Mr. Codner asked – Based on the evidence presented to the Board, do I hear a motion that the proposed variance be **Approved**.
  - a. Motion – Mr. Eagar made a motion; seconded by Mr. Gilster. No Discussion.
  - b. Vote

In-favor	Opposed
5	0

- a. Mr. Codner noted that variance request was approved.

**Item 8 Adjourn** – Mr. Decker made a motion to adjourn; seconded by Mr. Gilster. Mr. Codner called for a vote. Motion passed unanimously 5/0.

DRAFT

**EXHIBIT A**

Application for Special Exception (proposed communication tower)  
Parcel ID: 235-00-02-030; PeakNet (applicant)

**OWNER AUTHORIZATION**

James M. McClure, Cynthia M. Wilson and William T. McClure, III do hereby certify that we are the owners of Tax Parcel ID 235-00-02-030 in the tax records for Oconee County, SC (the "Property") and hereby certify that we give authorization to PeakNet, LLC through its attorney, Thomas H. Johnson, Jr. of Williams Mullen, to submit an application with Oconee County for a special exception for a communication tower on the Property.

6/20/22  
Date

6/20/22  
Date

6/20/22  
Date

James M. McClure BY William T. McClure POA  
James M. McClure

Cynthia M. Wilson BY William T. McClure POA  
Cynthia M. Wilson

William T. McClure III  
William T. McClure, III

## EXHIBIT B

### **APPLICANT'S NARRATIVE – REVIEW CRITERIA: SPECIAL EXCEPTIONS & VARIANCES**

APPLICATION FOR SPECIAL EXCEPTION (proposed communication tower)  
unaddressed Property off Hall Road (Parcel ID: 235-00-02-030)  
PeakNet (Applicant)

Below are the applicant's statements (bold text) describing how the proposed wireless communication facility complies with the review criteria contained in Oconee County Code of Ordinances Section 38-7-2 (*Special Exceptions*), Section 38-7-1 (*Variances*) and Section 32-140 (*Additional criteria for evaluating special exceptions and variances*) which are shown in italics below.

#### ***Sec. 38-7.2. Special exceptions.***

*The board of zoning appeals may grant a special exception only if it finds adequate evidence that any proposed development will meet all of the following general requirements as well as any specific requirements and standards listed for the proposed use. The board of zoning appeals shall among other things require that any proposed use and location be:*

- (1) *In accordance with the comprehensive plan and is consistent with the spirit, purposes, and the intent and specific requirements of this chapter, to include the definition and intent of the district in which the special exception is being requested;*

**According to Code Section 32-133(b), a communication tower is a permitted use in the subject zoning district upon approval of a special exception by the Board. The tower proposed with this special exception request is consistent with the spirit, purposes, and the intent of the Code and specific requirements pertaining to the proposed use as the tower/site complies with all applicable standards and requirements as demonstrated and described in the exhibits attached to this application.**

**The proposed use is consistent with multiple aspects of the Oconee County 2020 Comprehensive Plan, including:**

- **Land Use Element, Goal 11.1 – “*Establish an efficient, equitable, and mutually compatible distribution of land uses that complements Oconee County’s traditionally rural lifestyle, yet supports sustainable economic development, protects the environment, and manages future growth and changes.*”**
- **Land Use Element, Objective 11.1.2. – “*Manage development in a manner that ensures the County’s natural resources and lifestyle enhance sustainable economic prosperity while respecting private property rights.*”**
- **Land Use Element, Strategy 11.1.3.3. – “*Utilize the zoning process to accommodate appropriate development as requested.*”**
- **Community Facilities Element, Strategy 7.2.3.6. – “*Work with communications providers to ensure optimum communications access and speed for emergency services, local governments, businesses, residents, and visitors.*”**

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(2) *In the best interests of the county, the convenience of the community and the public welfare;*

**The proposed tower use will improve wireless communication service in areas currently with poor service, as shown on the coverage assessment (see Exhibit M) submitted by the applicant. The location of the tower/ground compound, as shown on the site plan (see Exhibit D) minimizes the amount tree clearing and land disturbance necessary to construct the facility. The proposed tower/site only requires electrical service and will not require water and sewer service. Erosion control measures and management of stormwater runoff will be in accordance with all applicable regulations during and after construction. There are no anticipated air discharges, and the tower will meet or exceed all ANSI, FCC and FAA regulations as further described in the exhibits attached to this application.**

(3) *Suitable for the property in question, and designed, constructed, operated, and maintained so as to be in harmony with and appropriate in appearance to the existing or intended character of the general vicinity;*

**The proposed tower and associated ground equipment will be located within a secured, fenced compound allowing only authorized access. Sheets L-1 and L-2 of the site plan (see Exhibit D) depict a landscape buffer/screen adjacent to the outside perimeter of the fence surrounding the tower compound, to be planted in accordance with these requirements and meet the applicable performance standards. The applicant submitted a WCF Certification letter (see Exhibit I) certifying the facility meets or exceeds applicable ANSI standards as adopted by the FCC regarding operation of the wireless communications facility and a radio frequency emission report (see Exhibit J). Sheet T-1 of the site plan (see Exhibit D) includes a note that all work and materials shall be performed and installed in accordance with applicable codes. Additional information pertaining to design and construction of the tower/site is included on relevant sheets of the site plan. The applicant also submitted an Impact Study prepared by a licensed appraiser (see Exhibit L) that indicates the proposed tower is in harmony with the area and will not adversely impact adjoining property values.**

(4) *Suitable in terms of effects on highway traffic, parking and safety with adequate access arrangements to protect streets from undue congestion and hazards.*

**The proposed tower/facility will not require daily on-site occupancy by personnel and only involves periodic maintenance/inspection by technicians, resulting in a minimal amount of overall vehicle trips to and from the site. As shown on the site plan submitted with the application (see Exhibit D), the proposed tower site layout includes sufficient driveway access, parking and turnaround area for vehicles visiting the site.**

*The developer shall have the burden of providing evidence to the county of compliance with the general requirements of this chapter and the specific requirements of the applicable section. The board*

**EXHIBIT B**  
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*of zoning appeals may impose whatever reasonable conditions it deems necessary to ensure that any proposed development will comply substantially with the objectives in this chapter.*

*Sec. 38-7.1. Variances.*

*The board of zoning appeals may grant a variance in an individual case of unnecessary hardship if the board of zoning appeals makes and explains in writing the following findings:*

- (1) *There are extraordinary and exceptional conditions pertaining to the particular piece of property;*

**The requested variance from the maximum height limit for communication towers and minimum setback requirements from certain property lines are due to physical characteristics of the property including existing topography, vegetation and vehicle access. The proposed tower location on the subject site is designed based in part on the physical topography of the area and the subject site's proximity to an existing access point. These aspects better balance multiple design considerations, including minimizing to the extent practical the physical height of the proposed tower and amount of tree removal/site disturbance required with maximizing functionality of the proposed communications tower.**

- (2) *These conditions do not generally apply to other property in the vicinity;*

**Other property in the area of the subject site are either already developed, closer in proximity to residential dwellings, or may require greater amount of land disturbance and tree clearing to create a site location similar to that of the proposed tower location.**

- (3) *Because of these conditions, the application of this chapter to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and*

**If the proposed tower were located on the subject property in manner such that requested variance from certain minimum setback requirements are not necessary, a longer driveway would be required which would require removal of significantly more trees and disturb more area. In addition, moving the tower to the middle of the owner's property would impact the utilization of the owner's property for other uses in the future. The fall zone letter signed/sealed by a licensed professional engineer (see Exhibit O) notes a fall radius less than the shortest distance the tower is set back from adjacent property lines (see Exhibit D), showing the reduced setback for the tower will not adversely affect adjoining properties.**

- (4) *The authorization of a variance will not be of substantial detriment to adjacent uses or to the public good, and the character of the district will not be harmed by the granting of the variance.*

## EXHIBIT B

### APPLICANT'S NARRATIVE – REVIEW CRITERIA: SPECIAL EXCEPTIONS & VARIANCES

APPLICATION FOR SPECIAL EXCEPTION (proposed communication tower)  
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The applicant, through information contained in the application and attached Impact Study prepared by a licensed appraiser (see Exhibit L), has demonstrated that the variance will not have a substantial adverse impact on adjacent uses or to the public good and has demonstrated and described how the proposed tower/site complies with applicable land development regulations and other performance standards. With respect to the request for variances from certain standards pertaining to maximum tower height and certain minimum setbacks, as further described in the application, the applicant submitted a fall zone letter (see Exhibit O) prepared and signed/sealed by a licensed professional engineer describing the fall radius for the proposed tower which, based on information shown on Sheet C-1 of the site plan (see Exhibit D), is less than the shortest distance the tower is set back from adjacent property lines.

- a. *The board of zoning appeals may not grant a variance the effect of which would be to allow the establishment of a use not otherwise permitted. The fact that the property may be utilized more profitably, should a variance be granted, may not be considered grounds for a variance.*

**This criterion is not applicable to this application; this is a request to allow construction/operation of a communication tower which, according to Section 32-133(b), is a permitted use upon approval of a special exception by the Board. As part of the Board's consideration of the special exception the applicant, as allowed under Sections 32-139(b) and 32-134(m), is requesting a variance from certain design standards for a freestanding tower.**

- b. *The board of zoning appeals may grant a variance to extend physically an existing nonconforming use provided that the expansion does not adversely affect the character of the community and is designed so as to minimize any negative secondary impacts.*

**This criterion is not applicable to this application; this is not a request to extend a nonconforming use.**

- c. *In granting a variance, the board of zoning appeals may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board of zoning appeals may consider advisable to protect established property values in the surrounding area, or to promote the public health, safety, or general welfare.*

**The applicant acknowledges this provision and will comply, if applicable, with any conditions attached to approval of the request.**

## EXHIBIT B

### APPLICANT'S NARRATIVE – REVIEW CRITERIA: SPECIAL EXCEPTIONS & VARIANCES

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*The developer shall have the burden of providing evidence to the county of compliance with the general requirements of this chapter and the specific requirements of the applicable section. The board of zoning appeals may impose whatever reasonable conditions it deems necessary to ensure that any proposed development will comply substantially with the objectives in this chapter.*

*Sec. 32-140. Additional criteria for evaluating special exceptions and variances.*

*(a) Application; conditions. All application requirements imposed by section 32-138 must be met.*

**The applicant has submitted all documentation and information required under Section 32-138 as further described in Exhibit E attached to the application.**

*(b) Setback requirements; additional conditions. The applicant must demonstrate that the proposed communication tower location is sufficient to satisfy setback requirements and must satisfy such other additional conditions, if any, necessary to remove dangers to safety and to protect adjacent property.*

**As described and demonstrated by the applicant through information contained in the application and attached Exhibits, the proposed location of the communication tower in combination with the tower's design characteristics sufficiently satisfies setback requirements to protect adjacent property. Where the location of the tower does not meet the minimum required numerical setback distance, the applicant has requested on the submitted application form a variance from the particular requirement and provided evidence, as described in Exhibit C, supporting the request. Section 32-134(m) provides for the granting of variances from certain setback requirements based upon submission of properly prepared engineered fall zone design/construction document(s), which the applicant has submitted with this application (see Exhibit O). The applicant submitted an Impact Study prepared by a licensed appraiser (see Exhibit L) demonstrating that the variance will not have a substantial adverse impact on adjacent uses or to the public good. The applicant has also described and demonstrated, through information contained in the application and attached Exhibits, how the proposed tower/site complies with applicable land development regulations and other performance standards.**

*(c) Residential service area. If location in a residential district, as defined in section 38-10.7 has been requested, the applicant must show that the area cannot be adequately served by a facility placed in a nonresidential district for valid technical reasons.*

**This criterion is not applicable to this special exception request; the proposed communication tower is not within in a residential district as defined in Code Section 38-10.7.**



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*(d) Greenspaces. If location in a residential district has been requested, the tower shall not be located on land designated for public recreational uses on the county land use plan.*

**This criterion is not applicable to this special exception request; the proposed communication tower is not within in a residential district as defined in Code Section 38-10.7.**

*(e) Priority of approval. If a location is requested which does not meet the requirements under section 32-133(b) for priority of approval the applicant must demonstrate that all alternative sites and locations or combinations thereof provided for in section 32-133(b) have been considered by the applicant, and the applicant has demonstrated that for the reasons described these sites and/or locations or combinations thereof cannot adequately serve the area for valid technical or economic reasons and are unsuitable for operation of the facility under applicable communications regulations.*

**The applicant demonstrated, as described in Exhibit C under the response to the requirements of Section 32-134(k), that all alternative sites and locations as provided for in Section 32-133(b) were considered and determined these cannot adequately serve the area for valid technical or economic reasons and are unsuitable for operation of the facility under applicable communications regulations. The applicant submitted the following evidence in support of their determination:**

- **a signed justification statement (see Exhibit F) certifying that no other structures exist within 1,300 feet of the proposed tower location that will adequately meet the applicant's network design requirements in this area;**
- **a map included as Sheet C-1A of the site plan (see Exhibit D) depicting the closest existing communication tower is 2,533 feet from the proposed tower location; and,**
- **coverage assessment with maps (see Exhibit M) for different elevations of antenna installations.**

*(f) Denial on substantial evidence. The Federal Telecommunications Act of 1996 requires that a denial of a permit be supported by substantial evidence. The board shall maintain a written record of all appeal proceedings and shall maintain supporting documentation for any and all decisions.*

**The applicant acknowledges this criterion.**

**EXHIBIT C**  
**APPLICANT'S NARRATIVE – COMPLIANCE WITH CODE SECTION 32-134**  
APPLICATION FOR SPECIAL EXCEPTION (proposed communication tower)  
unaddressed Property off Hall Road (Parcel ID: 235-00-02-030)  
PeakNet (Applicant)

Below are the applicant's statements (bold text) describing how the proposed wireless communication tower/facility complies with the general requirements contained in Oconee County Code of Ordinances Section 32-134 – *General Requirements* (shown in italics below).

*Sec. 32-134. General requirements.*

(a) *Illumination. Communication towers shall be illuminated only as required by the Federal Communication Commission (FCC) and/or the Federal Aviation Administration (FAA).*

**The tower is required to be marked/lighted in accordance with the FAA determination letter (see Exhibit G) for the proposed structure and the FCC Antenna Structure Registration (see Exhibit H). Proposed lighting is shown on Sheet C-3 of site plan (see Exhibit D).**

(b) *Color. Communication towers shall only be painted with a gray, non-reflective paint unless otherwise required by state or federal regulations.*

**The tower is required to be marked/lighted in accordance with the FAA determination letter (see Exhibit G) for the proposed structure and the FCC Antenna Structure Registration (see Exhibit H). The requirement regarding tower color is shown in the Notes on Sheet C-3 of site plan (see Exhibit D).**

(c) *Signs. A sign, two square feet in size which includes the names of the companies operating the equipment and a phone number for emergencies shall be displayed in a visible location on or near the communication tower. This sign shall be in addition to any signage requirements set by state and federal regulators. No commercial advertising of any type may be attached to a communication tower.*

**The applicant acknowledges these standards; required signage for the facility/equipment is shown on Sheets C-10 and C-5 of the site plan (see Exhibit D).**

(d) *Removal. A communication tower which use has been discontinued for a continuous period of one year, shall be removed within 120 days of the date of the end of such period, unless a use agreement is maintained with the landowner. Companies must notify the county within 30 days if telecommunications cease operations at a tower or antenna. All structures, fencing, screening and other improvements must be removed, and the site must be returned to its original condition at the company's expense.*

**The applicant acknowledges this requirement and will comply, if applicable, after the tower is constructed and operational.**

## EXHIBIT C

### **APPLICANT'S NARRATIVE – COMPLIANCE WITH CODE SECTION 32-134**

APPLICATION FOR SPECIAL EXCEPTION (proposed communication tower)  
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- (e) *Security. For towers greater than 75 feet, self-supporting freestanding communication towers, and associated structures shall be appropriately secured by means of a wall, fence, or other device at least eight feet in height and installed an appropriate distance from the outer edge of the communication tower at all points (collectively "security fencing").*

**The applicant proposes to install and maintain an 8-foot-tall fence as shown on the site plan, with fence and access gate details shown on Sheets C-9 and C-9A (see Exhibit D).**

- (f) *Screening. For towers greater than 75 feet, the purpose of this subsection is to establish control for the visual quality of communication towers from the ground level. A communication tower, as pertains to this subsection, includes the tower, the land, and everything within the required security fencing including any other building and equipment. The screen shall be a minimum depth of ten feet of land surrounding the tower except for one service access. An appropriate plant material screen shall be evergreen plants of a quality and planted in accordance with the standards of the American Nurserymen Association that are indigenous or native to the county area. Such plantings shall be appropriately spaced and of such a size so as to achieve a dense screen with a minimum height of six feet within a three-year period from erection of a tower. Additional screening with deciduous or evergreen trees is desirable and encouraged. Existing trees shall be preserved unless a waiver has been granted by the director to selectively cut specified trees. If in extreme or unusual situations and where it is proven impossible to properly construct the plant material screen, the director may grant permission to construct the security fence as a solid masonry wall, either brick or stucco-type finish, with a minimum height of six feet above ground level and constructed in accordance with applicable construction codes. A certificate of occupancy shall not be issued by the county codes department until the required planting is completed. When the occupancy of a structure is desired prior to the completion of the required planting, a certificate of occupancy may be issued only if the owners or developers provide to the county a form of surety satisfactory to the county attorney and in an amount equal to 125 percent of the costs of the remaining plant materials, related materials, and installation (with the costs agreed to by the director). The form of the surety shall be in conformity with the land development regulations for the county. All required plantings must be installed and approved by the first planting season following issuance of the certificate of occupancy or the bond will be forfeited to the county. The owners and their agents shall be responsible for providing, protecting, and maintaining all required plant material in healthy condition, replacing unhealthy or dead plants within one year or by the next planting season, whichever comes first. Replacement material shall conform to the original intent of the approved plan.*

**Sheets L-1 and L-2 of the site plan (see Exhibit D) depict a 10-foot landscape buffer/screen adjacent to the outside perimeter of the fence surrounding the tower compound, to be planted in accordance with these requirements and meet the applicable performance standards.**

## EXHIBIT C

### APPLICANT'S NARRATIVE – COMPLIANCE WITH CODE SECTION 32-134

APPLICATION FOR SPECIAL EXCEPTION (proposed communication tower)  
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- (g) *Tower wind load. The communication tower shall be designed to withstand winds in accordance with ANSI/EIA/TIA 222 (latest revision) standards based on the wind load presented by antenna, feedlines, and other associated hardware to be supported by the communication tower. Certification from a structural engineer registered in the state shall constitute proof that such standard has been met.*

**The applicant acknowledges this requirement and shall provide required documentation demonstrating compliance with the above standard as part of the building permit application process for the proposed tower and all proposed antenna installations. Sheet T-1 of the site plan (see Exhibit D) includes a note that all work and materials shall be performed and installed in accordance with applicable codes.**

- (h) *FCC authorization. The owner of the antenna and transmission/reception equipment to be installed on the communication tower shall possess either a valid FCC license/construction permit or a statement establishing FCC compliance for the proposed operation.*

**The applicant submitted the FCC Antenna Structure Registration (see Exhibit H) for the proposed tower, and a WCF Certification letter (see Exhibit I) certifying the facility meets or exceeds applicable ANSI standards as adopted by the FCC regarding operation of the wireless communications facility.**

- (i) *Design for multiple use. A new communication tower shall be designed to accommodate additional antennae as provided for elsewhere in this article.*

**Locations on both the tower and within the ground compound for accommodating additional antenna/ground equipment installations is shown on the site plan (see Exhibit D) including Sheets C-1, C-2, and C-3. Also, the applicant submitted a statement (see Exhibit K) certifying that unused space on the tower will be made available for other antennas/equipment at fair market value.**

- (j) *Safety codes. A communication tower shall comply with all applicable health, nuisance, noise, fire, building, and safety code requirements.*

**Sheet T-1 of the site plan (see Exhibit D) includes a note that all work and materials shall be performed and installed in accordance with applicable codes. Additional information pertaining to design and construction of the tower/site is included on relevant sheets of the site plan. The applicant also submitted a WCF Certification letter (see Exhibit I) certifying the facility meets or exceeds applicable ANSI standards as adopted by the FCC regarding operation of the wireless communications facility and a radio frequency emission report (see Exhibit J).**

## EXHIBIT C

### APPLICANT'S NARRATIVE – COMPLIANCE WITH CODE SECTION 32-134

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- (k) *Distance between towers. A proposed communication tower in excess of 100 feet shall not be permitted within 1,300 feet of an existing communication tower in excess of 100 feet in height, unless the applicant certifies to the board that the existing communication tower does not meet applicant's structural specifications and applicant's technical design requirements, or that a co-location agreement could not be obtained.*

**The closest existing communication tower is 2,533 feet from the proposed tower location, shown on Sheet C-1A of the site plan (see Exhibit D). The applicant submitted a signed justification statement (see Exhibit F) certifying that no other structures exist within 1,300 feet of the proposed tower location that will adequately meet the applicant's network design requirements in this area. The applicant also submitted a coverage assessment with maps (see Exhibit M) for different elevations of antenna installations.**

- (l) *Application of county land use regulations. Land development regulations and other performance standards shall apply to the use, unless otherwise provided in this article.*

**The applicant acknowledges this requirement and, through information contained in the application and attached Exhibits and through evidence presented during the public hearing on the special exception request, has demonstrated and described how the proposed tower/site complies with applicable land development regulations and other performance standards.**

- (m) *Minimum setbacks. A communication tower (not including guy anchors) over 75 feet must be, at a minimum, setback as follows:*

- (1) *A distance equal to the total height of the communication tower from all property lot lines.*

**The applicant requests a variance from this requirement; as shown on Sheet C-1 of the site plan (see Exhibit D), the proposed tower is located on the subject site less than the tower height from portions of certain property lines in northwest corner of the subject property. Please see Exhibit B for the Applicant's responses to the review criteria for variances in Oconee County Code of Ordinances Sections 38-7-1 and 32-140. The Applicant submitted a letter prepared and signed/sealed by a licensed professional engineer (see Exhibit O) describing the fall radius for the proposed tower which, based on information shown on Sheet C-1 of the site plan (see Exhibit D), is less than the shortest distance the tower is set back from all property lines.**

- (2) *A distance equal to the total height of the communication tower from the nearest point of any structure meeting minimum standards for human occupation as put forth in applicable building codes adopted by the county.*

## EXHIBIT C

### **APPLICANT'S NARRATIVE – COMPLIANCE WITH CODE SECTION 32-134**

APPLICATION FOR SPECIAL EXCEPTION (proposed communication tower)  
unaddressed Property off Hall Road (Parcel ID: 235-00-02-030)  
PeakNet (Applicant)

**The location of the proposed tower complies with this setback requirement; The Applicant submitted a letter prepared and signed/sealed by a licensed professional engineer (see Exhibit O) describing the fall radius for the proposed tower which, based on information shown on Sheet C-1 of the site plan (see Exhibit D), is less than the distance the tower is set back from the adjacent property owned by Faith Baptist Church (Parcel # 530-25-01-026) containing a church building.**

- (3) *A distance equal to the total height of the communication tower from any properties containing churches, schools, colleges, children's homes and shelters, hospitals and nursing homes; except that communication towers which meet the definition of stealth tower in section 32-132 may be permitted by special exception on these properties.*

**The applicant requests a variance from this requirement; as shown on Sheet C-1 of the site plan (see Exhibit D), the proposed tower is located 113± feet from the adjacent property owned by Faith Baptist Church (Parcel # 530-25-01-026). Please see Exhibit B for the Applicant's responses to the review criteria for variances in Oconee County Code of Ordinances Section 38-7-1. The Applicant submitted a letter prepared and signed/sealed by a licensed professional engineer (see Exhibit O) describing the fall radius for the proposed tower which, based on information shown on Sheet C-1 of the site plan (see Exhibit D), is less than the shortest distance the tower is set back from the property line of the adjacent church referenced above.**

- (4) *A distance equal to the total height of the communication tower from the right-of-way of all streets and roads.*

**The location of proposed tower complies with this setback requirement; refer to Surveyor's Note on Survey Sheet 1 of 2 included in site plan (see Exhibit D) for explanation regarding location of public right-of-way for Hall Road.**

- (5) *A communication tower may not be sited (1) within a distance equal to 250 feet of the boundary of a historic district; (2) on or within 250 feet of a structure that is a designated a National Historic Landmark or that is listed in, or eligible for listing in, the National Register of Historic Places; or (3) on or within property that is the subject of a pending complaint alleging an adverse effect on a historic property.*

**The location of proposed tower complies with this setback requirement.**

*All guy cables and anchors must be set back at a minimum of 20 feet from all lot lines and habitable structures.*

**As shown on the site plan (see Exhibit D), this is a self-supported tower design and does not require guy cables and anchors.**

**EXHIBIT C**  
**APPLICANT'S NARRATIVE – COMPLIANCE WITH CODE SECTION 32-134**  
APPLICATION FOR SPECIAL EXCEPTION (proposed communication tower)  
unaddressed Property off Hall Road (Parcel ID: 235-00-02-030)  
PeakNet (Applicant)

*Variances may be granted from the requirements of subsections (1) and (2) upon submission of a properly prepared engineered fall zone design/construction document(s).*

**The Applicant submitted a letter prepared and signed/sealed by a licensed professional engineer (see Exhibit O) describing the fall radius for the proposed tower which, based on information shown on Sheet C-1 of the site plan (see Exhibit D), is less than the shortest distance the tower is set back from adjacent property lines.**

**The Applicant also acknowledges the requirements of Code Section 32-141 (*Annual report required*) and Code Section 32-142 (*Technical assistance required*), included below, and shall comply with these standards as applicable.**

*Sec. 32-141. Annual report required.*

*All companies that operate or maintain ownership of communication towers in the county shall submit an annual report to the county planning department no later than January 15 of each year. The report shall include a description of all of the company's active and inactive facilities located in the county, co-locations of its own equipment, co-locations of other companies using its facilities, and shall include telephone numbers and addresses for company officials and maintenance personnel.*

*Sec. 32-142. Technical assistance required.*

*The director (prior to issuing a permit) and the board (prior to issuing a permit by special exception or deciding an appeal or request for variance) may make use of technical consultants to review applications and to determine if the standards in this article are met. The permit applicant shall be required to bear the cost of the required technical services. The director shall estimate any expenses and shall require payment with the completed application. Additional expenses shall be invoiced by the county finance department to the applicant. Amounts in excess of required fees and actual expenses shall be returned to the applicant.*

**EXHIBIT D: SITE PLAN**  
**Application for Special Exception (proposed communication tower)**  
**Parcel ID: 235-00-02-030; PeakNet (applicant)**

Exhibit D consists of this page and the following forty-five (45) plan sheets comprising the site plan for subject property depicting the proposed communication tower that is the subject of this special exception request:

Plan Title:     *Hall Rd*  
                   *Westminster, SC 29693*  
                   *(Oconee County)*  
                   *AT&T Site #: 016-237*  
                   *FA Location Code: 15535664*

Plan Date:     revised as shown in table below

Prepared by: Tower Engineering Professionals, Raleigh, NC

Plan Sheets:

<b>SHEET</b>	<b>DESCRIPTION</b>	<b>REV</b>
T1	TITLE SHEET	5
N1-N2	GENERAL NOTES	3
S1-S2	SURVEY	3
C1	SITE PLAN	4
C1A	AERIAL SITE PLAN	4
C2	COMPOUND DETAIL	4
C3	TOWER ELEVATION	3
C4-C4C	WUC DETAILS I-IV	3
C5	GENERATOR DETAILS	3
C6-C6A	FOUNDATION DETAILS I-II	3
C7-C7A	ICE BRIDGE DETAILS I-II	3
C8	ANTENNA MOUNTING DETAILS	3
C8A	PROPOSED ANTENNA/CABLE SCHEDULE	3
C9-C9A	FENCE & GATE DETAILS	3
C10	SIGNAGE DETAILS	3
C11	ACCESS ROAD DETAILS	3
C12	GRADING & EROSION CONTROL PLAN	4
C13	SILT FENCE DETAILS	3
L1-L2	LANDSCAPING PLAN AND DETAILS	4
E1	ELECTRICAL NOTES	3
E2A	ONE-LINE DIAGRAM	3
E2B	PANEL SCHEDULES	3
E3	SERVICE ROUTING PLAN	3
E4	SERVICE RACK DETAILS	3
E5A-E5B	GROUNDING PLAN I&II	3
E6	GROUNDING DETAILS I	3
E7	GROUNDING DETAILS II	3
E8	ELECTRICAL DETAILS	3
	APPENDIX	

- Sector Frame plans (3 sheets) – Kenwood Telecom
- Galv Pipe plan (1 sheet) – Kenwood Telecom
- Installation Drawings (3 sheets) - Generac

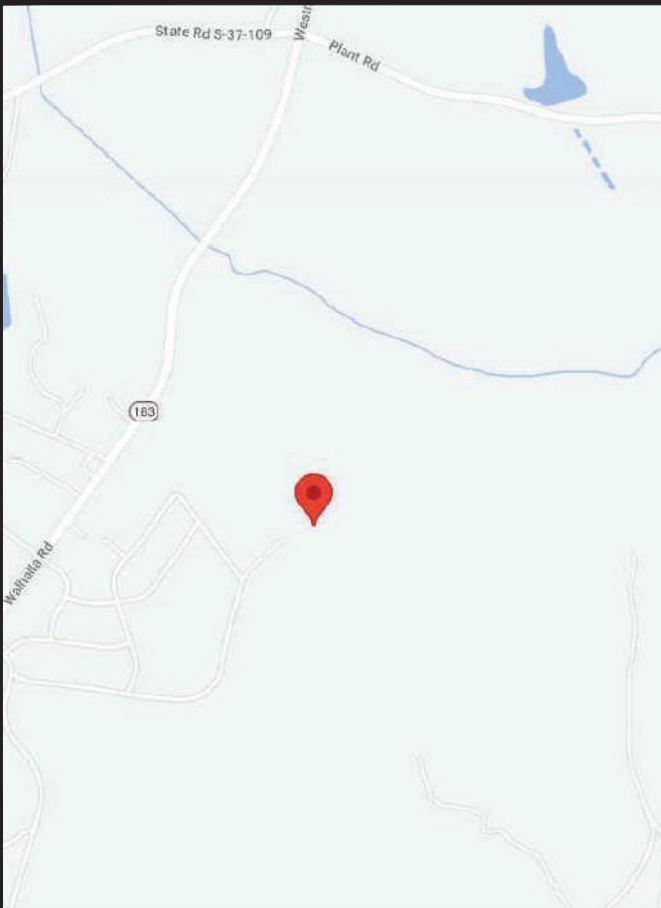


**AT&T SITE #:** 016-237  
**AT&T SITE NAME:** SCL02376  
**PROJECT DESCRIPTION:** PROPOSED WIRELESS TELECOMMUNICATIONS FACILITY  
**TOWER TYPE:** 300' SELF-SUPPORT  
**SITE ADDRESS:** HALL RD  
WESTMINSTER, SC 29693  
(OCONEE COUNTY)  
**JURISDICTION:** OCONEE COUNTY  
**AREA OF CONSTRUCTION:** 0.44 AC  
(19,186 ± SQ. FT.)  
**PRESENT OCC. TYPE:** RESIDENTIAL / AGRICULTURAL  
**CURRENT ZONING:** CONTROL FREE (CFD)  
**PARCEL ID #:** 235-00-02-030

**PROJECT INFORMATION**

**LATITUDE:** N 34° 40' 43.028" (NAD '83)  
**LONGITUDE:** W 83° 4' 50.779" (NAD '83)  
**GROUND ELEVATION:** ±872.6' (NAVD '88)

**1A COORDINATES**



**LOCATION MAP**

**PROJECT INFORMATION:**



**218 COLLEGE ST  
 GREENVILLE, SC 29601  
 OFFICE: (336) 286-6163**

**HALL RD  
 WESTMINSTER, SC 29693  
 (OCONEE COUNTY)**

**AT&T SITE #: 016-237  
 FA LOCATION CODE: 15535664**

**TOWER OWNER:**

**NAME:** PEAKNET  
**SITE NAME:** WESTMINSTER  
**ADDRESS:** 9887 FOURTH STREET N, ST 100  
**CITY, STATE, ZIP:** ST. PETERSBURG, FL 33702  
**CONTACT:** TIM SCOTT  
**PHONE:** (919) 413-5324

**APPLICANT/LICENSEE:**

**NAME:** AT&T MOBILITY  
**ADDRESS:** 218 COLLEGE ST  
**CITY, STATE, ZIP:** GREENVILLE, SC 29601  
**NOC #:** (800) 638-2822

**SURVEYOR**

**NAME:** POINT TO POINT LAND SURVEYORS  
**ADDRESS:** 100 GOVERNORS TRACE, STE. 103  
**CITY, STATE, ZIP:** PEACHTREE CITY, GA 30269  
**CONTACT:** G. DARRELL TAYLOR  
**PHONE:** (678) 565-4440

**CIVIL ENGINEER:**

**NAME:** TOWER ENGINEERING PROFESSIONALS  
**ADDRESS:** 326 TRYON ROAD  
**CITY, STATE, ZIP:** RALEIGH, NC 27603  
**CONTACT:** SCOTT C. BRANTLEY, P.E.  
**PHONE:** (919) 661-6351

**ELECTRICAL ENGINEER:**

**NAME:** TOWER ENGINEERING PROFESSIONALS  
**ADDRESS:** 326 TRYON ROAD  
**CITY, STATE, ZIP:** RALEIGH, NC 27603  
**CONTACT:** MARK S. QUAKENBUSH, P.E.  
**PHONE:** (919) 661-6351

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING:

- 1. INTERNATIONAL BUILDING CODE (2018 EDITION) W/ SC AMENDMENTS
- 2. SOUTH CAROLINA CODE COUNCIL
- 3. ANSI/TIA-222-H
- 4. 2017 NEC (NEC 2017 & ADDENDUM)
- 5. LOCAL BUILDING CODE
- 6. CITY/COUNTY ORDINANCES

**CODE COMPLIANCE**

**UTILITIES:**

**POWER COMPANY:** CITY OF WESTMINSTER  
**CONTACT:** CUSTOMER SERVICE  
**PHONE:** (864) 647-3200  
**METER # NEAR SITE:** 322183922

**TELEPHONE COMPANY:** AT&T  
**CONTACT:** CUSTOMER SERVICE  
**PHONE # NEAR SITE:** (800) 638-2822  
**PEDESTAL # NEAR SITE:** UNKNOWN

**PROPERTY OWNER:**

**NAME:** MCCLURE JAMES M ETAL  
**ADDRESS:** 781 SEED FARM ROAD  
**CITY, STATE, ZIP:** WESTMINSTER, SC 29693  
**CONTACT:** UNKNOWN  
**PHONE:** UNKNOWN

**PLANS PREPARED FOR:**



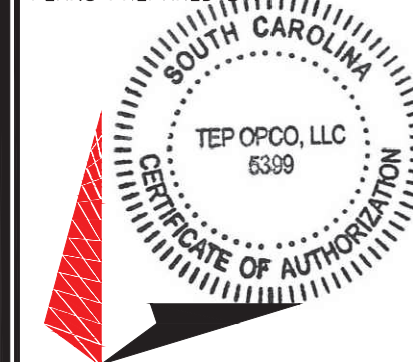
**9887 FOURTH STREET N, ST 100  
 ST. PETERSBURG, FL 33702**

**PEAKNET SITE NAME:  
 WESTMINSTER**

SHEET	DESCRIPTION	REV
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E8	ELECTRICAL DETAILS	3
APPENDIX		

**INDEX OF SHEETS**

**PLANS PREPARED BY:**



**TOWER ENGINEERING PROFESSIONALS**  
 326 TRYON ROAD  
 RALEIGH, NC 27603-3530  
 OFFICE: (919) 661-6351  
 www.tepgroup.net

REV	DATE	ISSUED FOR:
5	07-11-22	CONSTRUCTION
4	06-28-22	CONSTRUCTION
3	01-27-22	CONSTRUCTION
2	01-12-22	PRELIMINARY
1	12-17-21	PRELIMINARY
0	12-15-21	PRELIMINARY

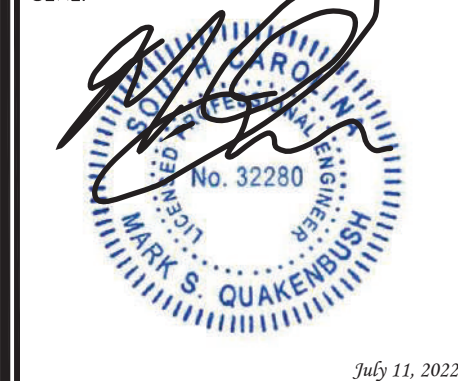
**DRAWN BY:** DAO **CHECKED BY:** TDS

**SEAL:**



July 11, 2022

**SEAL:**



July 11, 2022

**SHEET NUMBER:** T-1  
**REVISION:** 5  
 TEP #: 305012.631202

**GENERAL NOTES:**

- ALL REFERENCES MADE TO LICENSEE IN THESE DOCUMENTS SHALL BE CONSIDERED VERIZON WIRELESS OR AT&T OR THEIR DESIGNATED REPRESENTATIVES.
- ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING TO HAVE SUFFICIENT EXPERIENCE AND ABILITY, IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE OF SOUTH CAROLINA.
- WORK SHALL BE COMPLETED IN ACCORDANCE WITH ANSI/TIA 222-H STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES, ASCE 7-05 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES AND THE INTERNATIONAL BUILDING CODE, 2018 EDITION.
- UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS, OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT.
- ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERSEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF TEMPORARY BRACING, GUYS OR TIE DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER THE COMPLETION OF THE PROJECT.
- THE LICENSEE SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHILE WORK IS BEING PERFORMED. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS PRIOR TO SUBMITTING THE PROPOSAL. ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS (LATEST REVISION) SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING ANY MATERIALS ORDERING, FABRICATION OR CONSTRUCTION WORK ON THIS PROJECT. CONTRACTOR SHALL NOT SCALE CONTRACT DRAWINGS IN LIEU OF FIELD VERIFICATION. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LICENSEE AND THE LICENSEE'S ENGINEER. THE DISCREPANCIES MUST BE RESOLVED BEFORE THE CONTRACTOR IS TO PROCEED WITH THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE LICENSEE AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE PROCEDURES. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY GOVERNING AGENCY INSPECTORS.
- ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE LICENSEE AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES, AND COMPLIANCE WITH LOCAL, PROVINCIAL AND FEDERAL REGULATIONS REGARDING SAFETY, SHALL BE THE CONTRACTOR'S RESPONSIBILITY, AND THIS, PER THE INTERNATIONAL CODE - REGULATORS RESPECTING OCCUPATIONAL SAFETY & HEALTH THE SUCCESSFUL CONTRACTOR WILL SUBMIT HIS SAFETY MANUAL AT THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS, WITH THE LICENSEE'S PROJECT MANAGER.
- BILL OF MATERIALS AND PART NUMBERS LISTED ON CONSTRUCTION DRAWINGS ARE INTENDED TO AID CONTRACTOR/LICENSEE. CONTRACTOR/LICENSEE SHALL VERIFY PARTS AND QUANTITIES WITH MANUFACTURER PRIOR TO BIDDING AND/OR ORDERING MATERIALS.
- THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC.) ALL MATERIAL NOT SUITABLE FOR SUBGRADE IN ITS PRESENT STATE. AFTER REWORKING, IF THE MATERIAL REMAINS UNSUITABLE, THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL. ALL SUBGRADES SHALL BE PROOF-ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFT MATERIAL SHALL BE REWORKED OR REPLACED.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL PIPES, DITCHES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTED BY THE LICENSEE. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURE IN OPERABLE CONDITION.
- ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM ACCEPTANCE DATE.
- ANY BUILDINGS ON THIS SITE ARE INTENDED TO SHELTER EQUIPMENT WHICH WILL ONLY BE PERIODICALLY MAINTAINED, AND ARE NOT INTENDED FOR HUMAN OCCUPANCY.
- TEMPORARY FACILITIES FOR PROTECTION OF TOOLS AND EQUIPMENT SHALL CONFORM TO LOCAL REGULATIONS AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- RENTAL CHARGES, SAFETY, PROTECTION AND MAINTENANCE OF RENTED EQUIPMENT SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL CARRY LIABILITY INSURANCE IN THE AMOUNTS AND FORM IN ACCORDANCE WITH SPECIFICATIONS. CERTIFICATES DEMONSTRATING PROOF OF COVERAGE SHALL BE PROVIDED TO PRIOR TO THE START OF THE WORK ON THE PROJECT.

- THE CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITY SERVICES TO VERIFY LOCATIONS OF EXISTING UTILITIES AND REQUIREMENTS FOR NEW UTILITY CONNECTIONS PRIOR TO EXCAVATING. CONTRACTOR WILL BE RESPONSIBLE TO ASSIST IN COORDINATING AND OBTAINING PRIMARY POWER TO THE SITE PRIOR TO TOWER ERECTION BEFORE PROJECT COMPLETION. (ON SITE VISITS WITH UTILITY COMPANY REPRESENTATIVES AS NECESSARY, ETC...)
- THE CONTRACTOR SHALL GUARANTEE THE WORK PERFORMED ON THE PROJECT BY THE CONTRACTOR AND ANY OR ALL OF THE SUBCONTRACTORS WHO PERFORMED WORK FOR THE CONTRACTOR ON THIS PROJECT. THE GUARANTEE SHALL BE FOR A FULL YEAR FOLLOWING ISSUANCE OF THE FINAL PAYMENT OF HOLDBACK.
- AWARDED CONTRACTOR WILL BE REQUIRED TO SIGN AND RETURN A COPY OF AN AWARD LETTER FOR THE LICENSEE'S FILE.
- CONTRACTOR WILL BE REQUIRED TO PROVIDE PROOF OF LICENSE TO PERFORM WORK IN JURISDICTION AT TIME OF BID AWARD.
- CONTRACTOR WILL PROVIDE A CONSTRUCTION SCHEDULE PRIOR TO CONSTRUCTION STARTING AND WILL PROVIDE UPDATE/CHANGES (WITH EXPLANATIONS) TO THAT SCHEDULE WHEN/IF ITEMS ARE DELAYED OR PUSHED OUT.
- CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE PROJECT MANAGERS WITH PHOTOS OF THE MAJOR CONSTRUCTION MILESTONES AS THEY OCCUR.
- CONTRACTOR SHOULD BE PREPARED FOR RANDOM SAFETY INSPECTIONS AT ALL TIMES.
- CONTRACTOR IS EXPECTED TO MAINTAIN PROPER WORKING CONDITIONS AND PROCEDURES PER LOCAL AND FEDERAL STANDARDS AT ALL TIMES.
- CONTRACTOR WILL BE REQUIRED TO OBTAIN THE NECESSARY ELECTRICAL PERMITS AND INSPECTIONS AS REQUIRED BY JURISDICTION.
- CONTRACTOR IS RESPONSIBLE FOR CONCRETE COMPRESSION TESTING.
- CONTRACTOR IS RESPONSIBLE FOR GROUND MEG TESTING AND PROVIDING PROOF OF RESULT.
- WHEN REQUESTED, PROVIDE 3 COPIES OF FABRICATION AND ERECTION DRAWINGS PRIOR TO FABRICATION. ALLOW UP TO 1 WEEK FOR REVIEW BY CONSULTANT.
- IN ADDITION TO CONTRACTOR'S QUALITY CONTROL PROGRAM, INDEPENDENT TESTING AND INSPECTION MAY BE PERFORMED BY LICENSEE OR LICENSEE'S REPRESENTATIVE.
- SUBMIT RED-LINES COPY OF CONSTRUCTION DRAWINGS UPON COMPLETION OF CONSTRUCTION HIGHLIGHTING CHANGES IN THE STAMPED AND SIGNED AS-BUILT CONDITION FROM SHOWN ON THE DRAWINGS.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL GRADING AND FILL COMPACTION TESTING REQUIRED AS SET FORTH IN THE GEO TECHNOLOGICAL REPORT PROVIDED BY LICENSEE.

**CONCRETE:**

- ALL CONCRETE AND CONCRETE MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, 2018 EDITION.
- THE CONTRACTOR SHALL TAKE SAMPLES OF THE CONCRETE POURED UNDER THE CONDITIONS OUTLINED IN THE INTERNATIONAL BUILDING CODE, 2018 EDITION.
- ANY FAILURE OF A CONCRETE TEST CYLINDER TO MEET THE SPECIFIED STRENGTH REQUIREMENTS MUST BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY. CORRECTIVE ACTION MUST BE APPROVED BY THE ENGINEER AND ALL RELATED COSTS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- THE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF THE CONCRETE SHALL BE A MINIMUM OF 4,000 PSI (21 MPA), EXCEPT AS NOTED OR DIRECTED IN THE SOIL REPORT. THE CONCRETE, WHEN POURED, SHALL CONTAIN 7% AIR ENTRAINMENT WITH AN ALLOWABLE VARIATION OF +2%.
- CONTRACTOR MUST TAKE SLUMP TEST AT LEAST ONCE FROM EACH TRANSIT MIXER AFTER A MINIMUM OF 5% CONCRETE LOAD HAD BEEN DISCHARGED. SLUMP, UNLESS NOTED OTHERWISE ON THE DRAWINGS, SHALL BE 75 MM (2.95 INCHES).
- MIXED CONCRETE ON SITE (REMOTE AREAS) WITH THE CORRECT PROPORTION OF CEMENT, SAND, GRAVEL, AND AIR-ENTRAINING AGENT ALREADY ADDED, THE DRY PREMIX IS TO BE MIXED IN A CONCRETE BATCHER IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- BEFORE POURING CONCRETE, THE TRANSPORTING EQUIPMENT AND FORMS SHALL BE CLEANED AND ALL DEBRIS AND ICE SHALL BE REMOVED FROM PLACES TO BE OCCUPIED BY THE CONCRETE. ANY WATER THAT HAS ACCUMALATED IN THE FORMS SHALL BE REMOVED.
- ALL CONCRETE SHALL BE VIBRATED AND WORKED AROUND THE REINFORCEMENTS, EMBEDDED FIXTURES AND INTO THE CORNERS OF THE FORMS. ANY EXCESS WATER THAT ACCUMALATES WHILE THE CONCRETE IS BEING POURED SHALL BE REMOVED.

PLANS PREPARED FOR:

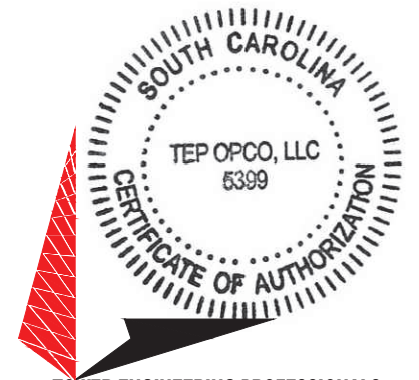


PEAKNET  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

**PEAKNET SITE NAME:  
WESTMINSTER  
AT&T SITE #: 016-237  
AT&T FA #: 15535664**  
HALL RD  
WESTMINSTER, SC 29693  
(OCONEE COUNTY)

PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
www.tepgroup.net

SEAL:



3	01-27-22	CONSTRUCTION
2	01-12-22	PRELIMINARY
1	12-17-21	PRELIMINARY
0	12-15-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

**GENERAL  
NOTES**

SHEET NUMBER:

**N-1**

REVISION:

**3**

TEP #: 305012.63 | 2022



**CONCRETE (CONTINUED):**

9. THE DESIGN ENGINEER SHALL RECEIVE A MINIMUM OF 24 HOURS NOTICE OF EVERY POUR.
10. THE CONCRETE IN FOUNDATIONS MUST BE POURED IN CONTINUOUS POURS BETWEEN CONSTRUCTION JOINTS. NO CONSTRUCTION JOINTS OTHER THAN THOSE SHOWN ON SITE SPECIFIC DRAWINGS WILL BE PERMITTED. THE CONTRACTOR SHALL PROVIDE EFFICIENT EQUIPMENT TO COMPLETE THE POURING OF EACH SECTION IN ONE CONTINUOUS POUR.
11. ALL FRAMEWORK SHALL BE BUILT IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE SHALL BE THOROUGHLY BRACED AND PLUMBED SO THAT THE FINISHED CONCRETE WILL CONFORM TO THE SHAPES, LINES, GRADES, AND DIMENSIONS INDICATED ON THE SITE DRAWINGS.
12. FORMS AND SHORING SHALL NOT BE REMOVED UNTIL THE CONCRETE IS ADEQUATELY SET. THEIR REMOVAL SHALL BE DONE IN SUCH A MANNER AS TO ENSURE THE COMPLETE SAFETY OF THE STRUCTURE.
13. FORMS WHICH SUPPORT THE WEIGHT OF THE CONCRETE, OR OF SUPERIMPOSED LOADS, SHALL NOT BE REMOVED UNTIL THE CONCRETE IS STRONG ENOUGH TO CARRY ITS OWN WEIGHT, AND SUCH SUPERIMPOSED LOADS AS MAY BE PLACED UPON IT.
14. THE CONCRETE SHALL BE MAINTAINED IN A MOIST CONDITION FOR AT LEAST 5 DAYS AFTER IT HAS BEEN POURED.
15. ALL SURFACES WHICH ARE NOT PROTECTED BY FORMS OR A SEALED WATERPROOF COATING SHALL BE KEPT MOIST BY CONTINUOUS SPRINKLING, OR OTHER MEANS SUCH AS COVERING WITH MOIST SAND, SAWDUST, OR BURLAP.
16. WHERE NECESSARY, THE CONCRETE SHALL BE PROTECTED AGAINST THE WEATHER BY A FRAMED HOUSING, TARPAULINS, OR OTHER SUITABLE COVERING.

**REINFORCING STEEL (REBAR):**

1. REINFORCING STEEL SHALL MEET CODE AND BE PLACED ACCORDING TO THE APPLICABLE DRAWINGS. THE MINIMUM THICKNESS OF CONCRETE OVER THE STEEL SHALL BE AT LEAST 3".
2. ALL REINFORCEMENTS THAT ARE REQUIRED FOR A DAYS POUR ON CONCRETE SHALL BE SECURELY FIXED IN PLACE IN SUFFICIENT TIME TO PERMIT INSPECTION BEFORE CONCRETING BEGINS.
3. THE DESIGN ENGINEER SHALL BE GIVEN 24 HOURS NOTICE BEFORE THE CONCRETE IS TO BE POURED. FAILURE TO COMPLY MAY NECESSITATE, BUT NOT BE LIMITED TO, THE REMOVAL OF THE POURED CONCRETE AT THE CONTRACTOR'S EXPENSE.

**GROUTING:**

1. WHERE GROUT IS INDICATED ON THE DRAWINGS UNDER STRUCTURAL BASE PLATES, THIS SHALL BE A NON-SHRINK, NON-FERROUS TYPE. METHODS OF MIXING AND PLACING MUST BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

**COLD WEATHER CONCRETING:**

1. THE CONTRACTOR SHALL PROVIDE AND HAVE ON THE SITE READY FOR USE, ADEQUATE EQUIPMENT FOR HEATING CONCRETE MATERIALS AND PROTECTING FRESH CONCRETE DURING FREEZING OR NEAR FREEZING WEATHER CONDITIONS, ACCORDING TO THE SOUTH CAROLINA UNIFORM STATEWIDE BUILDING CODE.
2. ALL CONCRETE MATERIALS, REBAR, FORMS, FILLERS, AND THE EARTH WITH WHICH THE CONCRETE IS TO COME INTO CONTACT WITH, SHALL BE FREE FROM FROST AND ICE.
3. WHENEVER THE SURROUNDING TEMPERATURE IS BELOW 39°F, ALL CONCRETE POURED IN THE FORMS SHALL HAVE A TEMPERATURE OF 68°F FOR 4 DAYS.
4. THE HOUSING, COVERING, OR OTHER PROTECTION USED FOR THE CURING SHALL REMAIN IN PLACE AND INTACT FOR AT LEAST 24 HOURS AFTER THE ARTIFICIAL HEATING IS DISCONTINUED.
5. SALT, CALCIUM CHLORIDE, OR OTHER CHEMICALS SHALL NOT BE USED IN THE CONCRETE MIX TO PREVENT THE WATER CONTENT FROM FREEZING.

**UTILITIES:**

1. CONTRACTOR SHALL CONTACT A SUBSURFACE UTILITY LOCATOR FOR LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. LOCATION OF EXISTING SEWER, WATER LINES, GAS LINES, CONDUITS OR OTHER STRUCTURES ACROSS, UNDERNEATH, OR OTHERWISE ALONG THE LINE OF PROPOSED WORK ARE NOT NECESSARILY SHOWN ON THE PLANS, AND IF SHOWN ARE ONLY APPROXIMATELY CORRECT. CONTRACTOR ASSUMES SOLE RESPONSIBILITY FOR VERIFYING LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES (INCLUDING TEST PITS BY HAND IF NECESSARY) IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OF ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS, OR IF THERE APPEARS TO BE A CONFLICT.
2. CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH APPROPRIATE UTILITY LESSEES AND CONSTRUCTION MANAGER.
3. DAMAGE BY THE CONTRACTOR TO UTILITIES OR PROPERTY OF OTHERS, INCLUDING EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE LICENSEE. FOR GRASSES AREAS, SEED AND MULCH SHALL BE ACCEPTABLE.

**UTILITIES (CONT.):**

4. THE CONTRACTOR SHALL COORDINATE WITH THE LICENSEE THE REQUIREMENTS FOR AND LIMITS OF OVERHEAD AND/OR UNDERGROUND ELECTRICAL SERVICE.
5. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF NEW UNDERGROUND TELEPHONE SERVICE WITH THE TELEPHONE UTILITY AND LICENSEE'S REQUIREMENTS.
6. ALL UNDERGROUND UTILITIES SHALL BE INSTALLED AND TESTED SATISFACTORY PRIOR TO COMMENCING ANY PAVING OPERATIONS WHERE SUCH UTILITIES ARE WITHIN THE LIMITS OF PAVEMENT.

**SITE GRADING PREPARATION:**

1. REMOVE OBSTRUCTIONS, TREES, SHRUBS, GRASS, AND OTHER VEGETATION TO PERMIT INSTALLATION OF NEW CONSTRUCTION.
2. DO NOT REMOVE TREES, SHRUBS, AND OTHER VEGETATION INDICATED TO REMAIN OR TO BE RELOCATED. DO NOT WORK OUTSIDE LICENSEE LICENSE AREA. CUT MINOR ROOTS AND BRANCHES OF TREES INDICATED TO REMAIN IN A CLEAN AND CAREFUL MANNER WHERE SUCH ROOTS AND BRANCHES OBSTRUCT INSTALLATION OF NEW CONSTRUCTION.
3. REMOVE STUMPS, OBSTRUCTIONS, AND DEBRIS EXTENDING TO A DEPTH OF 18 INCHES BELOW EXPOSED SUBGRADE. USE ONLY HAND METHODS FOR GRUBBING WITHIN TREE PROTECTION ZONE.
4. CHIP REMOVED TREE BRANCHES AND DISPOSE OF OFF-SITE.
5. UNLESS SPECIFICALLY NOTED ON THE CONSTRUCTION DRAWINGS THE ACCESS ROAD SHALL BE CLEARED OF ALL TREES WITHIN 10' ON EACH SIDE OF THE PROPOSED TRAVEL LANE OR 30 FEET WIDE, WHICHEVER IS GREATER.
6. FILL DEPRESSIONS CAUSED BY CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL UNLESS FURTHER EXCAVATION OR EARTHWORK IS INDICATED. PLACE FILL MATERIAL IN HORIZONTAL LAYERS NOT EXCEEDING A LOOSE DEPTH OF 8 INCHES AND COMPACT EACH LAYER TO A DENSITY EQUAL TO ADJACENT ORIGINAL GROUND.
7. REMOVED SOD AND GRASS BEFORE STRIPPING TOPSOIL. STRIP TOPSOIL TO WHATEVER DEPTHS ARE ENCOUNTERED IN A MANNER TO PREVENT INTERMINGLING WITH UNDERLYING SUBSOIL OR OTHER WASTE MATERIALS. REMOVE SUBSOIL AND NON-SOIL MATERIALS FROM TOPSOIL, INCLUDING TRASH, DEBRIS, WEEKS, ROOTS, AND OTHER WASTE MATERIALS.
8. STOCKPILE TOPSOIL MATERIALS AWAY FROM EDGE OF EXCAVATIONS WITHOUT INTERMIXING SUBSOIL. GRADE AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST OR CONTAMINATION BY AIR-BORNE WEED SEEDING. DO NOT STOCKPILE TOPSOIL WITHIN TREE PROTECTION ZONES.
9. UNLESS DIRECTED OTHERWISE BY LICENSEE CONSTRUCTION MANAGER ALL TOPSOIL THAT HAS BEEN STRIPPED OR CUT AND STOCKPILED, BUT IS NOT NEEDED AFTER THE COMPLETION OF ALL FINAL TOPSOIL SPREADING AND GRASSING, SHALL BE REMOVED FROM THE PROPERTY BY THE CONTRACTOR.
10. UNLESS DIRECTED OTHERWISE BY LICENSEE CONSTRUCTION MANAGER ALL TIMBER FROM CLEARING OPERATIONS SHALL BE REMOVED FROM THE PROPERTY.
11. REMOVED EXISTING ABOVE- AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO FACILITATE NEW CONSTRUCTION.
12. REMOVED SLABS, PAVING, CURBS, GUTTERS, AND AGGREGATE BASE AS INDICATED. UNLESS EXISTING FULL-DEPTH JOINTS COINCIDE WITH LINE DEMOLITION, NEATLY SAW-CUT LENGTH OF EXISTING PAVEMENT TO REMAIN BEFORE EXISTING PAVEMENT. SAW-CUT FACES VERTICALLY. PAINT CUT ENDS OF STEEL REINFORCEMENT IN CONCRETE TO REMAIN TO PREVENT CORROSION AND PROVIDE ORANGE SAFETY CAPS ON ALL BLUNT ENDS.
13. DISPOSAL: REMOVE SURPLUS SOIL MATERIAL, STUMPS, BRUSH, CHIPS, UNSUITABLE TOPSOIL, OBSTRUCTIONS, DEMOLISHED MATERIALS, AND WASTE MATERIALS INCLUDING TRASH AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF LICENSEE'S PROPERTY.
14. BURNING ON SITE IS PROHIBITED. BURYING STUMPS, BRUSH, TREES, AND ORGANIC MATTER IS PROHIBITED. SEPARATE RECYCLABLE MATERIALS PRODUCED DURING SITE CLEARING FROM OTHER NON-RECYCLABLE MATERIALS. STORE OR STOCKPILE WITHOUT INTERMIXING WITH OTHER MATERIALS AND TRANSPORT THEM TO RECYCLING FACILITIES.

**PROJECT SCOPE:**

1. THE EQUIPMENT DESIGN INCLUDES ONE (1) COMMSCOPE RBA84 CABINET.
2. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND MODIFYING SCOPE OF WORK FOR ENTIRE PROJECT TO ACCOMMODATE CHANGES IN THE EQUIPMENT DESIGN. CONFIRM NUMBER AND TYPE OF EQUIPMENT CABINETS SCHEDULED TO BE INSTALLED FOR THE INITIAL BUILD, AND COORDINATE ANY CHANGES TO THE PROJECT SCOPE WITH THE CM.

PLANS PREPARED FOR:



PEAKNET  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

**PEAKNET SITE NAME:  
WESTMINSTER  
AT&T SITE #: 016-237  
AT&T FA #: 15535664**  
HALL RD  
WESTMINSTER, SC 29693  
(OCONEE COUNTY)

PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
www.tepgroup.net

SEAL:



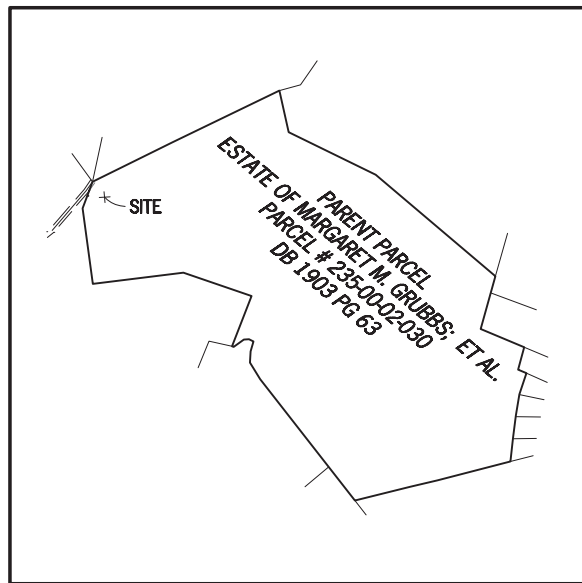
3	01-27-22	CONSTRUCTION
2	01-12-22	PRELIMINARY
1	12-17-21	PRELIMINARY
0	12-15-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

**GENERAL NOTES**

SHEET NUMBER: <b>N-2</b>	REVISION: <b>3</b> TEP#: 305012.63   202
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**PARENT PARCEL**

OWNER: ESTATE OF MARGARET M. GRUBBS; JAMES M. MCCLURE; CYNTHIA M. WILSON; WILLIAM T. MCCLURE III; JOHN MICHAEL GRUBBS, SR; MARY NELL GRUBBS BARRETT

SITE ADDRESS: HALL ROAD, WESTMINSTER, SC 29693

PARCEL ID: 235-00-02-030

AREA: 101.6 ACRES (PER TAX ASSESSOR)

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS

REFERENCE: DEED BOOK 1903 PAGE 63  
DEED BOOK 1648, PAGE 331  
DEED BOOK 1561, PAGE 148  
DEED BOOK 749, PAGE 52  
PROBATE INST. 2021ES3700210

**LINE TABLE**

LINE	BEARING	DISTANCE
L1	N52°53'04"W	30.00'
L2	N37°06'56"E	13.00'
L3	N52°53'04"W	33.22'
L4	N20°14'12"E	31.35'
L5	S52°53'04"E	42.32'
L6	N37°06'56"E	13.00'
L7	S52°53'04"E	30.00'
L8	S37°06'56"W	56.00'
L9	N37°06'58"E	20.00'
L10	S52°53'02"E	20.00'
L11	S37°06'58"W	20.00'
L12	N52°53'02"W	20.00'

**SITE INFORMATION**

LEASE AREA = 10,000 SQUARE FEET (0.2296 ACRES)

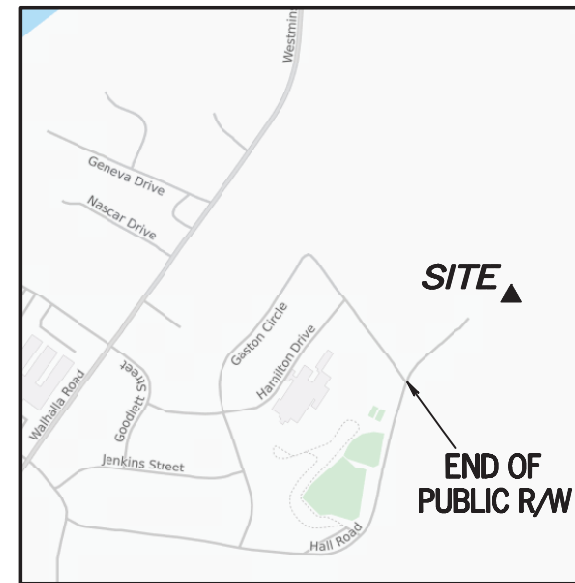
LATITUDE = 34°40'43.03" (NAD 83) (34.678619°)  
LONGITUDE = -83°04'50.78" (NAD 83) (-83.080772°)  
AT CENTER LEASE AREA

ELEVATION AT CENTER OF LEASE AREA = 872.1' A.M.S.L.

**GPS NOTES**

THE FOLLOWING GPS STATISTICS UPON WHICH THIS SURVEY IS BASED HAVE BEEN PRODUCED AT THE 95% CONFIDENCE LEVEL:

POSITIONAL ACCURACY: 0.08 FEET (HORZ) 0.31 FEET (VERT)  
TYPE OF EQUIPMENT: GEOMAX ZENITH35 PRO BASE AND ROVER, DUAL FREQUENCY  
TYPE OF GPS FIELD PROCEDURE: ONLINE POSITION USER INTERFACE  
DATES OF SURVEY: 08/17/2021  
DATUM / EPOCH: NAD\_83(2011)EPOCH:2010.0000  
PUBLISHED / FIXED CONTROL USE: N/A  
GEOID MODEL: 18  
COMBINED GRID FACTOR(S): 0.99991168  
CONVERGENCE ANGLE: -1.15465000°  
BENCHMARKS USED: DG4257, DH3755, DL2762



**VICINITY MAP**

NOT TO SCALE

**GENERAL NOTES**

\* THIS SPECIFIC PURPOSE SURVEY IS FOR THE LEASED PREMISES AND EASEMENTS ONLY. THIS SPECIFIC PURPOSE SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF PEAKNET SERVICES, LLC AND EXCLUSIVELY FOR THE TRANSFERRAL OF THE LEASED PREMISES AND THE RIGHTS OF EASEMENT SHOWN HEREON AND SHALL NOT BE USED AS AN EXHIBIT OR EVIDENCE IN THE FEE SIMPLE TRANSFERRAL OF THE PARENT PARCEL NOR ANY PORTION OR PORTIONS THEREOF. BOUNDARY INFORMATION SHOWN HEREON HAS BEEN COMPILED FROM TAX MAPS AND DEED DESCRIPTIONS ONLY. NO BOUNDARY SURVEY OF THE PARENT PARCEL WAS PERFORMED.

THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY.

EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: LEICA TPS 1200 ROBOTIC & GEOMAX ZENITH 35. (DATE OF LAST FIELD VISIT: 08/17/2021)

THE 1' CONTOURS AND SPOT ELEVATIONS SHOWN ON THIS SPECIFIC PURPOSE SURVEY ARE ADJUSTED TO NAVD 88 DATUM (COMPUTED USING GEOID18) AND HAVE A VERTICAL ACCURACY OF ± 0.5'. CONTOURS OUTSIDE THE IMMEDIATE SITE AREA ARE APPROXIMATE.

BEARINGS SHOWN ON THIS SPECIFIC PURPOSE SURVEY ARE BASED ON GRID NORTH (NAD 83) SOUTH CAROLINA ZONE.

PER THE FEMA FLOODPLAIN MAPS, THE SITE IS LOCATED IN AN AREA DESIGNATED AS ZONE X (AREA OF MINIMAL FLOOD HAZARD). COMMUNITY PANEL NO. : 45073C0315C DATED: 09/11/2009

NO WETLAND AREAS HAVE BEEN INVESTIGATED BY THIS SPECIFIC PURPOSE SURVEY.

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS.

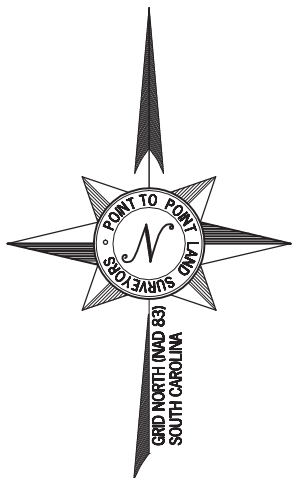
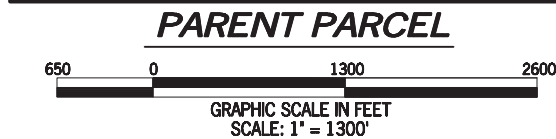
ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT ANY UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT ANY UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UNDERGROUND UTILITIES.

**SURVEYOR'S NOTE**

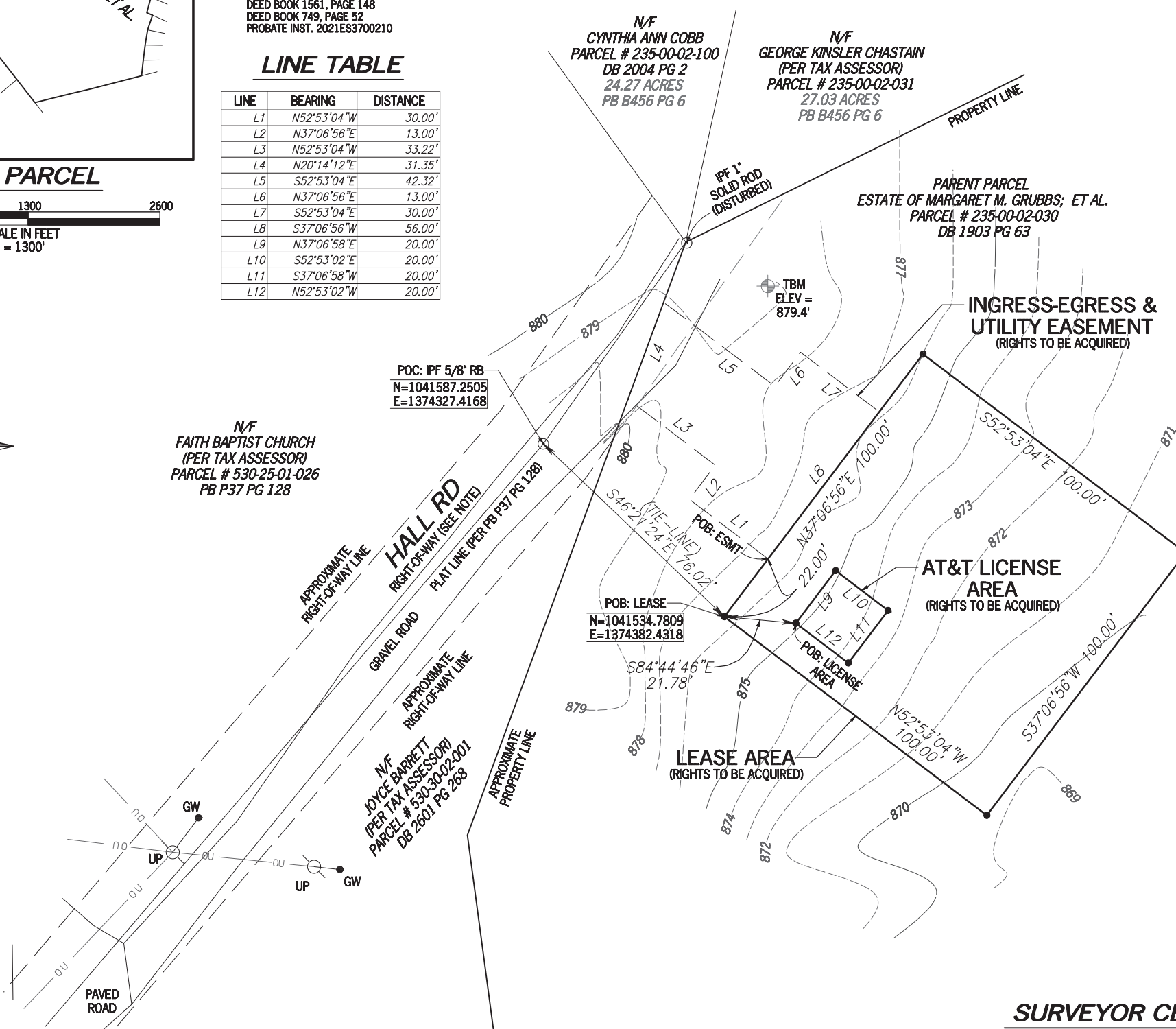
AT THE TIME OF SURVEY, THERE WAS STANDING WATER IN PORTIONS OF THE SITE.

THE 50' PUBLIC RIGHT-OF-WAY OF HALL ROAD APPEARS TO END AT THE INTERSECTION OF HALL ROAD AND GASTON CIRCLE PER S.C. DOT PLAN FILE 37,527 SHEET 7 OF 10 (SEE VICINITY MAP).

SURVEY NOT VALID WITHOUT SHEET 2 OF 2



- LEGEND**
- POB POINT OF BEGINNING
  - POC POINT OF COMMENCEMENT
  - IPF IRON PIN FOUND
  - CRB CAPPED REBAR
  - N/F NOW OR FORMERLY
  - C/L CENTERLINE
  - TBM TEMPORARY BENCHMARK
  - UP UTILITY POLE
  - GW GUY WIRE ANCHOR
  - OH OVERHEAD WIRES



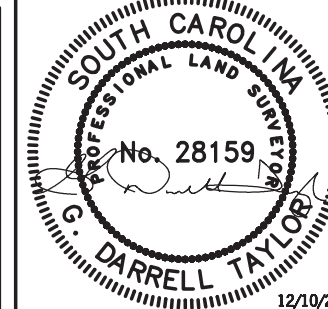
**SURVEYOR CERTIFICATION**

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "B" SURVEY SPECIFIED THEREIN.

THIS SURVEY IS NOT FOR RECORDATION PURPOSES.

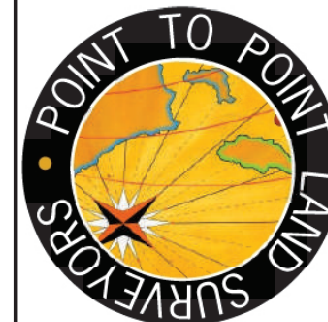


Know what's below.  
Call before you dig.



NO.	DATE	REVISION
1	9/14/21	TITLE REVIEW
2	12/10/2021	ESMT & LICENSE AREA

POINT TO POINT LAND SURVEYORS  
100 Governors Trace, Ste. 103  
Peachtree City, GA 30269  
(p) 678.565.4440 (f) 678.565.4497  
(w) pointtopointsurvey.com



SPECIFIC PURPOSE SURVEY PREPARED FOR:



PEAKNET  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

WESTMINSTER

TUGALOO TOWNSHIP,  
OCONEE COUNTY,  
SOUTH CAROLINA

DRAWN BY: AJT

CHECKED BY: JKL

APPROVED: D. MILLER

DATE: AUGUST 24, 2021

P2P JOB #: 211216SC

SHEET:

1

OF 2



# LEGAL DESCRIPTION SHEET

## PARENT PARCEL

PER U.S. TITLE SOLUTIONS REPORT OF TITLE (FILE NO. UST69475)

APPROXIMATELY 101.6 ACRES TRACT LOCATED IN TUGALOO TOWNSHIP WHICH IS A PORTION OF A 106 1/4 ACRES BEING COMPOSED OF TWO TRACTS: (1) A 51 1/4 ACRE TRACT, SHOWN BY A PLAT OF SURVEYED BY C.C. MYERS, DATED MARCH 27, 1912, ADJOINING LANDS OF MRS. ANNA SMITH, S.J. MARTIN AND OTHERS AND (2) A 55 ACRE TRACT ADJOINING LANDS OF MRS. ANNA SMITH, NEVILLE BROTHERS, AND OTHERS.

## LEASE AREA

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN TUGALOO TOWNSHIP, OCONEE COUNTY, SOUTH CAROLINA, AND BEING A PORTION OF THE LANDS OF MARGARET M. GRUBBS AS TRUSTEE OF THE MARGARET M. GRUBBS TRUST, AS RECORDED IN DEED BOOK 1903, PAGE 63, OCONEE COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 5/8-INCH REBAR FOUND, HAVING A SOUTH CAROLINA GRID NORTH, NAD 83, SINGLE ZONE VALUE OF N: 1041587.2505 E: 1374327.4168; THENCE RUNNING ALONG A TIE-LINE, SOUTH 46°21'24" EAST, 76.02 FEET TO A POINT HAVING A SOUTH CAROLINA GRID NORTH, NAD 83, SINGLE ZONE VALUE OF N: 1041534.7809 E: 1374382.4318, AND BEING THE TRUE POINT OF BEGINNING; THENCE, NORTH 37°06'56" EAST, 100.00 FEET TO A POINT; THENCE, SOUTH 52°53'04" EAST, 100.00 FEET TO A POINT; THENCE, SOUTH 37°06'56" WEST, 100.00 FEET TO A POINT; THENCE, NORTH 52°53'04" WEST, 100.00 FEET TO A POINT AND THE POINT OF BEGINNING.

BEARINGS BASED ON SOUTH CAROLINA GRID NORTH, NAD 83, SINGLE ZONE.

SAID TRACT CONTAINS 0.2296 ACRES (10,000 SQUARE FEET), MORE OR LESS.

## INGRESS-EGRESS & UTILITY EASEMENT

TOGETHER WITH AN INGRESS-EGRESS AND UTILITY EASEMENT LYING AND BEING IN TUGALOO TOWNSHIP, OCONEE COUNTY, SOUTH CAROLINA, AND BEING A PORTION OF THE LANDS OF MARGARET M. GRUBBS AS TRUSTEE OF THE MARGARET M. GRUBBS TRUST, AS RECORDED IN DEED BOOK 1903, PAGE 63, OCONEE COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 5/8-INCH REBAR FOUND, HAVING A SOUTH CAROLINA GRID NORTH, NAD 83, SINGLE ZONE VALUE OF N: 1041587.2505 E: 1374327.4168; THENCE RUNNING ALONG A TIE-LINE, SOUTH 46°21'24" EAST, 76.02 FEET TO A POINT ON THE LEASE AREA HAVING A SOUTH CAROLINA GRID NORTH, NAD 83, SINGLE ZONE VALUE OF N: 1041534.7809 E: 1374382.4318; THENCE RUNNING ALONG SAID LEASE AREA, NORTH 37°06'56" EAST, 22.00 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE LEAVING SAID LEASE AREA AND RUNNING, NORTH 52°53'04" WEST, 30.00 FEET TO A POINT; THENCE, NORTH 37°06'56" EAST, 13.00 FEET TO A POINT; THENCE, NORTH 52°53'04" WEST, 33.22 FEET TO A POINT ON THE WESTERLY PROPERTY LINE OF SAID LANDS; THENCE RUNNING ALONG SAID WESTERLY PROPERTY LINE, NORTH 20°14'12" EAST, 31.35 FEET TO A POINT; THENCE LEAVING SAID WESTERLY PROPERTY LINE AND RUNNING, SOUTH 52°53'04" EAST, 42.32 FEET TO A POINT; THENCE, NORTH 37°06'56" EAST, 13.00 FEET TO A POINT; THENCE, SOUTH 52°53'04" EAST, 30.00 FEET TO A POINT ON THE LEASE AREA; THENCE RUNNING ALONG SAID LEASE AREA, SOUTH 37°06'56" WEST, 56.00 FEET TO A POINT AND THE POINT OF BEGINNING.

BEARINGS BASED ON SOUTH CAROLINA GRID NORTH, NAD 83, SINGLE ZONE.

SAID EASEMENT CONTAINS 0.0646 ACRES (2,813 SQUARE FEET), MORE OR LESS.



## TITLE EXCEPTIONS

THIS SURVEY WAS COMPLETED WITH THE AID OF TITLE WORK PREPARED BY U.S. TITLE SOLUTIONS, REPORT OF TITLE DATED SEPTEMBER 10, 2021, FILE NO. UST69475, REF. HALL ROAD, FOR THE PARENT PARCEL, TO DETERMINE THE IMPACTS OF EXISTING TITLE EXCEPTIONS.

4.1 EASEMENT TO BLUE RIDGE ELECTRIC COOPERATIVE, RECORDED JANUARY 26, 2018, IN BOOK 2331, PAGE 280. [THIS ITEM IS NOT APPLICABLE TO THE PARENT PARCEL.]

4.2 EASEMENT BY WILLIAM T. MCCLURE TO BLUE RIDGE ELECTRIC COOPERATIVE, DATED APRIL 21, 2011, RECORDED MAY 20, 2011, IN BOOK 1836, PAGE 77. [THIS ITEM IS NOT APPLICABLE TO THE PARENT PARCEL.]

4.3 RIGHT OF WAY BY MARY M. GRUBBS; W.T. MCCLURE, JR.; WILLIAM T. MCCLURE, III; JAMES H. MCCLURE; CYNTHIA M. WILSON; WILLIAM R. GRUBBS; JOHN M. GRUBBS AND MARY NELL G. BARRETT TO DUKE POWER COMPANY, DATED JANUARY 12, 1982, RECORDED JANUARY 27, 1982, IN BOOK 14-Q, PAGE 181. [THIS ITEM IS NOT APPLICABLE TO THE PARENT PARCEL.]

4.4 EASEMENT BY W. T. MCCLURE, JR. AND MARY M. GRUBBS TO OCONEE COUNTY, DATED MAY 21, 1977, RECORDED MAY 23, 1977, IN BOOK 12-S, PAGE 159. [THIS ITEM CANNOT BE LOCATED BECAUSE THE DESCRIPTION IS VAGUE AND WE CANNOT ASCERTAIN THE EXACT LOCATION THEREOF.]

4.5 RIGHT OF WAY BY PEARL M. MCCLURE, W.T. MCCLURE, JR. AND MARY M. GRUBBS TO DUKE POWER COMPANY, DATED AUGUST 26, 1967, RECORDED AUGUST 26, 1967, IN BOOK 10-E, PAGE 265. [THIS ITEM CANNOT BE LOCATED BECAUSE THE DESCRIPTION IS VAGUE AND WE CANNOT ASCERTAIN THE EXACT LOCATION THEREOF.]

4.6 EASEMENT BY PEARL M. MCCLURE AND MARY M. GRUBBS AND WILLIAM T. MCCLURE JR. TO OCONEE SOIL CONSERVATION DISTRICT, DATED FEBRUARY 21, 1964, RECORDED FEBRUARY 21, 1964, IN BOOK 94, PAGE 175. [THIS ITEM CANNOT BE LOCATED BECAUSE THE DESCRIPTION IS VAGUE AND WE CANNOT ASCERTAIN THE EXACT LOCATION THEREOF.]

5.1 MEMORANDUM OF REVOCABLE TRUST AGREEMENT BETWEEN MARGARET M. GRUBBS, AS TRUSTEE DATED JUNE 14, 2012, RECORDED JUNE 15, 2012, IN BOOK 1903, PAGE 53. [THIS ITEM IS APPLICABLE TO THE PARENT PARCEL AND IS BLANKET IN NATURE.]

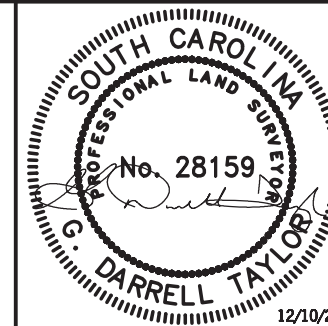
## AT&T LICENSE AREA

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN TUGALOO TOWNSHIP, OCONEE COUNTY, SOUTH CAROLINA, AND BEING A PORTION OF THE LANDS OF MARGARET M. GRUBBS AS TRUSTEE OF THE MARGARET M. GRUBBS TRUST, AS RECORDED IN DEED BOOK 1903, PAGE 63, OCONEE COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 5/8-INCH REBAR FOUND, HAVING A SOUTH CAROLINA GRID NORTH, NAD 83, SINGLE ZONE VALUE OF N: 1041587.2505 E: 1374327.4168; THENCE RUNNING ALONG A TIE-LINE, SOUTH 46°21'24" EAST, 76.02 FEET TO A POINT HAVING A SOUTH CAROLINA GRID NORTH, NAD 83, SINGLE ZONE VALUE OF N: 1041534.7809 E: 1374382.4318; THENCE, SOUTH 84°44'46" EAST, 21.78 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE, NORTH 37°06'58" EAST, 20.00 FEET TO A POINT; THENCE, SOUTH 52°53'02" EAST, 20.00 FEET TO A POINT; THENCE, SOUTH 37°06'58" WEST, 20.00 FEET TO A POINT; THENCE, NORTH 52°53'02" WEST, 20.00 FEET TO A POINT AND THE POINT OF BEGINNING.

BEARINGS BASED ON SOUTH CAROLINA GRID NORTH, NAD 83, SINGLE ZONE.

SAID TRACT CONTAINS 0.0092 ACRES (400 SQUARE FEET), MORE OR LESS.

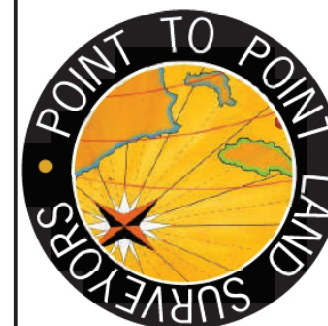


12/10/21

NO.	DATE	REVISION
1	9/14/21	TITLE REVIEW
2	12/10/2021	ESMT & LICENSE AREA

\* SPECIFIC PURPOSE SURVEY PREPARED BY:

**POINT TO POINT LAND SURVEYORS**  
100 Governors Trace, Ste. 103  
Peachtree City, GA 30269  
(p) 678.565.4440 (f) 678.565.4497  
(w) pointtopointsurvey.com



SPECIFIC PURPOSE SURVEY PREPARED FOR:

**PeakNet**

PEAKNET  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

**WESTMINSTER**

TUGALOO TOWNSHIP,  
OCONEE COUNTY,  
SOUTH CAROLINA

DRAWN BY: AJT

CHECKED BY: JKL

APPROVED: D. MILLER

DATE: AUGUST 24, 2021

P2P JOB #: 211216SC

SHEET:

2

OF 2

SURVEY NOT VALID WITHOUT SHEET 1 OF 2

E:\workspace\point to point\p2p\Current Jobs\2021\211216SC\Westminster\211216SC.dwg


**NOTES:**

1. THE BASIS OF THE BEARINGS AND COORDINATES IS THE SOUTH CAROLINA GRID NORTH, NAD 83, SOUTH CAROLINA ZONE BASED ON DIFFERENTIAL GPS OBSERVATIONS PERFORMED ON AUGUST 17, 2021
2. VERTICAL INFORMATION SHOWN, BASED ON THE NORTH AMERICAN VERTICAL DATUM OF NAVD 1988 IN FEET.
3. ALL DISTANCES ARE GROUND UNLESS OTHERWISE NOTED.
4. THE TOWER IS LOCATED IN ZONE "X." AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEMA COMMUNITY PANEL #45073C0315C, EFFECTIVE SEPTEMBER 11, 2009.

PLANS PREPARED FOR:  
**PeakNet**  
 PEAKNET  
 9887 FOURTH STREET NORTH, SUITE 100  
 ST. PETERSBURG, FL 33702

PROJECT INFORMATION:  
**PEAKNET SITE NAME:  
 WESTMINSTER**  
**AT&T SITE #: 016-237**  
**AT&T FA #: 15535664**  
 HALL RD  
 WESTMINSTER, SC 29693  
 (OCONEE COUNTY)

PLANS PREPARED BY:  
  
**TOWER ENGINEERING PROFESSIONALS**  
 326 TRYON ROAD  
 RALEIGH, NC 27603-3530  
 OFFICE: (919) 661-6351  
 www.tepgroup.net

SEAL:  
  
 June 28, 2022

4	06-28-22	CONSTRUCTION
3	01-27-22	CONSTRUCTION
2	01-12-22	PRELIMINARY
1	12-17-21	PRELIMINARY
REV	DATE	ISSUED FOR:

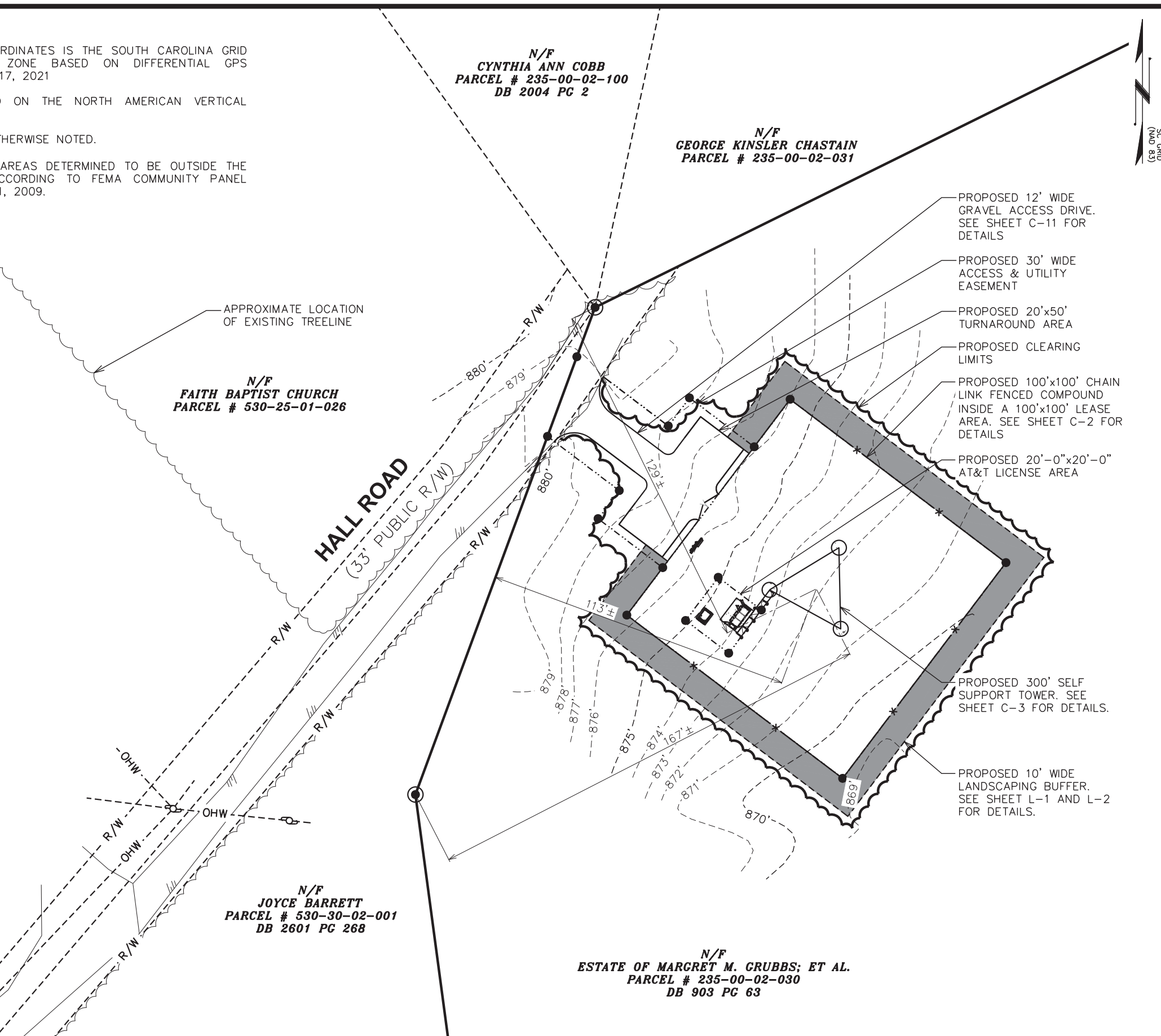
DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:  
**SITE PLAN**

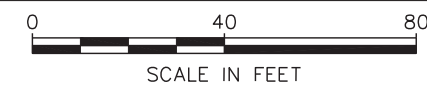
SHEET NUMBER: **C-1** REVISION: **4**  
 TEP#: 305012.63 | 202

**LEGEND**

- EXIST. PROPERTY LINE
- - - ADJ. PROPERTY LINE
- ⊕ EXIST. UTILITY POLE
- ⊙ EXIST. LIGHT POLE
- ⊕ EXIST. HYDRANT
- ⊕ EXIST. TELCO PEDESTAL
- PROPERTY CORNER
- LEASE/EASE. CORNER
- - -200- - - EXIST. CONTOUR LINE
- /// EDGE OF PAVEMENT
- - -OHW- - - OVERHEAD WIRE
- - -R/W- - - RIGHT-OF-WAY
- X - CHAIN LINK FENCE
- ~ EXISTING TREE LINE



**SITE PLAN**  
 SCALE: 1" = 40'





**NOTES:**

1. SITE PLAN SHOWN TAKEN FROM INFORMATION PROVIDED BY OCONEE COUNTY GIS & GOOGLE MAPS
2. TEP DOES NOT GUARANTEE OR ENSURE THE PRECISION ACCURACY, OR CORRECTNESS AND ASSUMES NO RESPONSIBILITY OR LIABILITY FOR DAMAGES, LOSS OF REVENUE, OR INJURY THAT MIGHT OCCUR. THE INFORMATION SHOWN IS INCORPORATED FOR REFERENCE ONLY.



PLANS PREPARED FOR:  
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 PEAKNET  
 9887 FOURTH STREET NORTH, SUITE 100  
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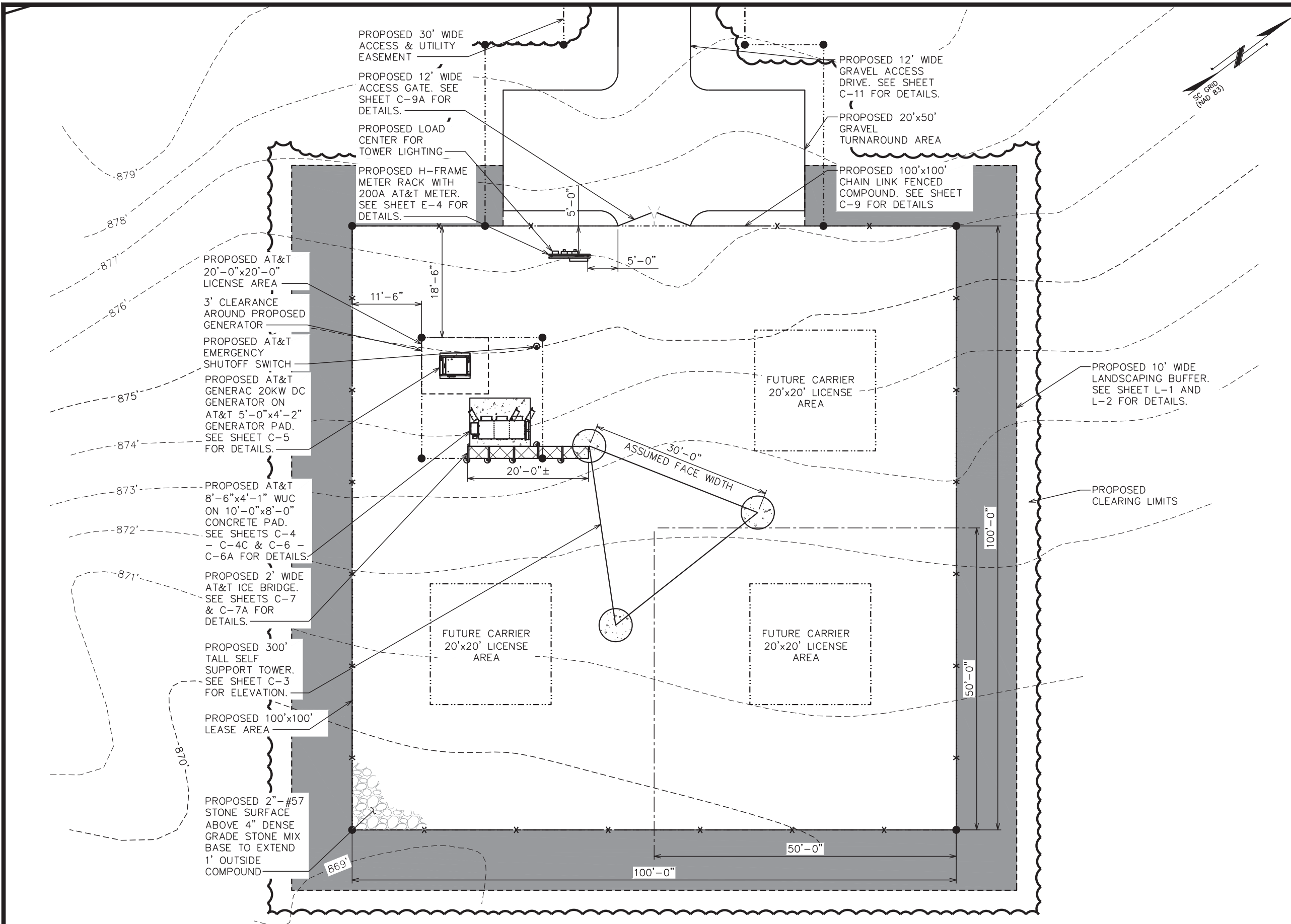
SHEET TITLE:  
**AERIAL SITE PLAN**

SHEET NUMBER: **C-1A** REVISION: **4**  
 TEP#: 305012.63 | 2022

**AERIAL SITE PLAN**  
 SCALE: 1" = 2000'







PLANS PREPARED FOR:

**PeakNet**

PEAKNET  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

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WESTMINSTER**

**AT&T SITE #: 016-237**

**AT&T FA #: 15535664**

HALL RD  
WESTMINSTER, SC 29693  
(OCONEE COUNTY)

PLANS PREPARED BY:

**TOWER ENGINEERING PROFESSIONALS**

326 TRYON ROAD  
RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
www.tepgroup.net

SEAL:

June 28, 2022

REV	DATE	ISSUED FOR:
4	06-28-22	CONSTRUCTION
3	01-27-22	CONSTRUCTION
2	01-12-22	PRELIMINARY
1	12-17-21	PRELIMINARY

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

**COMPOUND DETAIL**

SHEET NUMBER: **C-2**

REVISION: **4**

TEP#: 305012.631202

**COMPOUND DETAIL**

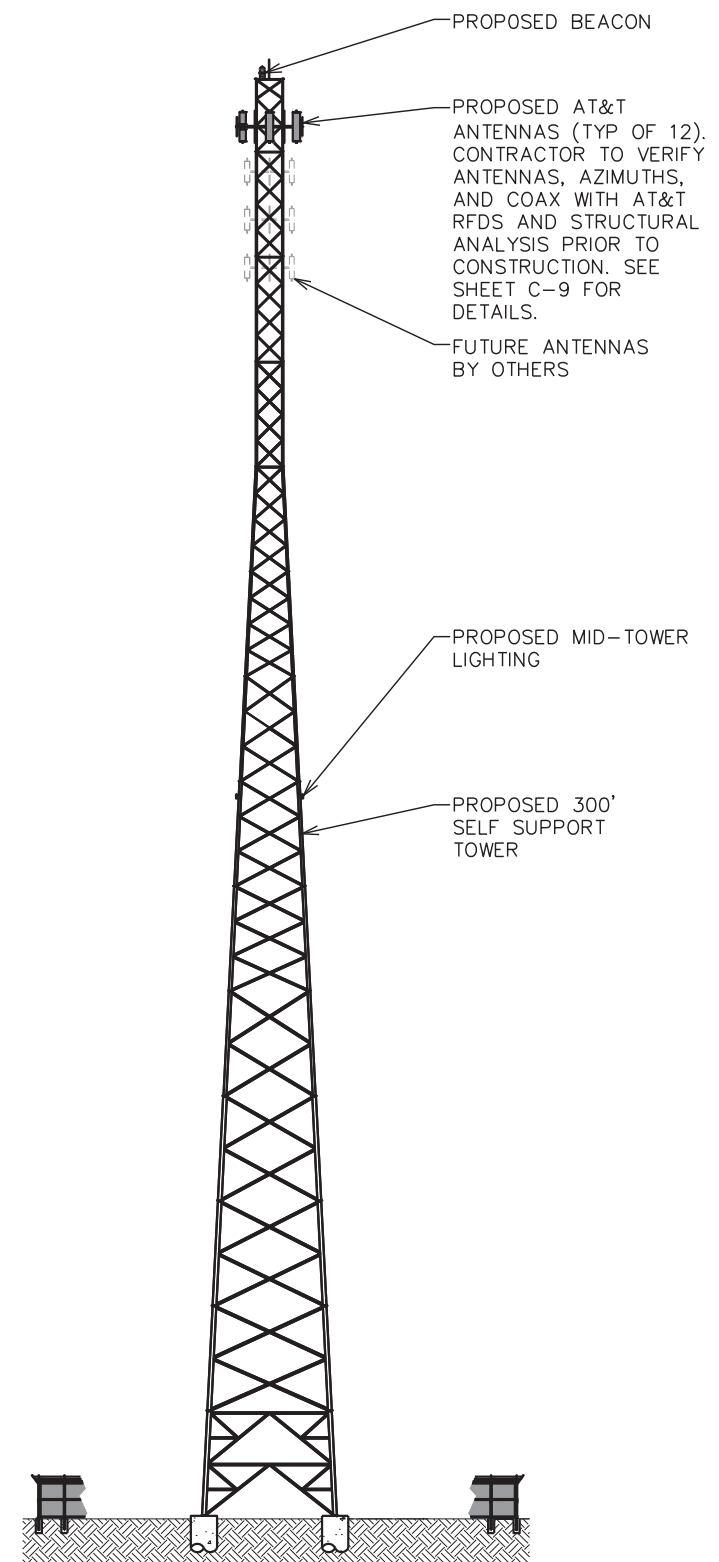
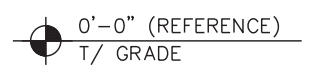
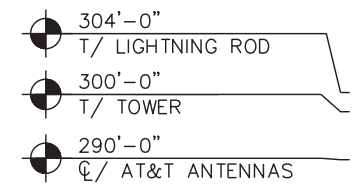
SCALE: 1/16" = 1'-0"





**NOTES:**

1. PROPOSED CABLES TO BE RUN AS PER SPECIFICATIONS OF PASSING STRUCTURAL ANALYSIS.
2. TOWER SHALL BE CONSTRUCTED OF GALVANIZED STEEL OR PAINTED PER APPLICABLE STANDARDS OF THE FAA OR OTHER APPLICABLE FEDERAL OR STATE AGENCY.
3. TOWER ELEVATION SHOWN FOR REFERENCE ONLY. VERIFY ACTUAL TOWER DESIGN & LOADING WITH TOWER DRAWINGS FROM MANUFACTURER AND/OR PASSING STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION.



**TOWER ELEVATION**

SCALE: 1" = 40'



PLANS PREPARED FOR:

PEAKNET  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

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HALL RD  
WESTMINSTER, SC 29693  
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OFFICE: (919) 661-6351  
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SEAL:

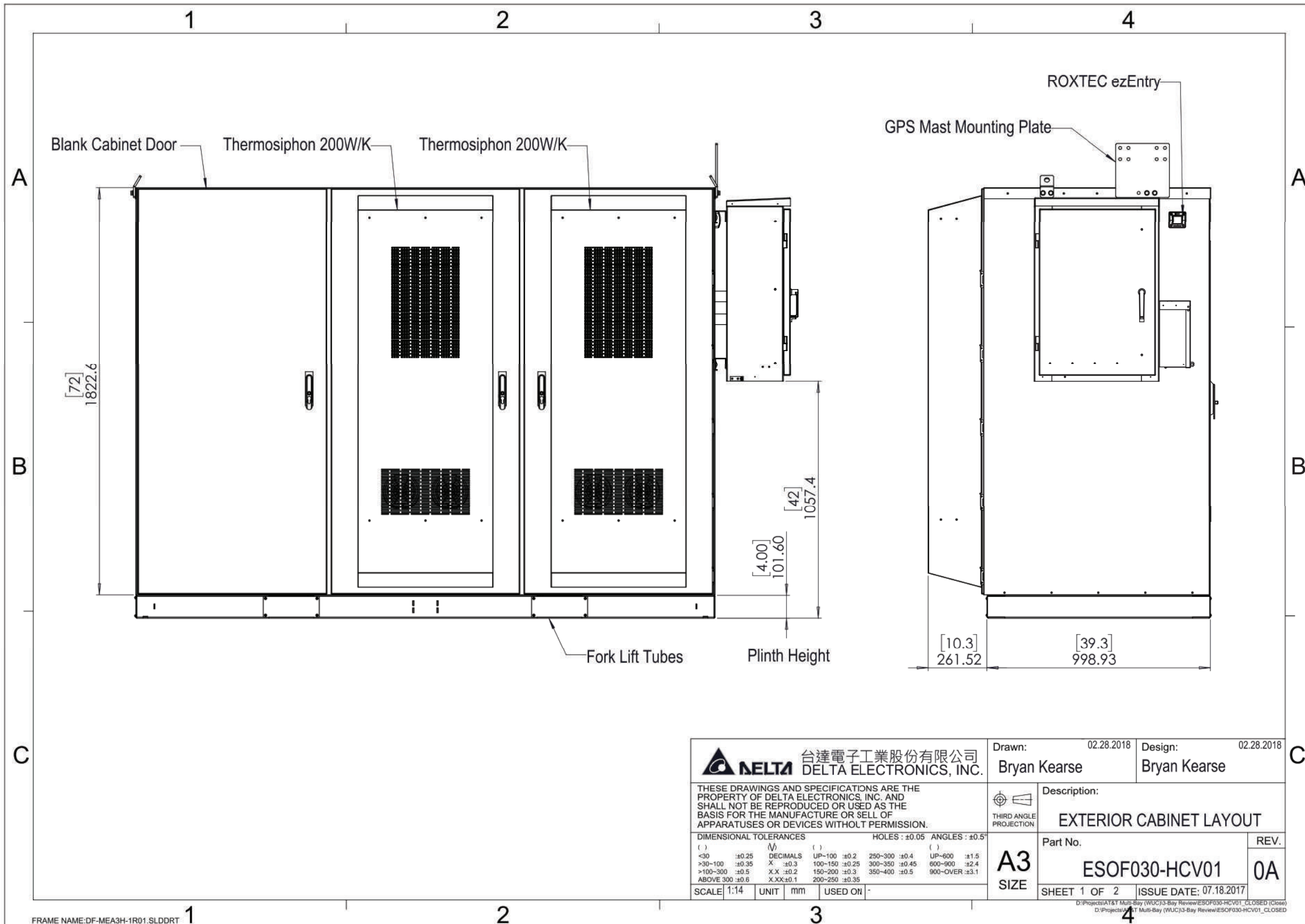
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1	12-17-21	PRELIMINARY
0	12-15-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

**TOWER ELEVATION**

SHEET NUMBER: **C-3** REVISION: **3**  
TEP#: 305012.63 | 202



PLANS PREPARED FOR:

**PeakNet**

PEAKNET  
9887 FOURTH STREET NORTH, SUITE 100  
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PROJECT INFORMATION:

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**AT&T FA #: 15535664**  
HALL RD  
WESTMINSTER, SC 29693  
(OCONEE COUNTY)

PLANS PREPARED BY:

**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
www.tepgroup.net

SEAL:

January 27, 2022

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1	12-17-21	PRELIMINARY
0	12-15-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

**WUC  
DETAILS I**

SHEET NUMBER: **C-4** REVISION: **3**  
TEP#: 305012.63 | 202

**DELTA** 台達電子工業股份有限公司 DELTA ELECTRONICS, INC.

Drawn: 02.28.2018 Design: 02.28.2018  
Bryan Kearse Bryan Kearse

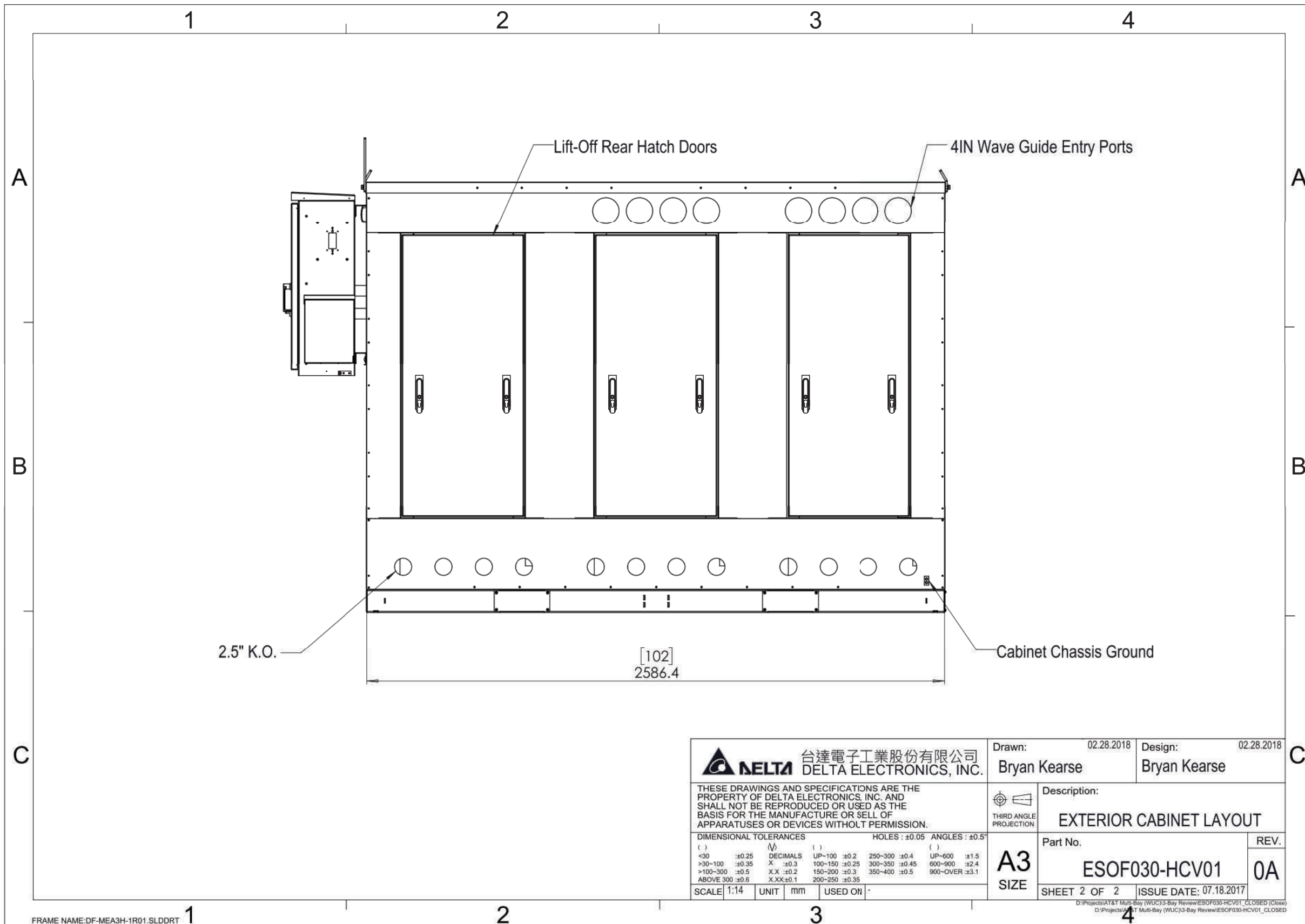
THIRD ANGLE PROJECTION Description: EXTERIOR CABINET LAYOUT

Part No. ESOFO30-HCV01 REV. 0A

SCALE: 1:14 UNIT: mm USED ON: - SHEET 1 OF 2 ISSUE DATE: 07.18.2017

D:\Projects\AT&T Multi-Bay (WUC)\3-Bay Review\ESOF030-HCV01\_CLOSED (Close)  
D:\Projects\AT&T Multi-Bay (WUC)\3-Bay Review\ESOF030-HCV01\_CLOSED

**EXTERIOR CABINET LAYOUT**  
SCALE: N.T.S.



PLANS PREPARED FOR:  
**PeakNet**  
 PEAKNET  
 9887 FOURTH STREET NORTH, SUITE 100  
 ST. PETERSBURG, FL 33702

PROJECT INFORMATION:  
**PEAKNET SITE NAME:  
 WESTMINSTER**  
**AT&T SITE #: 016-237**  
**AT&T FA #: 15535664**  
 HALL RD  
 WESTMINSTER, SC 29693  
 (OCONEE COUNTY)

PLANS PREPARED BY:

**TOWER ENGINEERING PROFESSIONALS**  
 326 TRYON ROAD  
 RALEIGH, NC 27603-3530  
 OFFICE: (919) 661-6351  
 www.tepgroup.net

SEAL:

January 27, 2022

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REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

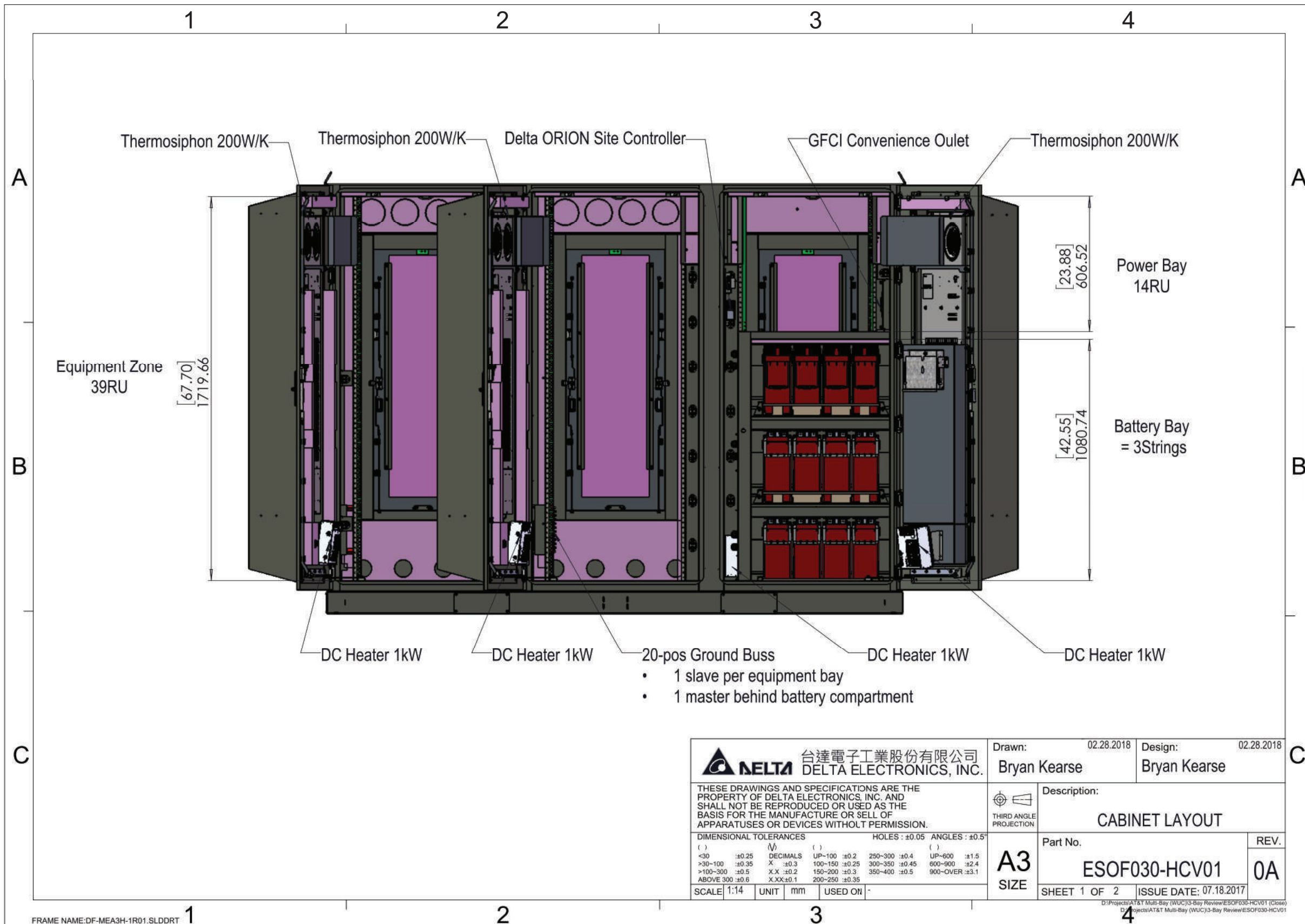
SHEET TITLE:  
**WUC  
 DETAILS II**

SHEET NUMBER: **C-4A** REVISION: **3**  
 TEP #: 305012.63 | 202

台達電子工業股份有限公司 DELTA ELECTRONICS, INC.	Drawn: 02.28.2018	Design: 02.28.2018
	Bryan Kearse	Bryan Kearse
THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF DELTA ELECTRONICS, INC. AND SHALL NOT BE REPRODUCED OR USED AS THE BASIS FOR THE MANUFACTURE OR SELL OF APPARATUS OR DEVICES WITHOUT PERMISSION.	Description: <b>EXTERIOR CABINET LAYOUT</b>	
DIMENSIONAL TOLERANCES ( ) ±0.25 DECIMALS UP-100 ±0.2 250-300 ±0.4 UP-600 ±1.5 >30-100 ±0.35 X ±0.3 100-150 ±0.25 300-350 ±0.45 600-900 ±2.4 >100-300 ±0.5 X.X ±0.2 150-200 ±0.3 350-400 ±0.5 900-OVER ±3.1 ABOVE 300 ±0.6 X.XX ±0.1 200-250 ±0.35	Part No. <b>ESOF030-HCV01</b> REV. <b>0A</b>	
SCALE: 1:14 UNIT: mm USED ON: -	SHEET 2 OF 2 ISSUE DATE: 07.18.2017	

**EXTERIOR CABINET LAYOUT**  
 SCALE: N.T.S.





PLANS PREPARED FOR:

**PeakNet**

PEAKNET  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

**PEAKNET SITE NAME:  
WESTMINSTER**  
AT&T SITE #: 016-237  
AT&T FA #: 15535664  
HALL RD  
WESTMINSTER, SC 29693  
(OCONEE COUNTY)

PLANS PREPARED BY:

**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
www.tepgroup.net

SEAL:

January 27, 2022

3	01-27-22	CONSTRUCTION
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1	12-17-21	PRELIMINARY
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REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

**WUC  
DETAILS III**

SHEET NUMBER: **C-4B** REVISION: **3**  
TEP#: 305012.63 | 202

台達電子工業股份有限公司  
**DELTA ELECTRONICS, INC.**

Drawn: 02.28.2018 Design: 02.28.2018  
Bryan Kearse Bryan Kearse

THIRD ANGLE PROJECTION

Description: **CABINET LAYOUT**

Part No. **ESOF030-HCV01** REV. **0A**

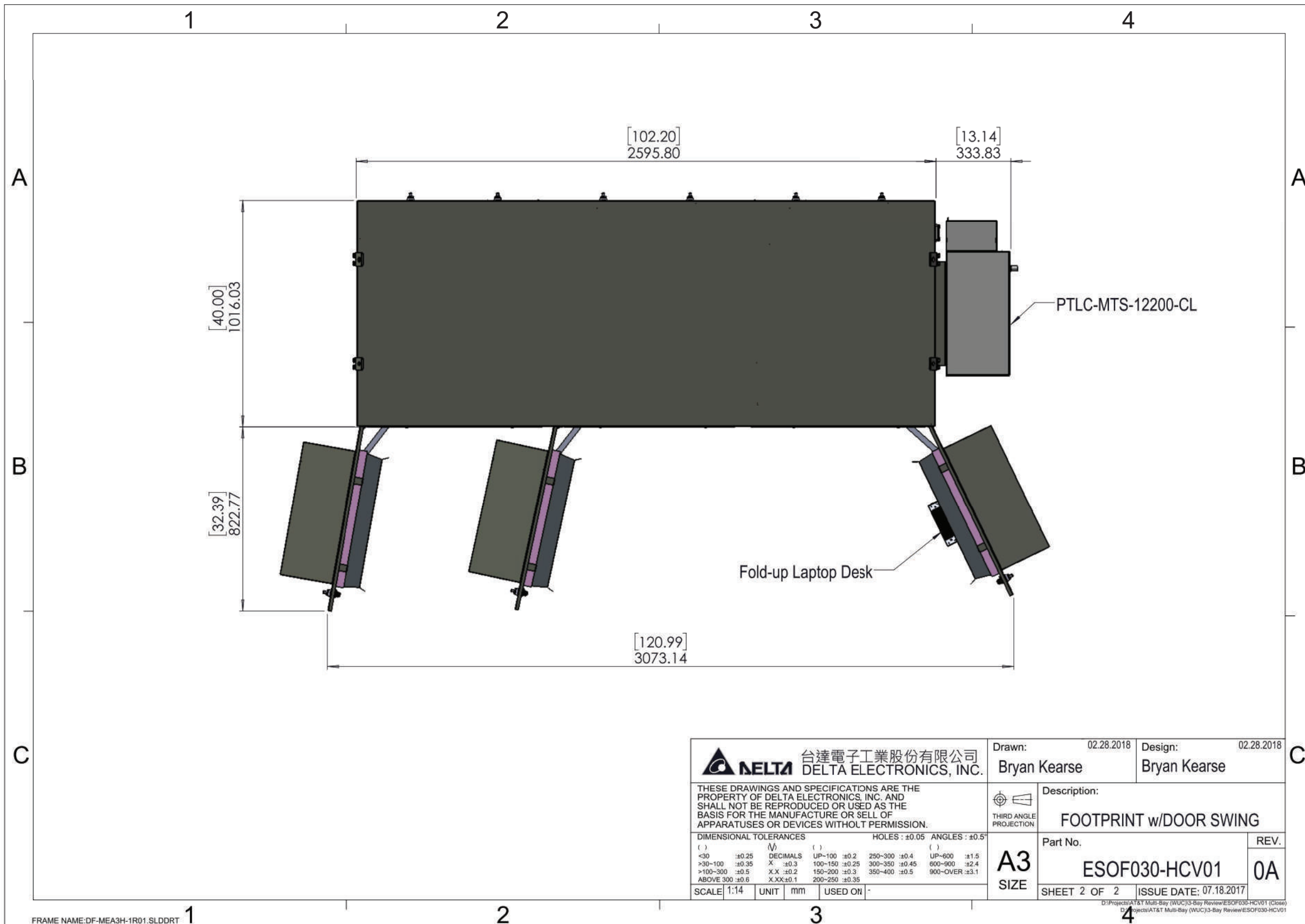
SCALE: 1:14 UNIT: mm USED ON: -

Dimensional Tolerances: ( ) ( ) ( )  
 <30 ±0.25 DECIMALS UP-100 ±0.2 250-300 ±0.4 UP-600 ±1.5  
 >30-100 ±0.35 X ±0.3 100-150 ±0.25 300-350 ±0.45 600-900 ±2.4  
 >100-300 ±0.5 X.X ±0.2 150-200 ±0.3 350-400 ±0.5 900-OVER ±3.1  
 ABOVE 300 ±0.6 X.XX ±0.1 200-250 ±0.35

Holes: ±0.05 Angles: ±0.5

D:\Projects\AT&T Multi-Bay (WUC)\3-Bay Review\ESOF030-HCV01 (Close)  
D:\Projects\AT&T Multi-Bay (WUC)\3-Bay Review\ESOF030-HCV01

**CABINET LAYOUT**  
SCALE: N.T.S.



PLANS PREPARED FOR:

**PeakNet**

PEAKNET  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

**PEAKNET SITE NAME:  
WESTMINSTER**  
**AT&T SITE #: 016-237**  
**AT&T FA #: 15535664**  
HALL RD  
WESTMINSTER, SC 29693  
(OCONEE COUNTY)

PLANS PREPARED BY:

**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
www.tepgroup.net

SEAL:

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REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

**WUC  
DETAILS IV**

SHEET NUMBER: **C-4C** REVISION: **3**  
TEP#: 305012.63 | 202

**DELTA** 台達電子工業股份有限公司 DELTA ELECTRONICS, INC.

Drawn: 02.28.2018 Design: 02.28.2018  
Bryan Kearse Bryan Kearse

THIRD ANGLE PROJECTION

DESCRIPTION: FOOTPRINT w/DOOR SWING

Part No. ESOFO30-HCV01 REV. 0A

SCALE: 1:14 UNIT: mm USED ON: - SHEET 2 OF 2 ISSUE DATE: 07.18.2017

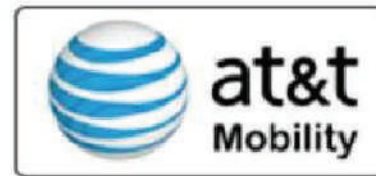
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**CABINET FOOTPRINT**  
SCALE: N.T.S.



**NOTE:**

THESE PLACARDS ARE REQUIRED TO BE INSTALLED ON PROPOSED GENERATOR FREE OF ANY OBSTRUCTION AS TO BE CLEARLY VISIBLE WITHIN COMPOUND



PLANS PREPARED FOR:

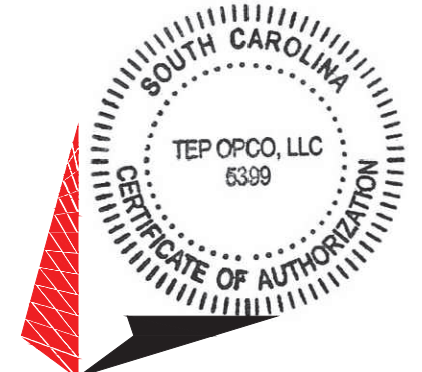


PEAKNET  
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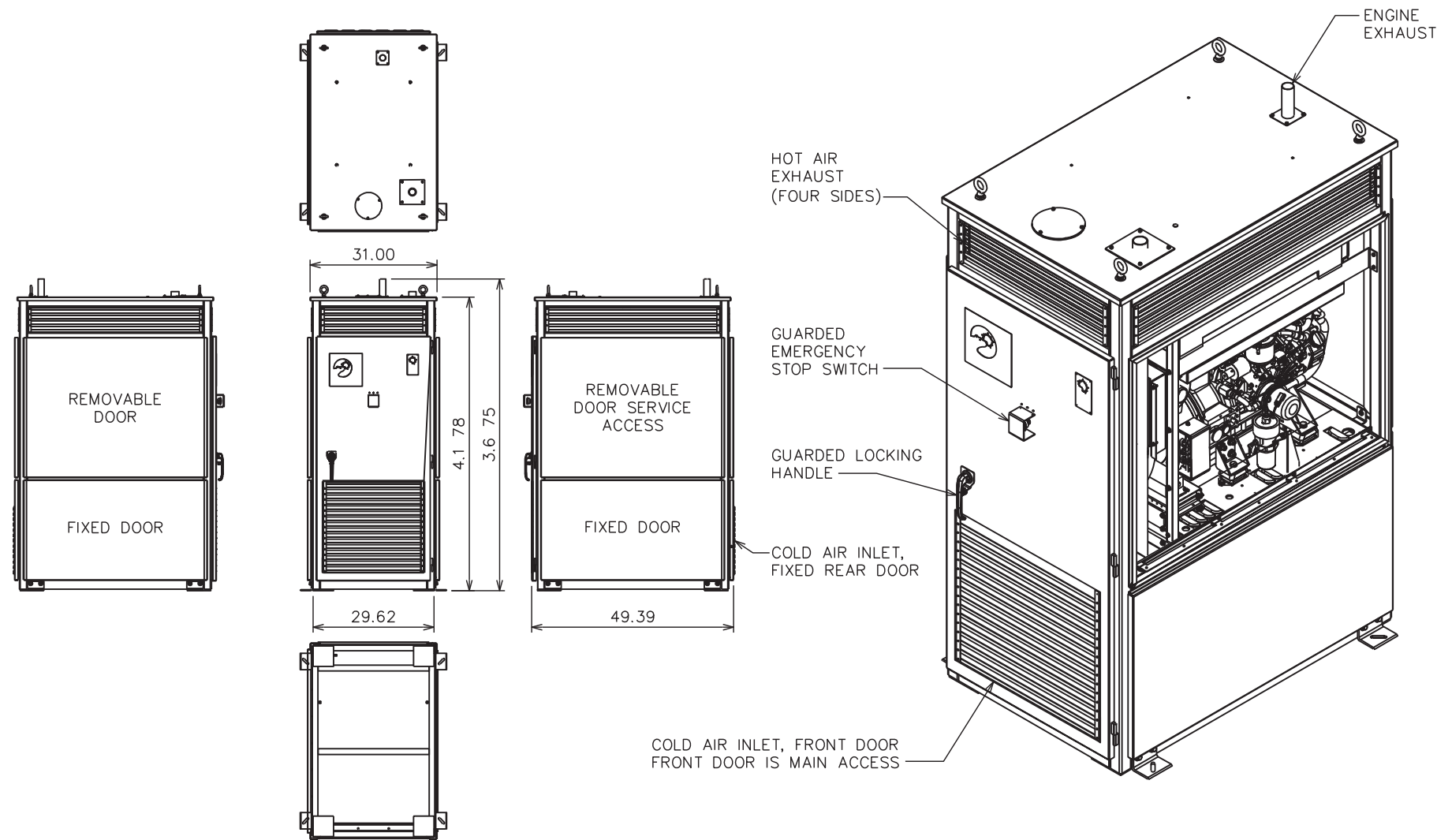
PLANS PREPARED BY:



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RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
www.tepgroup.net

**PROPOSED GENERATOR SIGNAGE**

SCALE: N.T.S.



SEAL:



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REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

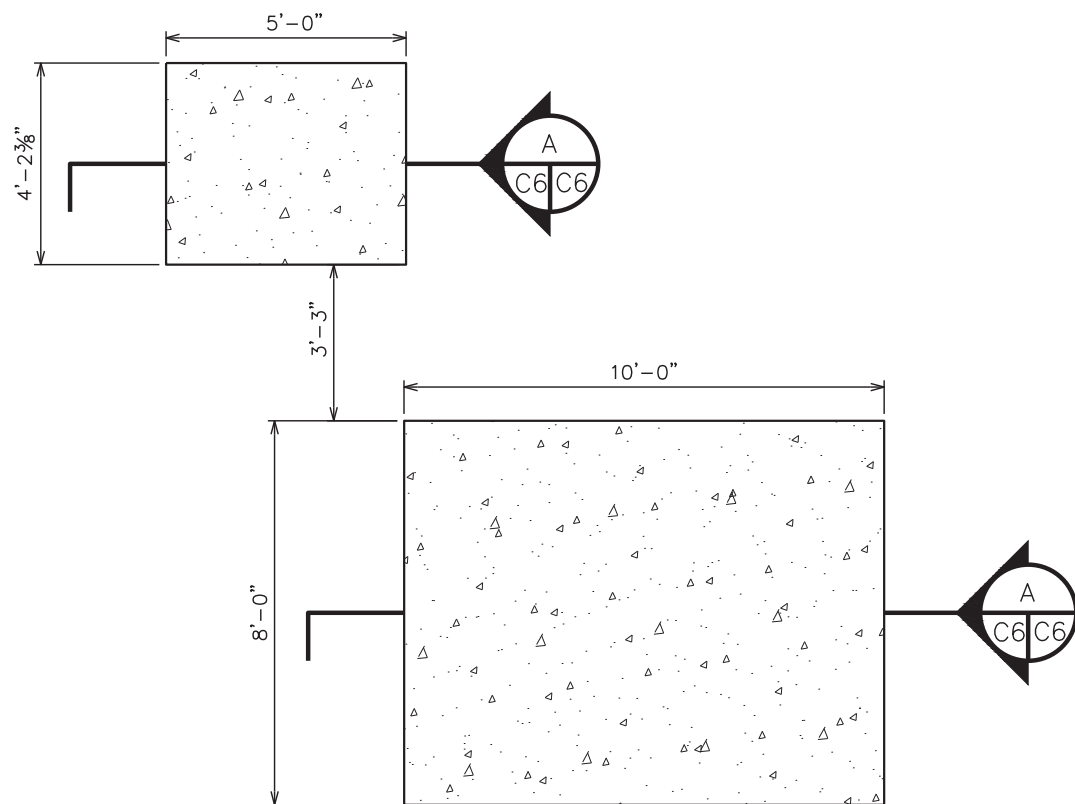
SHEET TITLE:

**GENERATOR  
DETAILS**

SHEET NUMBER: <b>C-5</b>	REVISION: <b>3</b>
TEP#: 305012.63   2022	

**GENERATOR DETAILS**

SCALE: N.T.S.



**FOUNDATION PLAN**

SCALE: 3/8" = 1'-0"



**GENERAL STRUCTURAL NOTES:**

SPECIFICATION/CODES:

1. CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH LATEST EDITION OF THE ACI CODE.
2. REINFORCING STEEL SHALL BE PLACED IN ACCORDANCE WITH THE CONCRETE REINFORCING STEEL INSTITUTE (CRSI) "MANUAL OF STANDARD PRACTICE".
3. DESIGN SHALL BE PER NORTH CAROLINA BUILDING CODE, 2018 EDITION.

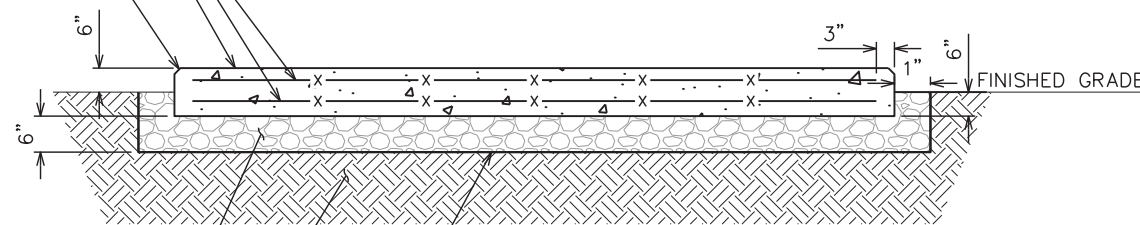
**FOUNDATION NOTES:**

1. FOUNDATION DESIGN BASED ON 2000 PSF SOIL BEARING CAPACITY. IF OTHER CONDITIONS EXIST, FOUNDATION SHALL BE REDESIGNED. CONTRACTOR SHALL HAVE SOIL BEARING CAPACITY VERIFIED BY A LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER PRIOR TO INITIATION OF CONSTRUCTION ACTIVITIES.
2. CONCRETE SHALL BE 4,000 PSI.
3. REBAR  $F_y = 60,000$  PSI.
4. ALL BACKFILL SHALL BE THOROUGHLY COMPACTED TO A MINIMUM OF 95% DENSITY USING THE MODIFIED PROCTOR METHOD.

#4 @ 12 E.W.  
(TOP AND BOTTOM)

SURFACE SHALL RECEIVE  
A LIGHT BROOM FINISH

3/4" CHAMFER ALONG ALL  
EXPOSED EDGES



6" DOT #57 GRAVEL  
COMPACTED TO 95% STD.  
PROCTOR DENSITY

CONSOLIDATED/  
UNDISTURBED SUBGRADE

LAYER OF GEOTEXTILE FABRIC  
(MIRAFI 500 OR EQUIVALENT)  
BETWEEN #57 GRAVEL & SUBGRADE

**PAD SECTION**

SCALE: 3/8" = 1'-0"



PLANS PREPARED FOR:

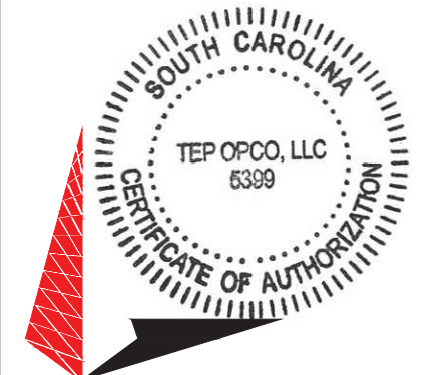


PEAKNET  
9887 FOURTH STREET NORTH, SUITE 100  
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0	12-15-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

**FOUNDATION  
DETAILS I**

SHEET NUMBER:

**C-6**

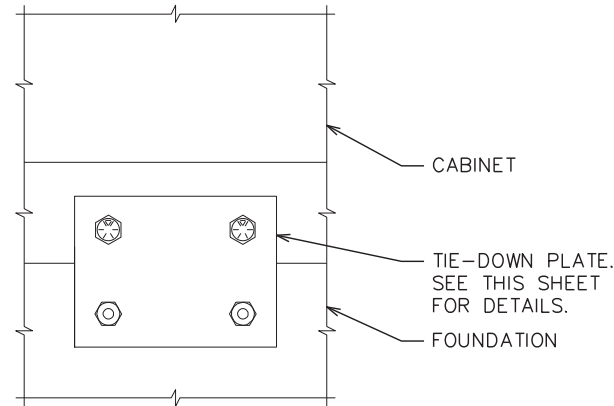
REVISION:

**3**

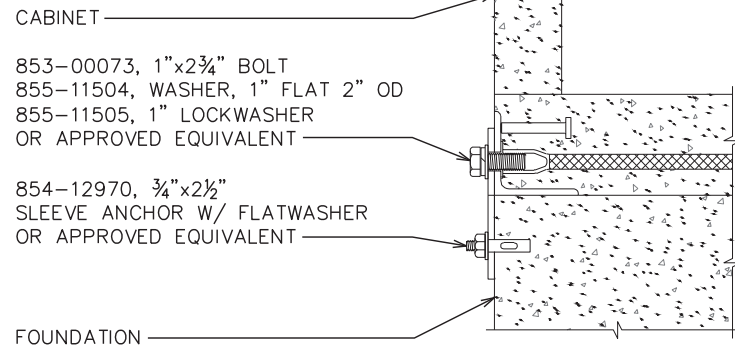
TEP#: 305012.631202

**TIE-DOWN NOTE:**

CABINET AND GENERATOR TIE-DOWNS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS



**FRONT VIEW**



**SIDE VIEW**

853-00073, 1"x2 3/4" BOLT  
855-11504, WASHER, 1" FLAT 2" OD  
855-11505, 1" LOCKWASHER  
OR APPROVED EQUIVALENT

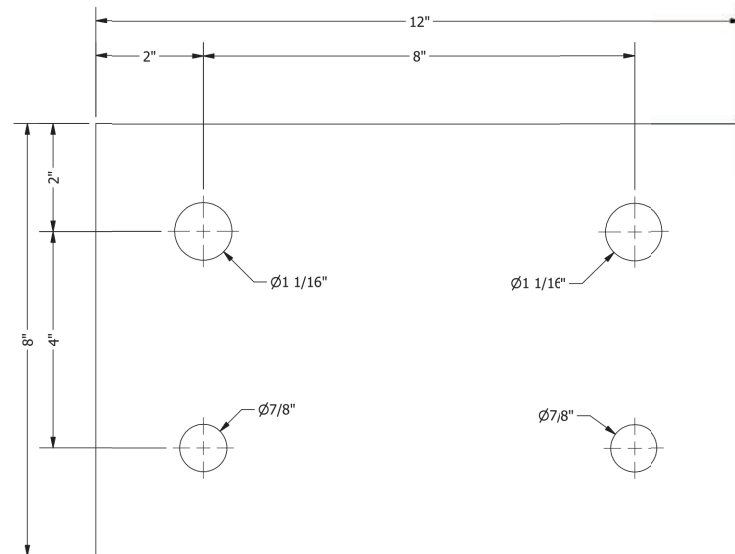
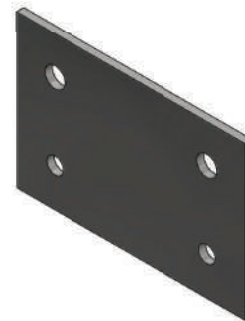
854-12970, 3/4"x2 1/2"  
SLEEVE ANCHOR W/ FLATWASHER  
OR APPROVED EQUIVALENT

**TYPICAL CABINET TIE-DOWN DETAIL**

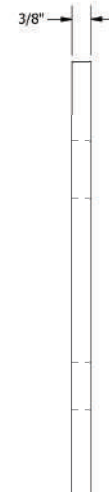
SCALE: N.T.S.

PART LIST							
ITEM	QTY	U/M	P/N	DESCRIPTION	Length	Width	PCS
1	1	FT	141038	FLATBAR, 3/8"x8", GRADE 36	12.000		1

NOTES:  
1. PART TO BE HOT DIPPED GALVANIZED PER ASTM A123.  
2. PART NUMBER TO BE STAMPED ON PART.



FRONT VIEW  
SCALE 1:2



SIDE VIEW  
SCALE 1:2

**CELLXION CABINET TIE-DOWN PLATE DETAIL**

SCALE: N.T.S.

PLANS PREPARED FOR:

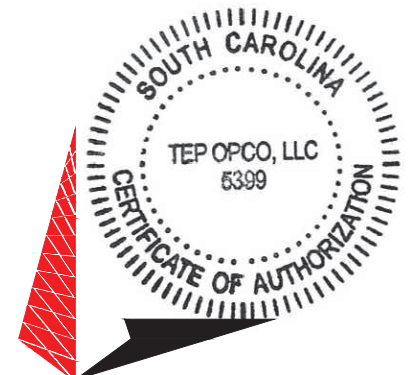


PEAKNET  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

**PEAKNET SITE NAME:**  
**WESTMINSTER**  
**AT&T SITE #: 016-237**  
**AT&T FA #: 15535664**  
HALL RD  
WESTMINSTER, SC 29693  
(OCONEE COUNTY)

PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
www.tepgroup.net

SEAL:



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SHEET TITLE:

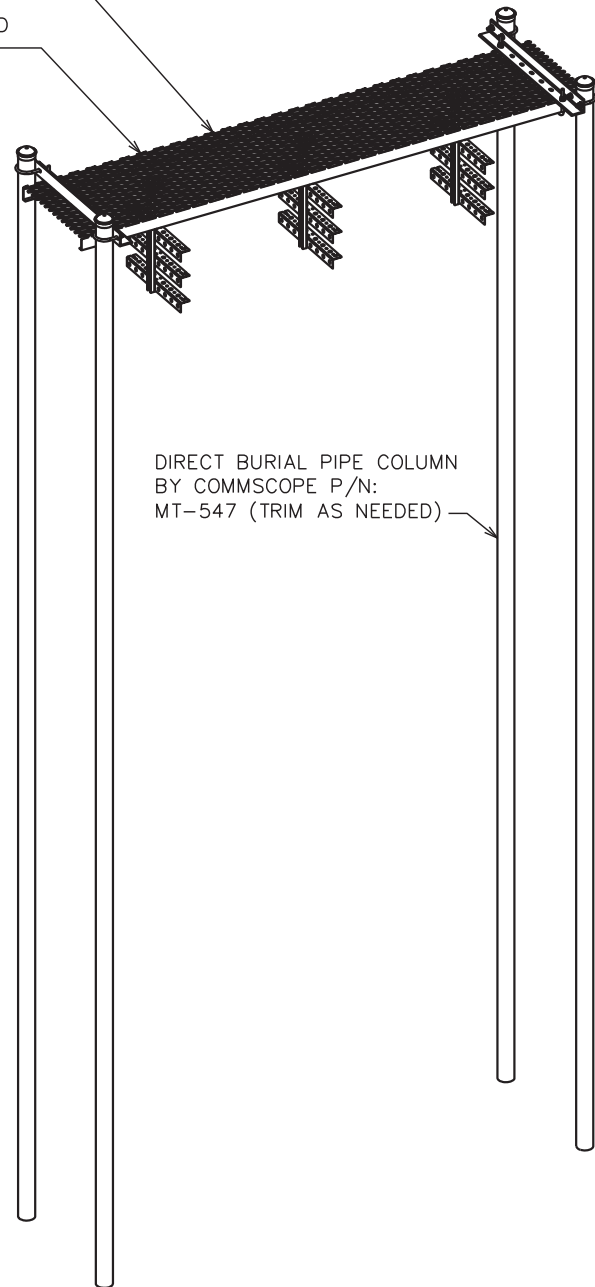
**FOUNDATION  
DETAILS II**

SHEET NUMBER: <b>C-6A</b>	REVISION: <b>3</b>
TEP#: 305012.63   2022	



PROPOSED WAVEGUIDE ICE BRIDGE KIT BY SITEPRO (P/N: WB-K410-B21) OR APPROVED EQUIVALENT

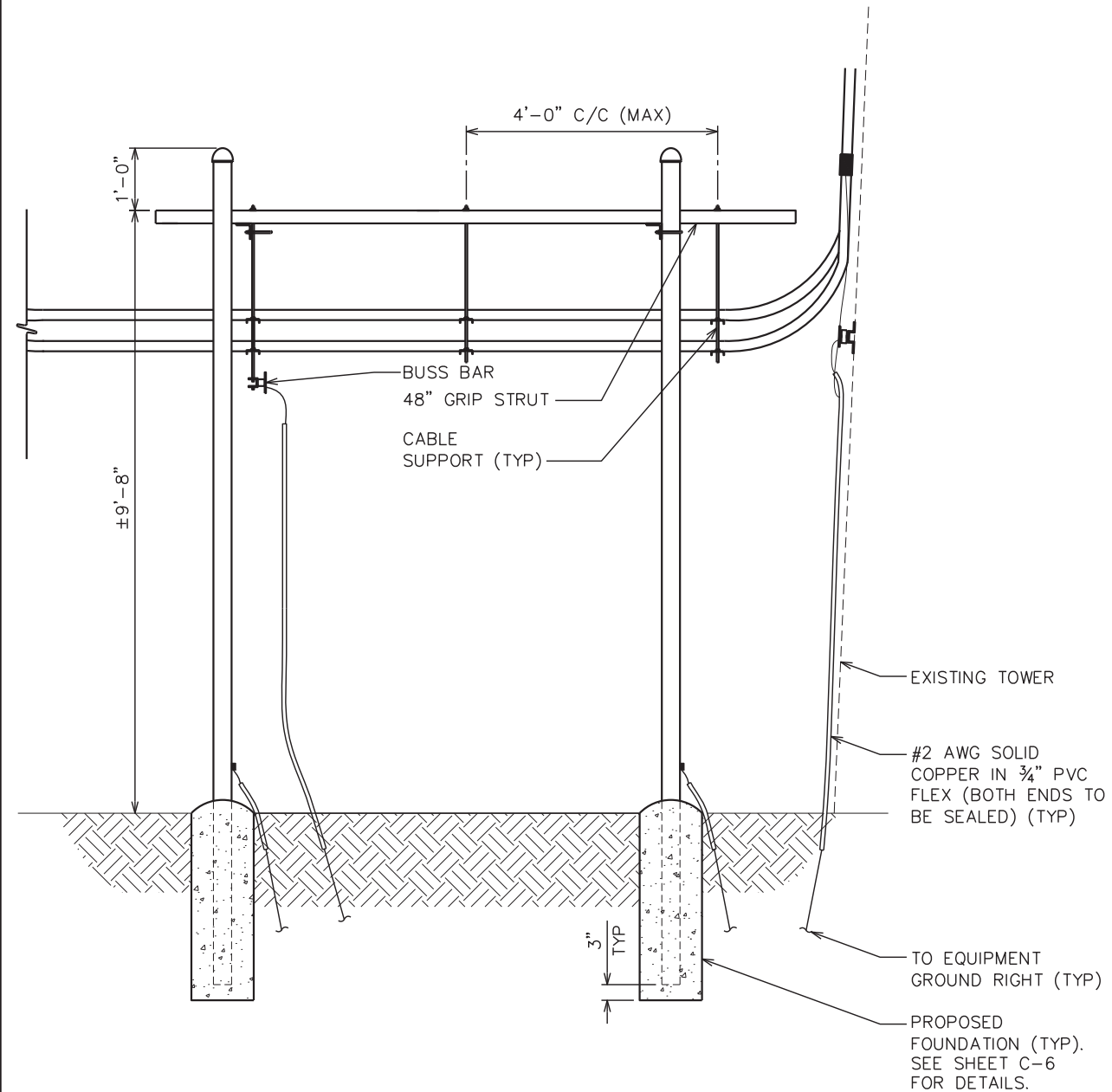
24" WIDE SAFETY GRATED WAVEGUIDE CHANNEL



DIRECT BURIAL PIPE COLUMN BY COMMSCOPE P/N: MT-547 (TRIM AS NEEDED)

**PROPOSED ICE BRIDGE**

SCALE: N.T.S.



EXISTING TOWER

#2 AWG SOLID COPPER IN 3/4" PVC FLEX (BOTH ENDS TO BE SEALED) (TYP)

TO EQUIPMENT GROUND RIGHT (TYP)

PROPOSED FOUNDATION (TYP). SEE SHEET C-6 FOR DETAILS.

**ICE BRIDGE DETAILS - SIDE VIEW**

SCALE: 3/8" = 1'-0"

PLANS PREPARED FOR:

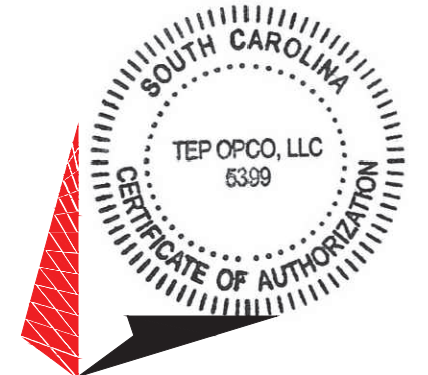


PEAKNET  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

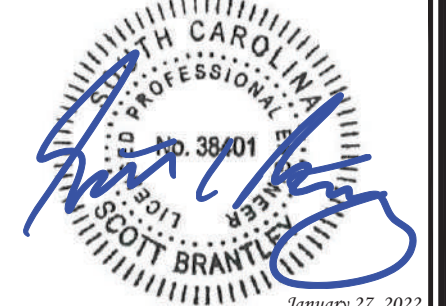
**PEAKNET SITE NAME:**  
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**AT&T FA #: 15535664**  
HALL RD  
WESTMINSTER, SC 29693  
(OCONEE COUNTY)

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DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

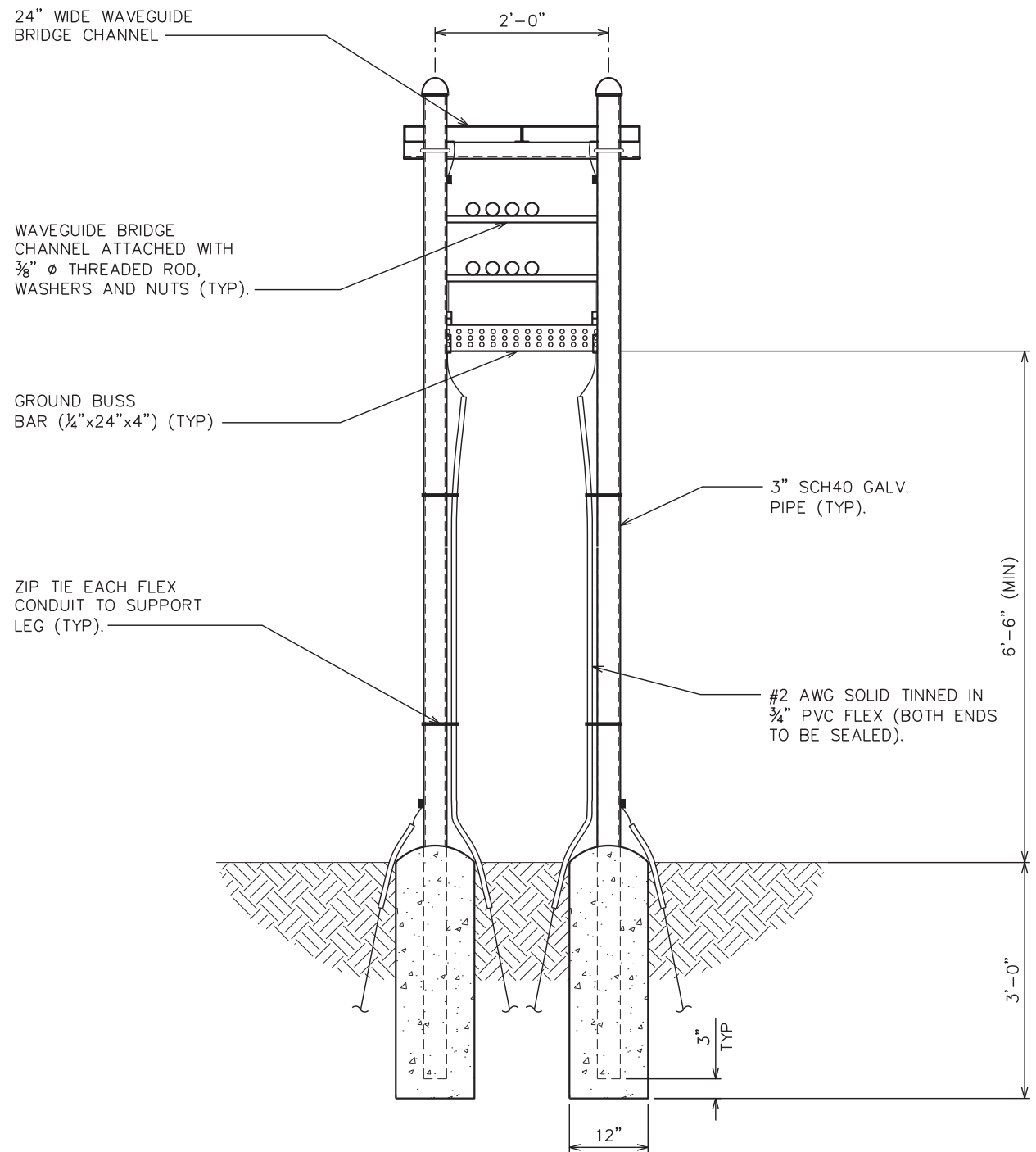
**ICE BRIDGE  
DETAILS I**

SHEET NUMBER: REVISION:

**C-7**

**3**

TEP#: 305012.631202



24" WIDE WAVEGUIDE BRIDGE CHANNEL

WAVEGUIDE BRIDGE CHANNEL ATTACHED WITH 3/8" Ø THREADED ROD, WASHERS AND NUTS (TYP).

GROUND BUSS BAR (1/4"x24"x4") (TYP)

ZIP TIE EACH FLEX CONDUIT TO SUPPORT LEG (TYP).

3" SCH40 GALV. PIPE (TYP).

#2 AWG SOLID TINNED IN 3/4" PVC FLEX (BOTH ENDS TO BE SEALED).

6'-6" (MIN)

3'-0"

3" TYP

12"

**ICE BRIDGE DETAILS - FRONT VIEW**

SCALE: 1/2" = 1'-0"



PLANS PREPARED FOR:

**PeakNet**

PEAKNET  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

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**AT&T FA #: 15535664**

HALL RD  
WESTMINSTER, SC 29693  
(OCONEE COUNTY)

PLANS PREPARED BY:

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326 TRYON ROAD  
RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
www.tepgroup.net

SEAL:

January 27, 2022

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0	12-15-21	PRELIMINARY

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

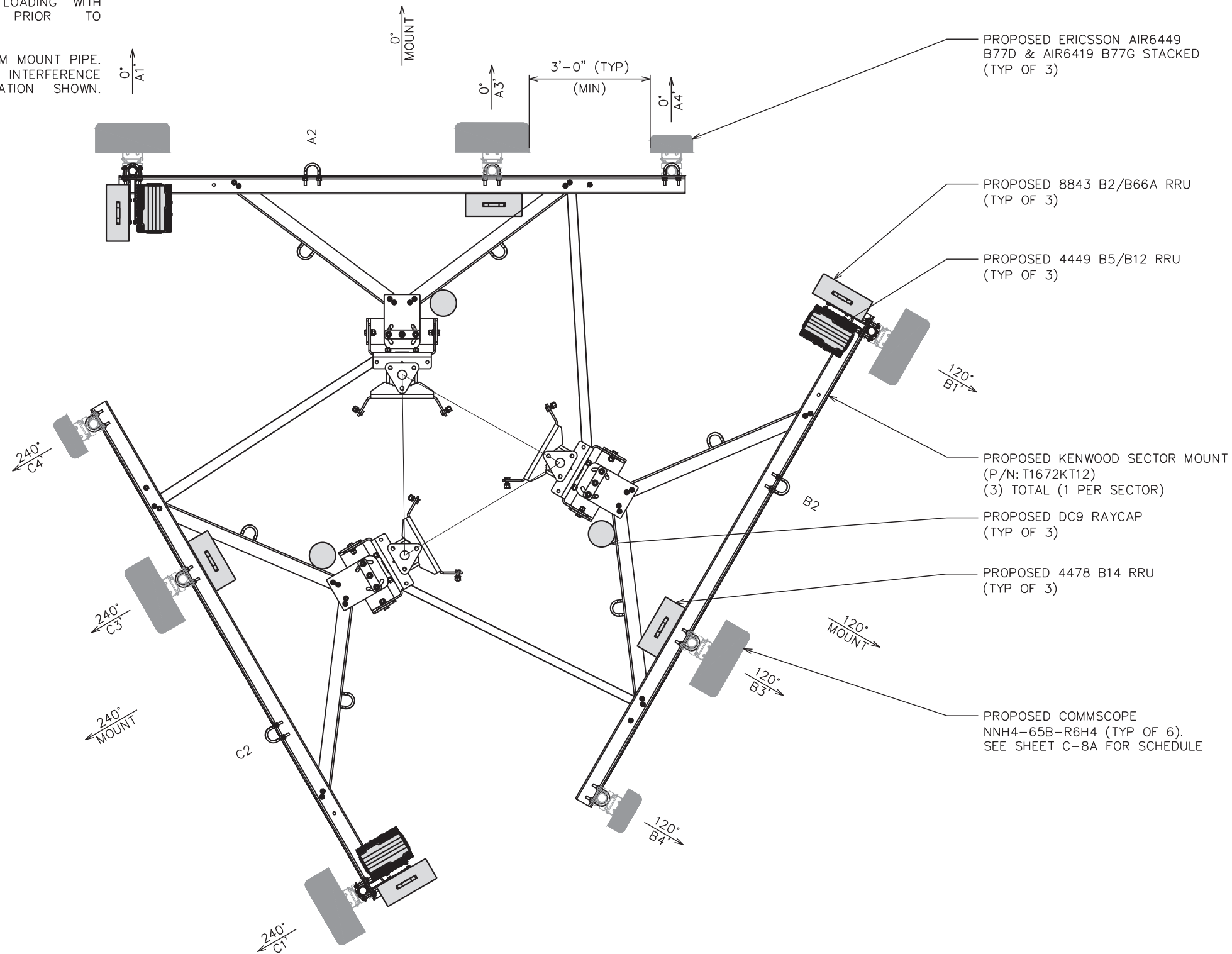
**ICE BRIDGE DETAILS II**

SHEET NUMBER: **C-7A** REVISION: **3**

TEP#: 305012.631202

**NOTES:**

1. TEP DID NOT ANALYZE ANTENNA MOUNT TO DETERMINE ADEQUATE STRUCTURAL CAPACITY FOR ANY AT&T LOADING.
2. SEE SHEET C-8A SHEET FOR PROPOSED ANTENNA SCHEDULE.
3. CONTRACTOR TO VERIFY PROPOSED LOADING WITH TOWER STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION
4. ASSUMED 4" ANTENNA STAND OFF FROM MOUNT PIPE. CONTRACTOR TO VERIFY NO ANTENNA INTERFERENCE OCCURS WITH PROPOSED CONFIGURATION SHOWN. ROTATE MOUNTS AS NEEDED.



PLANS PREPARED FOR:  
**PeakNet**  
 PEAKNET  
 9887 FOURTH STREET NORTH, SUITE 100  
 ST. PETERSBURG, FL 33702

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0	12-15-21	PRELIMINARY

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:  
**ANTENNA  
 MOUNTING DETAILS**

SHEET NUMBER: **C-8** REVISION: **3**  
 TEP#: 305012.631202

**PROPOSED ANTENNA ORIENTATION**  
 SCALE: 3/8" = 1'-0"



**GENERAL NOTES:**

1. THIS ANTENNA ORIENTATION PLAN IS A SCHEMATIC. THE CONTRACTOR SHALL VERIFY TOWER ORIENTATION AND FIELD COORDINATE REQUIRED ADJUSTMENTS TO ACHIEVE THE DESIRED ANTENNA AZIMUTHS.
2. ANTENNA CENTERLINE HEIGHT BASED ON TOP OF FOOTING ELEVATION.
3. ALL ANTENNAS, CABLES AND MOUNTS SHALL BE INSTALLED IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S RECOMMENDATIONS IN A MANNER CONSISTENT WITH THE STRUCTURAL ANALYSIS REPORT.
4. ALL ANTENNA BRACKETS PER ANTENNA MANUFACTURER, OR EQUAL. CONTRACTOR TO COORDINATE REQUIRED MECHANICAL DOWN TILT WITH AT&T.
5. ALL ANTENNA INFORMATION TO BE CONFIRMED WITH AT&T RF DESIGN PRIOR TO INSTALLATION.
6. TEP DID NOT PERFORM A STRUCTURAL ANALYSIS ON THE MOUNT OR THE TOWER. IT IS THE CARRIER'S RESPONSIBILITY TO ENSURE MOUNT AND TOWER CAN SUPPORT ADDITIONAL LOADS.
7. CABLE LENGTH TAKEN FROM AT&T RFDS. CONTRACTOR TO VERIFY LENGTH PRIOR TO ORDERING MATERIALS.

PROPOSED AT&T ANTENNA/CABLE SCHEDULE												
ANT. MARK	SECTOR	TECH.	STATUS	MANUFACTURER/ MODEL #	DIMS (HxWxD)	AZIMUTH (TN)	RAD CENTER	ELEC. D-TILT	COAX/ CABLE	CABLE LENGTH	SURGE PROTECTION	RRU MODEL
A1	ALPHA	LTE 700 LTE 1900 LTE AWS 5G 850 5G 1900	PROPOSED	COMMSCOPE NNH4-65B-R6H4	H 72.0" W 19.6" D 7.8"	0°	290'	-	(3) FIBER <sub>24</sub> (5) #6 AWG DC POWER CABLES (2) #4 AWG DC POWER CABLES	330'±	(1) DC9-48- 60-24-8C-EV	(1) 4449 B5/B12 (1) 8843 B2/B66A
A3	ALPHA	LTS 700	PROPOSED	COMMSCOPE NNH4-65B-R6H4	H 72.0" W 19.6" D 7.8"	0°	290'	-	-	330'±	-	(1) 4478 B14
A4	ALPHA	5G CBAND	PROPOSED	ERICSSON AIR6449 B77D	H 30.4" W 15.9" D 8.1"	0°	290'	-	-	330'±	-	-
		5G DOD	PROPOSED	ERICSSON AIR6419 B77G	H 30.0" W 15.7" D 6.7"	0°	290'	-	-	330'±	-	-
B1	BETA	LTE 700 LTE 1900 LTE AWS 5G 850 5G 1900	PROPOSED	COMMSCOPE NNH4-65B-R6H4	H 72.0" W 19.6" D 7.8"	120°	290'	-	-	330'±	(1) DC9-48- 60-24-8C-EV	(1) 4449 B5/B12 (1) 8843 B2/B66A
B3	BETA	LTS 700	PROPOSED	COMMSCOPE NNH4-65B-R6H4	H 72.0" W 19.6" D 7.8"	120°	290'	-	-	330'±	-	(1) 4478 B14
B4	BETA	5G CBAND	PROPOSED	ERICSSON AIR6449 B77D	H 30.4" W 15.9" D 8.1"	120°	290'	-	-	330'±	-	-
		5G DOD	PROPOSED	ERICSSON AIR6419 B77G	H 30.0" W 15.7" D 6.7"	120°	290'	-	-	330'±	-	-
C1	GAMMA	LTE 700 LTE 1900 LTE AWS 5G 850 5G 1900	PROPOSED	COMMSCOPE NNH4-65B-R6H4	H 72.0" W 19.6" D 7.8"	240°	290'	-	-	330'±	(1) DC9-48- 60-24-8C-EV	(1) 4449 B5/B12 (1) 8843 B2/B66A
C3	GAMMA	LTS 700	PROPOSED	COMMSCOPE NNH4-65B-R6H4	H 72.0" W 19.6" D 7.8"	240°	290'	-	-	330'±	-	(1) 4478 B14
C4	GAMMA	5G CBAND	PROPOSED	ERICSSON AIR6449 B77D	H 30.4" W 15.9" D 8.1"	240°	290'	-	-	330'±	-	-
		5G DOD	PROPOSED	ERICSSON AIR6419 B77G	H 30.0" W 15.7" D 6.7"	240°	290'	-	-	330'±	-	-

**PROPOSED ANTENNA/CABLE SCHEDULE**

SCALE: N.T.S.

PLANS PREPARED FOR:

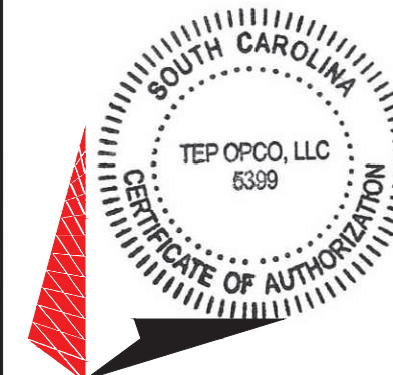


PEAKNET  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

**PEAKNET SITE NAME:  
WESTMINSTER**  
**AT&T SITE #: 016-237**  
**AT&T FA #: 15535664**  
HALL RD  
WESTMINSTER, SC 29693  
(OCONEE COUNTY)

PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**

326 TRYON ROAD  
RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
www.tepgroup.net

SEAL:



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1	12-17-21	PRELIMINARY
0	12-15-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

**PROPOSED  
ANTENNA/CABLE  
SCHEDULE**

SHEET NUMBER:

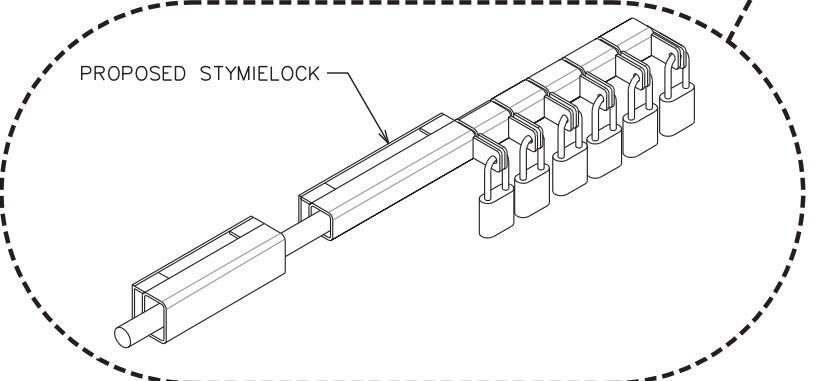
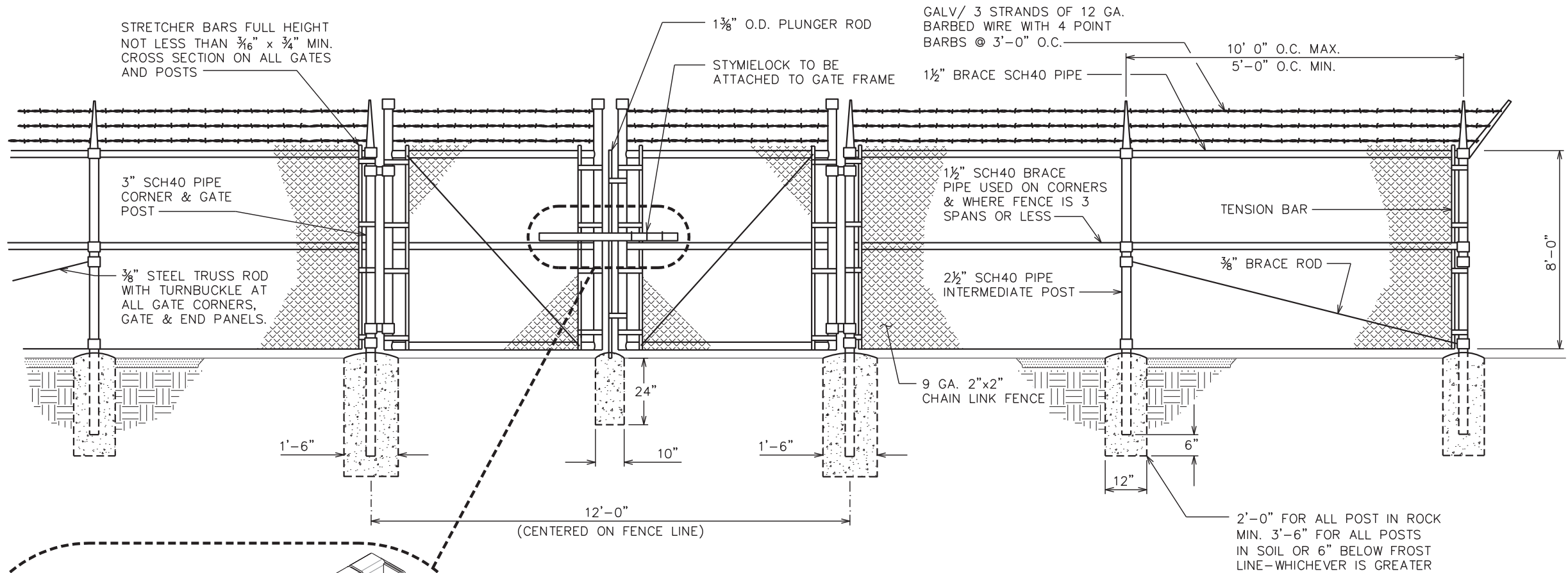
**C-8A**

REVISION:

**3**

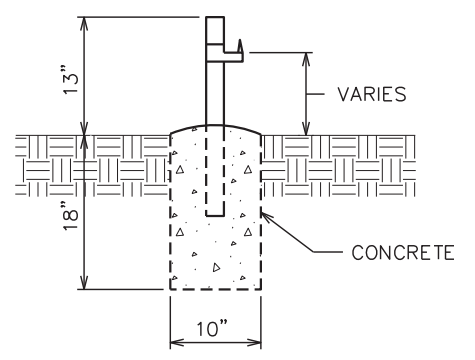
TEP#: 305012.63 | 202





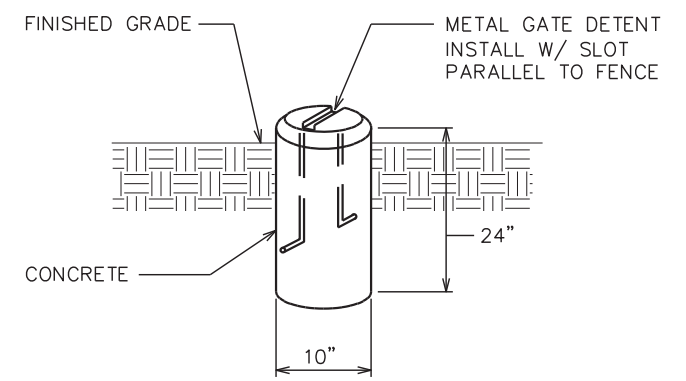
**TYPICAL FENCE ELEVATION**

SCALE: N.T.S.



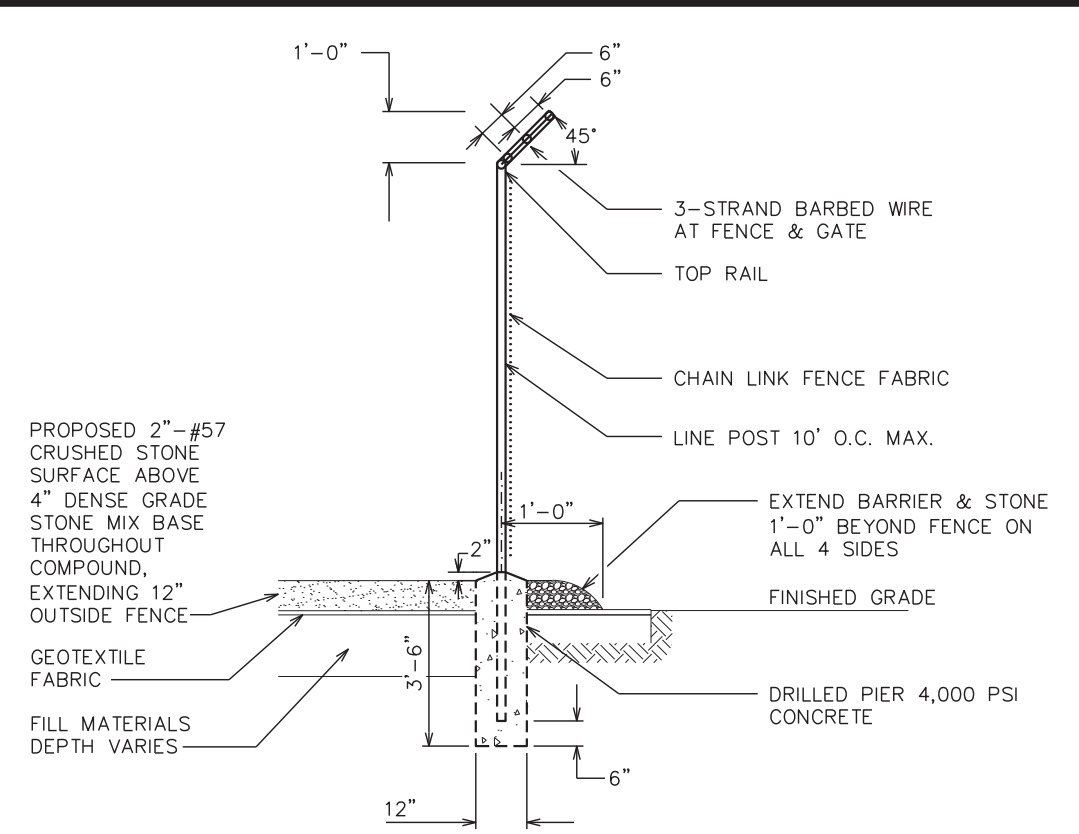
**GATE STOP / KEEPER DETAIL**

SCALE: N.T.S.



**GATE DETENT DETAIL**

SCALE: N.T.S.




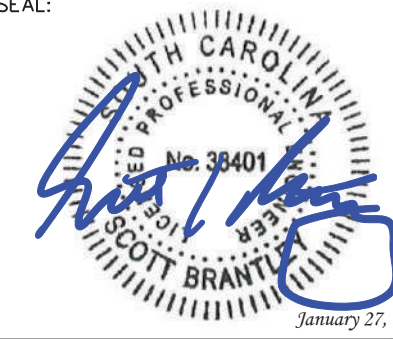
**FENCE / BARBED WIRE ARM DETAIL**

SCALE: N.T.S.

PLANS PREPARED FOR:  
**PeakNet**  
 PEAKNET  
 9887 FOURTH STREET NORTH, SUITE 100  
 ST. PETERSBURG, FL 33702

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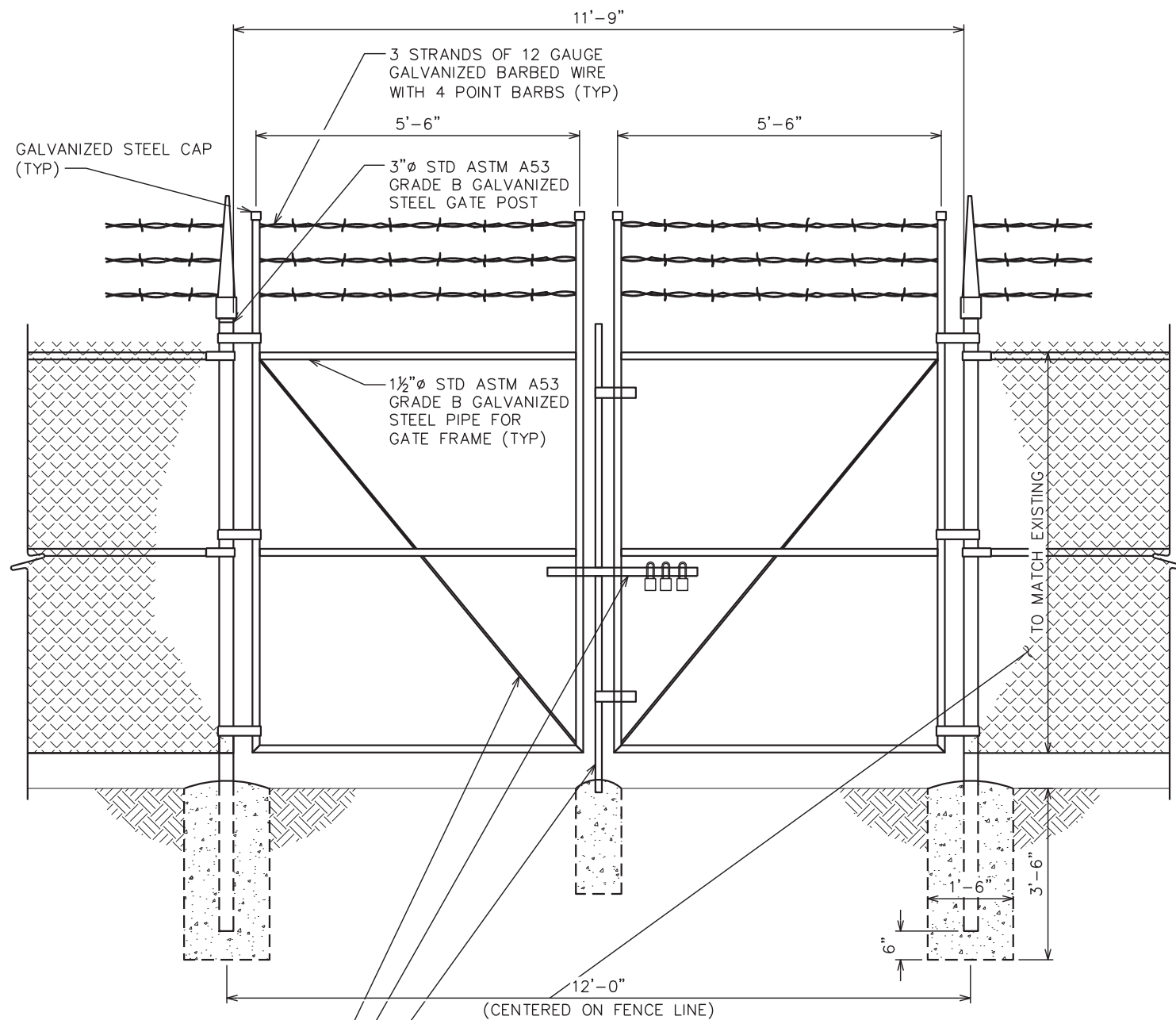
SEAL:  
  
 January 27, 2022

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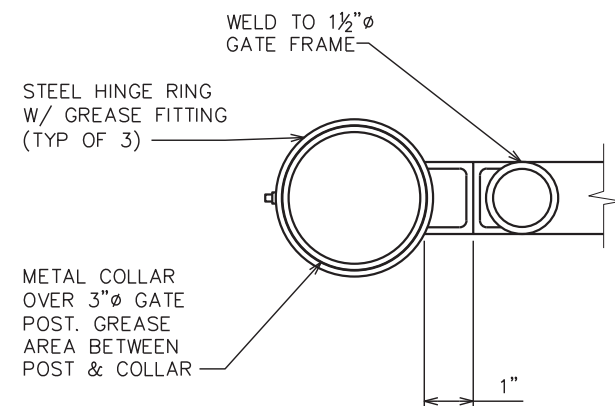
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SHEET TITLE:  
**COMPOUND FENCE DETAILS**

SHEET NUMBER: **C-9** REVISION: **3**  
 TEP#: 305012.63 | 202



- ¾"Ø STD RODS FOR BRACING (TYP)
- PROPOSED STYMILOCK
- PROPOSED 1½"Ø PLUNGER ROD
- 9 GA. 2"x2" CHAIN LINK FENCE

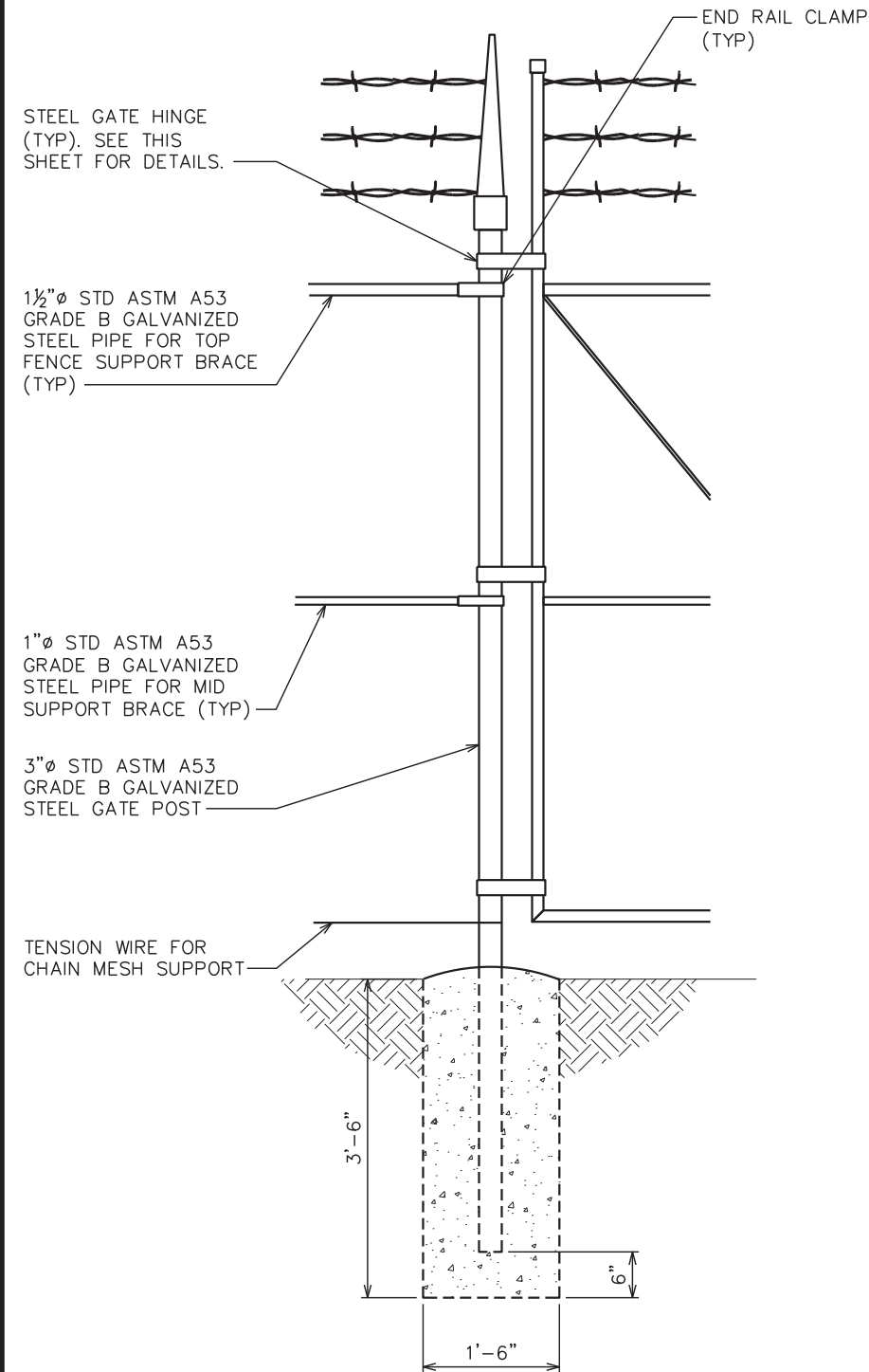


**GATE ELEVATION**

SCALE: N.T.S.

**POST HINGE DETAIL**

SCALE: N.T.S.



**GATE POST DETAIL**

SCALE: N.T.S.

PLANS PREPARED FOR:



PEAKNET  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

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SHEET TITLE:

**ACCESS GATE  
DETAIL**


SHEET NUMBER: REVISION:

**C-9A**

**3**

TEP#: 305012.63 | 2022

property of



**AUTHORIZED PERSONNEL ONLY!**


In case of emergency or prior to performing maintenance on this site, call 1-800-638-2822 and reference cell site number:

- ① WHITE/BLUE BACKGROUND W/ BLACK LETTERING  
 QUANTITY: (1)  
 SIZE: 9"x12"  
 (TO BE MOUNTED ON EQUIPMENT SHELTER DOOR ADJACENT TO COMPOUND ENTRY - SEE NOTE 3)

**DO NOT CLIMB TOWER WITHOUT OWNER'S WRITTEN PERMISSION**

- ③ WHITE BACKGROUND W/ RED LETTERING  
 QUANTITY: (1)  
 (TO BE MOUNTED AT EYE LEVEL ON TOWER NEAR SAFETY CLIMB)

**NOTICE**



Radio Frequency fields beyond this point may exceed the FCC general public exposure limit.

OBEY ALL POSTED SIGNS AND SITE GUIDELINES FOR WORKING IN RADIO FREQUENCY ENVIRONMENTS.

In accordance with Federal Communications Commission rules on radio frequency exposure 47 CFR 1.1307(b)

- ② WHITE/BLUE BACKGROUND W/ BLACK LETTERING  
 QUANTITY: (1)  
 (TO BE MOUNTED AT EYE LEVEL ON TOWER NEAR SAFETY CLIMB)

**000**

- ④ WHITE BACKGROUND W/ BLACK LETTERING  
 E911 STREET #  
 QUANTITY: (1 TYP)  
 LETTERS MUST BE A MINIMUM 6" TALL  
 (TO BE MOUNTED ON THE GATE OF COMPOUND)

- ① SITE IDENTIFICATION SIGN  
 ② FCC/RF EXPOSURE SIGN  
 ③ TOWER CLIMBING SIGN  
 ④ STREET ADDRESS SIGN


**NOTES:**

- SIGNS SHALL MEASURE 8"x12", BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL, AND PAINTED WITH LONG LASTING UV RESISTANT COATINGS.
- SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE AND FENCE USING A MINIMUM OF 9 GAUGE ALUMINUM WIRE, HOG RINGS (AS UTILIZED IN FENCE INSTALLATIONS) OR BRACKETS WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.
- AT&T SITE # AND EMERGENCY CONTACT # SHALL BE MOUNTED ON THE EQUIPMENT SHELTER DOOR ADJACENT TO THE COMPOUND ENTRY WITH PERMANENT SET ADHESIVE. TWO-SIDED TAPE SHALL BE UTILIZED AT EACH CORNER ON THE BACKSIDE TO AID PLACEMENT UNTIL ADHESIVE SETS.
- ADDITIONAL E911 ADDRESS SIGNS ARE REQUIRED AT EACH ACCESS ROAD GATE LEADING TO THE COMPOUND AS WELL AS ON THE COMPOUND GATE ITSELF. LETTERING ON 911 ADDRESS SIGNS MUST BE A MINIMUM OF 6" TALL.
- ADDITIONAL FCC REGISTRATION # SIGNS ARE REQUIRED AT EACH ACCESS ROAD GATE LEADING TO THE COMPOUND AS WELL AS ON THE COMPOUND GATE ITSELF.
- RECOMMENDED SOURCE FOR OBTAINING SIGNAGE:

ST. CLAIR SIGNS  
 3184 WADE HAMPTON BLVD.  
 TAYLORS, SC 29687  
 (864) 244-0040

RF EXPOSURE SIGNS  
 RICHARD TELL ASSOCIATES  
 3433 RINGSTAR ROAD, SUITE 3  
 NORTH LAS VEGAS, NV 89030  
 (702) 645-3338

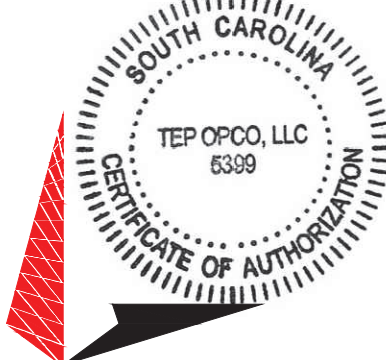
PLANS PREPARED FOR:



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 (OCONEE COUNTY)

PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**  
 326 TRYON ROAD  
 RALEIGH, NC 27603-3530  
 OFFICE: (919) 661-6351  
 www.tepgroup.net

SEAL:



January 27, 2022

3	01-27-22	CONSTRUCTION
2	01-12-22	PRELIMINARY
1	12-17-21	PRELIMINARY
0	12-15-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

**SIGNAGE DETAILS**

SHEET NUMBER:	REVISION:
<b>C-10</b>	<b>3</b>
TEP#: 305012.63   2022	

**TYPICAL SIGNS AND SPECIFICATIONS**

SCALE: N.T.S.



PLANS PREPARED FOR:

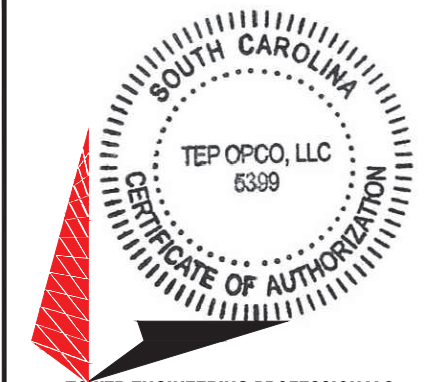


PEAKNET  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

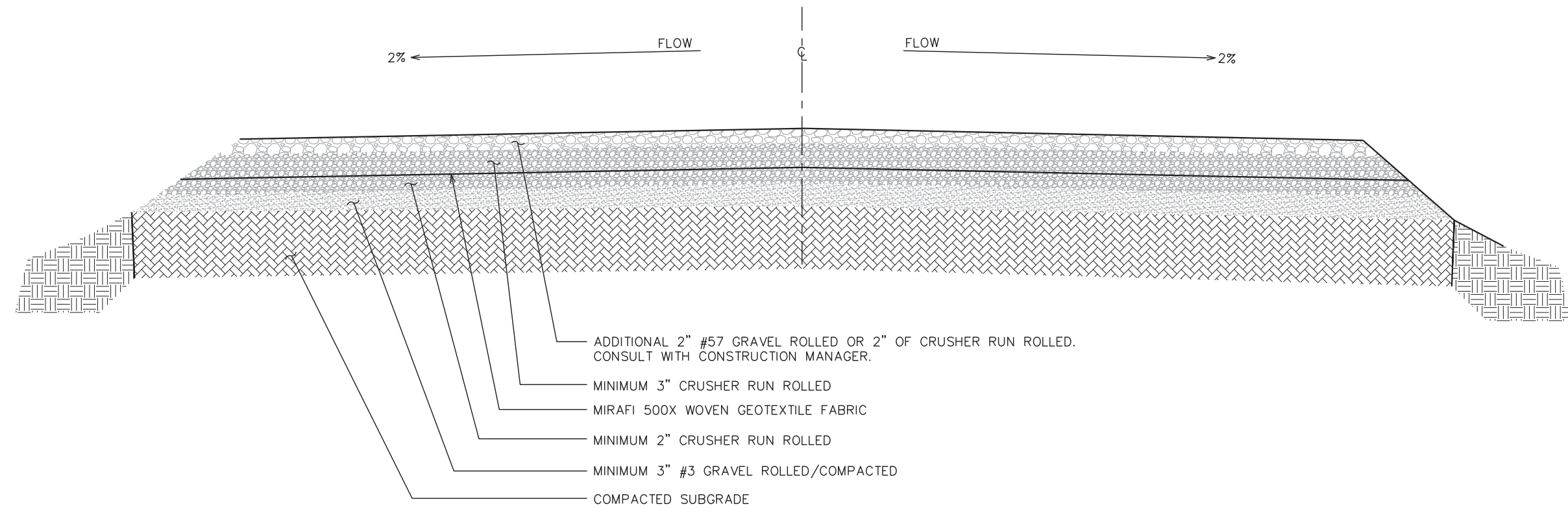
**PEAKNET SITE NAME:  
WESTMINSTER**  
**AT&T SITE #: 016-237**  
**AT&T FA #: 15535664**  
HALL RD  
WESTMINSTER, SC 29693  
(OCONEE COUNTY)

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SHEET TITLE:  
**ACCESS ROAD  
DETAILS**

SHEET NUMBER: **C-11** REVISION: **3**  
TEP#: 305012.63 | 202

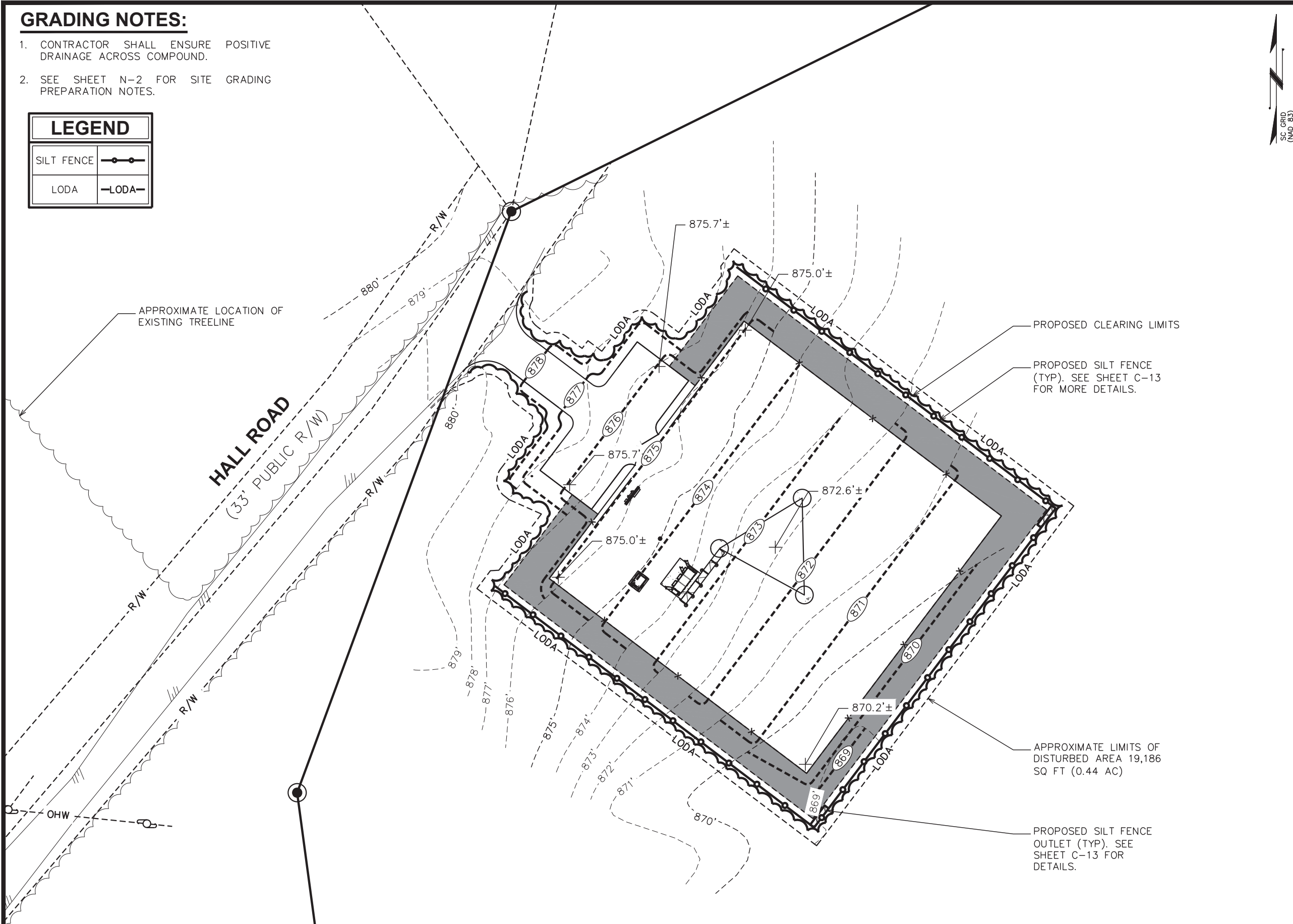
**STANDARD ROAD SECTION**  
SCALE: N.T.S.



**GRADING NOTES:**

1. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE ACROSS COMPOUND.
2. SEE SHEET N-2 FOR SITE GRADING PREPARATION NOTES.

LEGEND	
SILT FENCE	
LODA	



PLANS PREPARED FOR:  
**PeakNet**  
 PEAKNET  
 9887 FOURTH STREET NORTH, SUITE 100  
 ST. PETERSBURG, FL 33702

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SEAL:

June 28, 2022

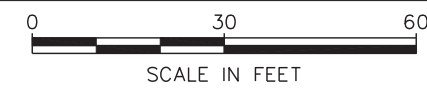
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SHEET TITLE:  
**GRADING & EROSION CONTROL PLAN**

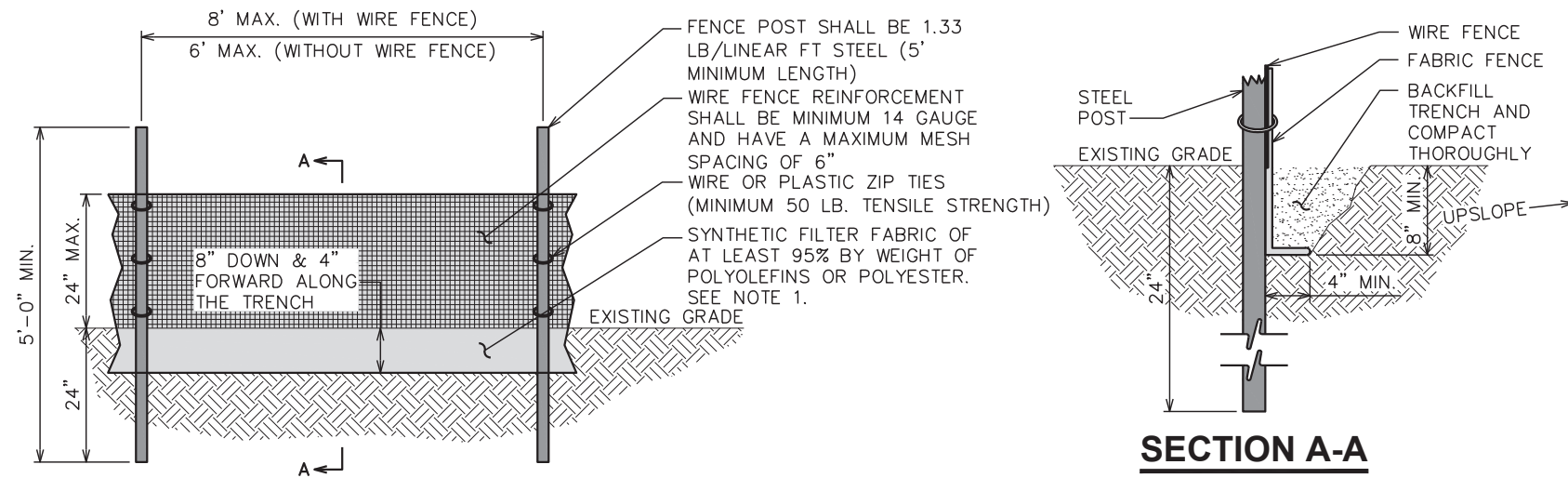
SHEET NUMBER: **C-12** REVISION: **4**  
 TEP#: 305012.631202

**GRADING & EROSION CONTROL PLAN**  
 SCALE: 1" = 30'



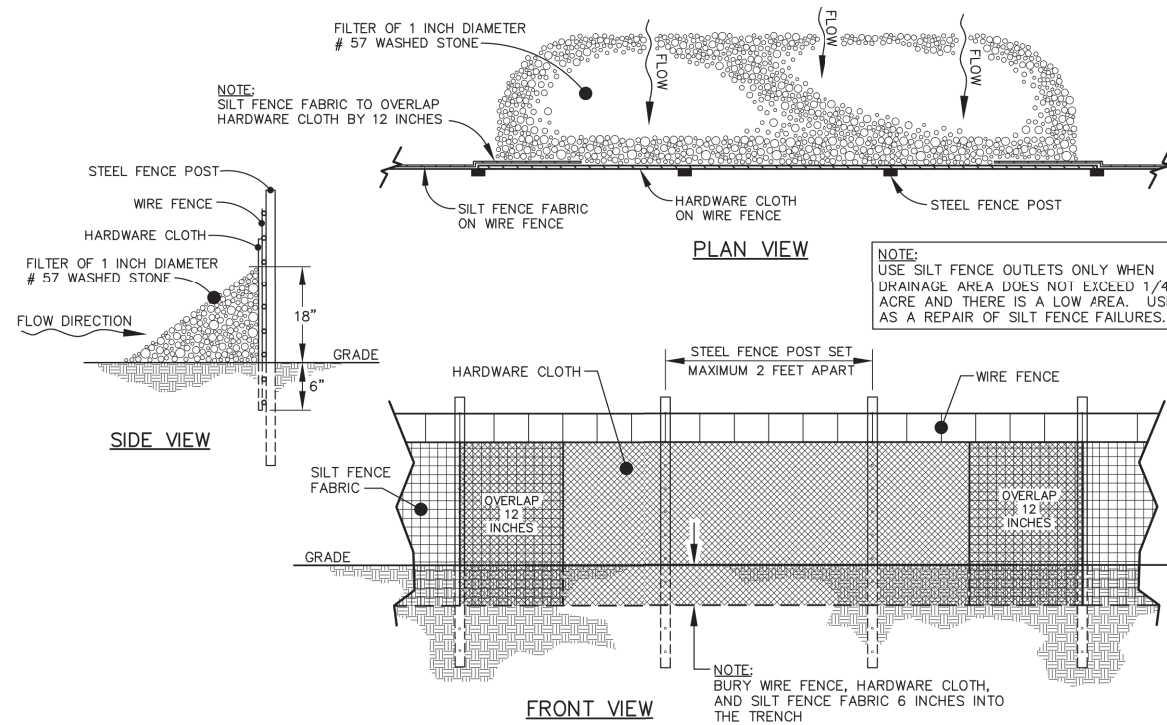
**NOTES:**

1. FILTER FABRIC SHALL CONFORM TO THE REQUIREMENTS LISTED IN ASTM D 6461.
2. ENDS OF INDIVIDUAL FILTER FABRIC SHALL BE SECURELY FASTENED AT A SUPPORT POST WITH 4 FEET MINIMUM OVERLAP TO THE NEXT POST.
3. PLACE 12 INCHES OF FABRIC ALONG THE BOTTOM AND SIDE OF THE TRENCH.
4. INSPECT SEDIMENT FENCE(S) AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL.
5. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE.
6. AFTER CONSTRUCTION IS COMPLETE, THE CONTRACTOR SHALL REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE AND PROPERLY STABILIZE THE SITE.



**SILT FENCE DETAIL**

SCALE: N.T.S.



**STANDARD SILT FENCE OUTLET DETAIL**

SCALE: N.T.S.

PLANS PREPARED FOR:

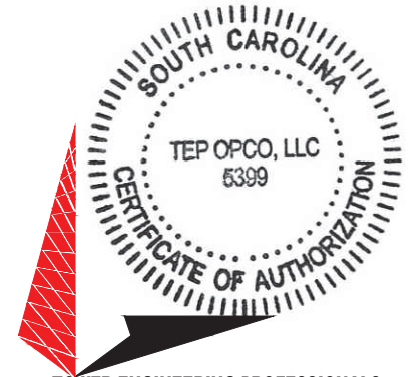


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9887 FOURTH STREET NORTH, SUITE 100  
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DRAWN BY: *DAE* CHECKED BY: *JEB*

SHEET TITLE:

**SILT FENCE  
DETAILS**

SHEET NUMBER: REVISION:

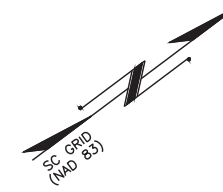
**C-13**

**3**

TEP#: 305012.63 | 202

## PLANTING SCHEDULE

ITEM	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT @ PLANTING	HEIGHT @ MATURITY	CALIPER/ SPREAD	SPACING	REMARKS
<b>EVERGREEN TREE</b>								
①	15	(Thuja Standishi)	GREEN GIANT	-	40'-0" (MIN)	2.5" (MIN)	25'-0"	SHOWN AS
<b>EVERGREEN SHRUB</b>								
②	78	Morella Cerifera	WAX MYRTLE	-	6'-0" (MIN)	3 GALLONS	5'-0"	SHOWN AS
<b>MULCH</b>								
③	-	-	-	-	-	-	-	APPLY 3"-4" DEEP FROM THE TRUNKLINE TO THE DRIPLINE. FOR GROUND COVER - APPLY 1"-2" DEEP.



PLANS PREPARED FOR:

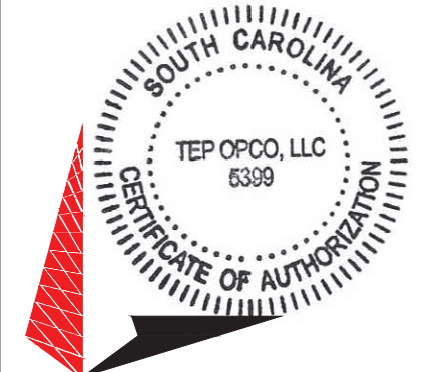


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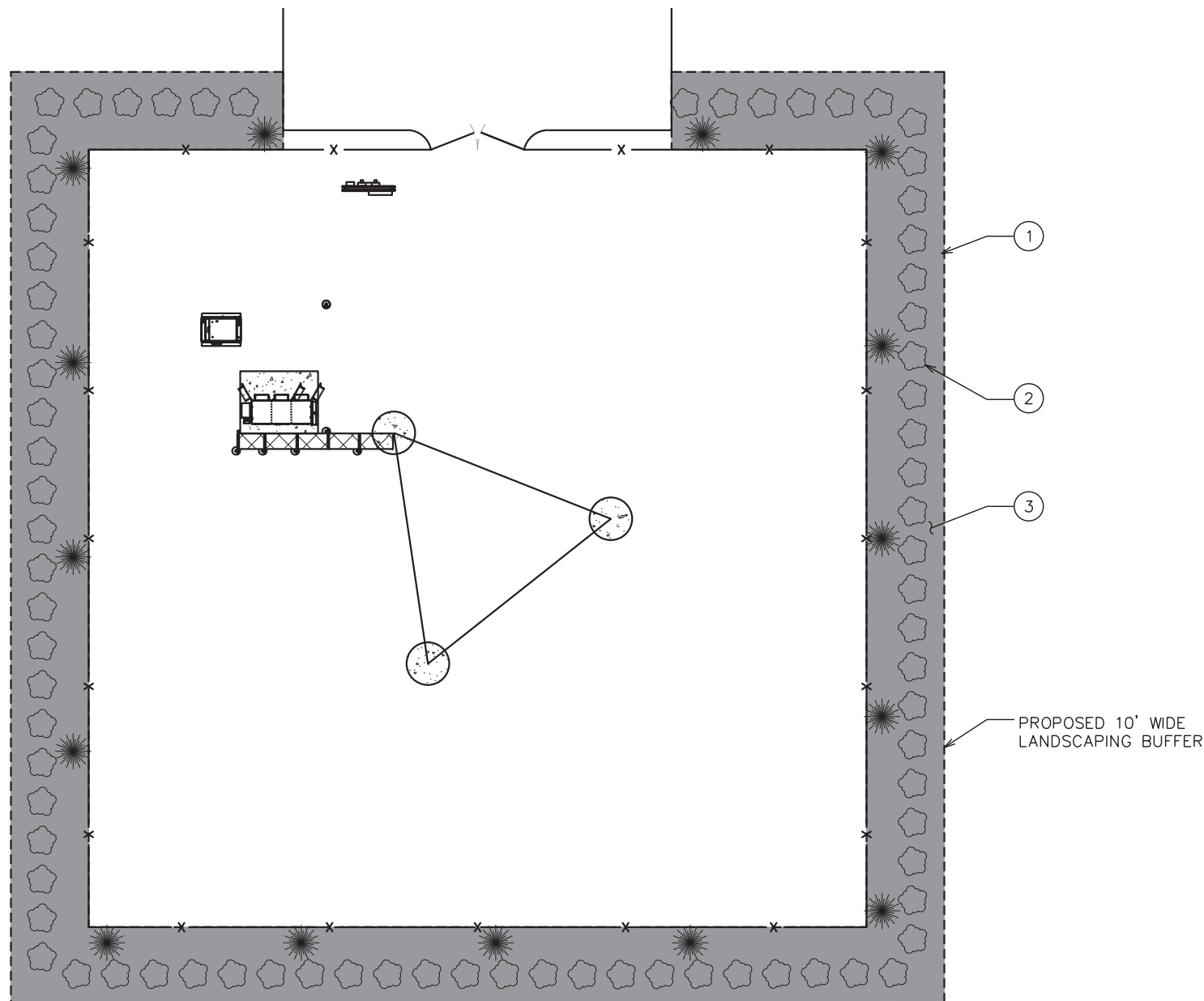
SHEET TITLE:

**LANDSCAPING  
PLAN**

SHEET NUMBER: <b>L-1</b>	REVISION: <b>4</b>
TEP#: 305012.63   2022	

**NOTE:**

PROPOSED LANDSCAPING TO CREATE A DENSE SCREEN WITH A MINIMUM HEIGHT OF SIX FEET WITHIN A THREE-YEAR PERIOD FROM ERECTION OF A TOWER PER COUNTY REQUIREMENTS.



**LANDSCAPING PLAN**

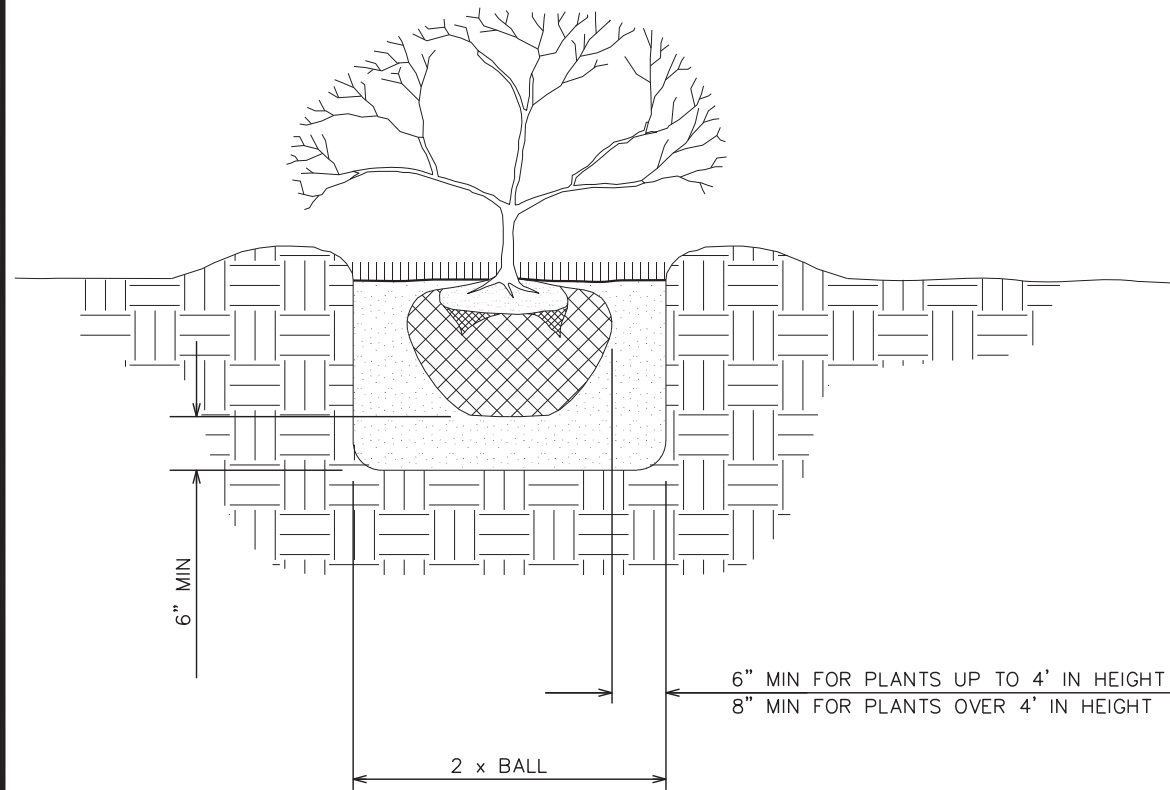
SCALE: 1"=20'



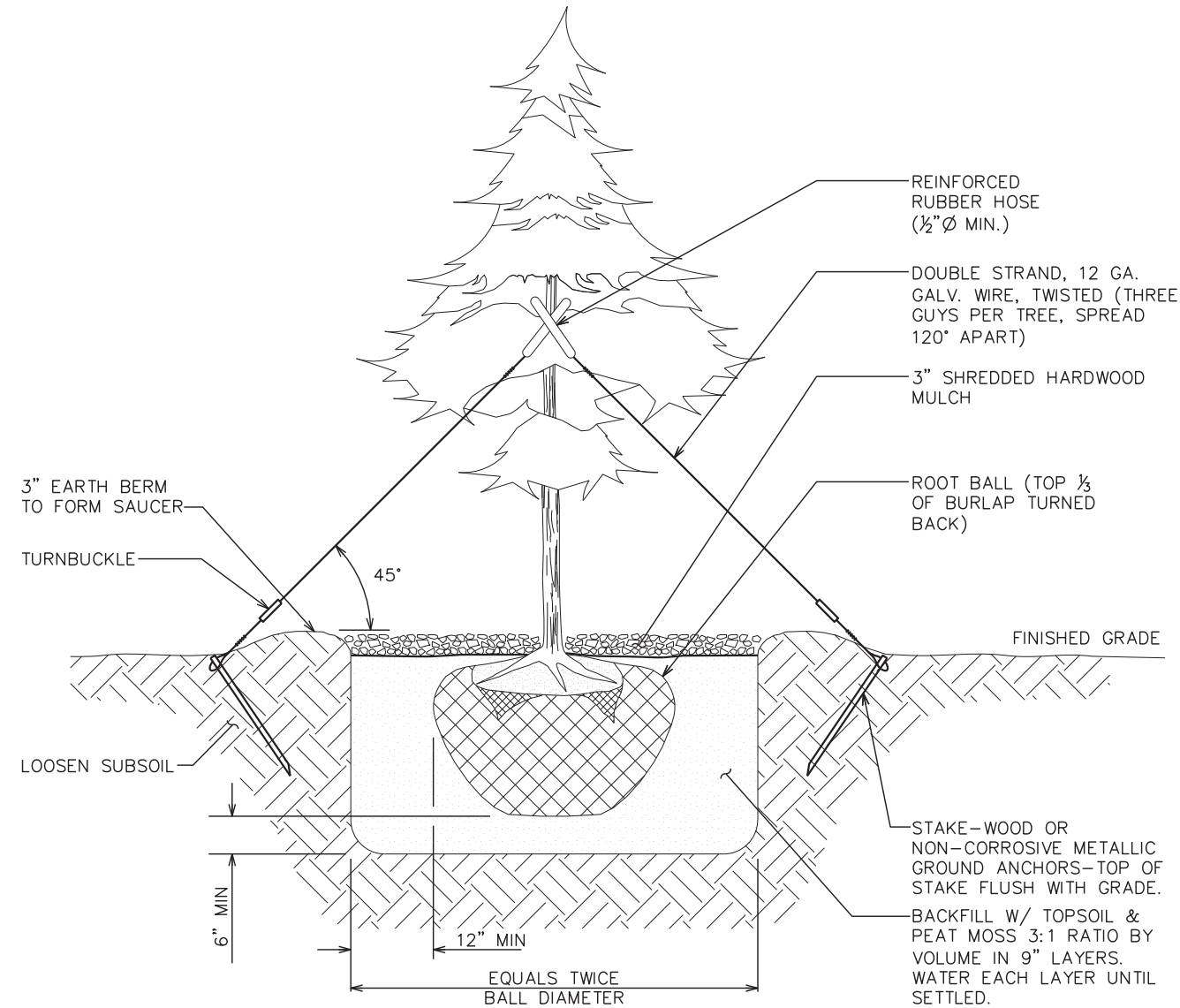


**LANDSCAPE NOTES:**

1. TOPSOIL TO BE PROVIDED BY SITE CONTRACTOR IN ROUGH GRADE TO WITHIN 1" OF FINISH GRADE.
2. EACH PLANT TO BE IN GOOD CONDITION AFTER SHEARING AND PRUNING.
3. EACH PLANT TO BE FREE FROM DISEASE, INSECT INFESTATION, AND MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR FIELD PLANTING.
4. ALL PLANTS TO BE FULLY GUARANTEED (LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF INSTALLATION.
5. ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1-1973 IN REGARD TO SIZING, GROWING, AND B&B SPECIFICATIONS.
6. THE CONTRACTOR SHALL PROTECT ALL EXISTING TREES AND SHRUBS WITHIN THE CONSTRUCTION AREA IDENTIFIED AS "TO REMAIN" FROM DAMAGE BY EQUIPMENT AND CONSTRUCTION ACTIVITIES.



**SHRUB PLANTING DETAIL**



**TREE PLANTING DETAIL**

PLANS PREPARED FOR:

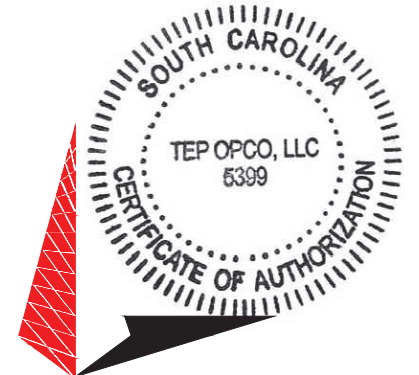


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SHEET TITLE:

**LANDSCAPING  
DETAILS**

SHEET NUMBER: REVISION:

**L-2**

**4**

TEP #: 305012.63 | 2022

**LANDSCAPING DETAILS**

SCALE: N.T.S.

**SCOPE:**

1. PROVIDE LABOR, MATERIALS, INSPECTION, AND TESTING TO PROVIDE CODE COMPLIANCE FOR ELECTRIC, TELEPHONE, AND GROUNDING/LIGHTNING SYSTEMS.

**CODES:**

1. THE INSTALLATION SHALL COMPLY WITH APPLICABLE LAWS AND CODES. THESE INCLUDE BUT ARE NOT LIMITED TO THE LATEST ADOPTED EDITIONS OF:
  - A. THE NATIONAL ELECTRICAL SAFETY CODE
  - B. THE NATIONAL ELECTRIC CODE – NFPA-70
  - C. REGULATIONS OF THE SERVING UTILITY COMPANY
  - D. LOCAL AND STATE AMENDMENTS
  - E. THE INTERNATIONAL ELECTRIC CODE – IEC (WHERE APPLICABLE)
2. PERMITS REQUIRED SHALL BE OBTAINED BY THE CONTRACTOR.
3. AFTER COMPLETION AND FINAL INSPECTION OF THE WORK, THE OWNER SHALL BE FURNISHED A CERTIFICATE OF COMPLETION AND APPROVAL.

**TESTING:**

1. UPON COMPLETION OF THE INSTALLATION, OPERATE AND ADJUST THE EQUIPMENT AND SYSTEMS TO MEET SPECIFIED PERFORMANCE REQUIREMENTS. THE TESTING SHALL BE DONE BY QUALIFIED PERSONNEL.

**GUARANTEE:**

1. IN ADDITION TO THE GUARANTEE OF THE EQUIPMENT BY THE MANUFACTURER, EACH PIECE OF EQUIPMENT SPECIFIED HEREIN SHALL ALSO BE GUARANTEED FOR DEFECTS OF MATERIAL OR WORKMANSHIP OCCURRING DURING A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE OF THE WORK BY THE OWNER AND WITHOUT EXPENSE TO THE OWNER.
2. THE WARRANTEE CERTIFICATES & GUARANTEES FURNISHED BY THE MANUFACTURERS SHALL BE TURNED OVER TO THE OWNER.

**UTILITY CO-ORDINATION:**

1. CONTRACTOR SHALL COORDINATE WORK WITH THE POWER AND TELEPHONE COMPANIES AND SHALL COMPLY WITH THE SERVICE REQUIREMENTS OF EACH UTILITY COMPANY.

**EXAMINATION OF SITE:**

1. PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL VISIT THE SITE OF THE JOB AND SHALL FAMILIARIZE HIMSELF WITH THE CONDITIONS AFFECTING THE PROPOSED ELECTRICAL INSTALLATION AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. FAILURE TO COMPLY WITH THE INTENT OF THIS SECTION WILL IN NO WAY RELIEVE THE CONTRACTOR OF PERFORMING THE WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM OR SYSTEMS.

**CUTTING, PATCHING AND EXCAVATION:**

1. COORDINATION OF SLEEVES, CHASES, ETC., BETWEEN SUBCONTRACTORS WILL BE REQUIRED PRIOR TO THE CONSTRUCTION OF ANY PORTION OF THE WORK. CUTTING AND PATCHING OF WALLS, PARTITIONS, FLOORS, AND CHASES IN CONCRETE, WOOD, STEEL OR MASONRY SHALL BE DONE AS PROVIDED ON THE DRAWINGS.
2. NECESSARY EXCAVATIONS AND BACKFILLING INCIDENTAL TO THE ELECTRICAL WORK SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWING.
3. SEAL PENETRATIONS THROUGH RATED WALLS, FLOORS, ETC., WITH APPROVED METHOD AS LISTED BY UL.

**RACEWAYS / CONDUITS GENERAL:**

1. CONDUCTORS SHALL BE INSTALLED IN LISTED RACEWAYS. CONDUIT SHALL BE RIGID STEEL, EMT, SCH40 PVC, OR SCH80PVC AS INDICATED ON THE DRAWINGS. THE RACEWAY SYSTEM SHALL BE COMPLETE BEFORE INSTALLING CONDUCTORS.
2. EXTERIOR RACEWAYS AND GROUNDING SLEEVES SHALL BE SEALED AT POINTS OF ENTRANCE AND EXIT. THE RACEWAY SYSTEM SHALL BE BONDED PER NEC.

**EXTERIOR CONDUIT:**

1. EXPOSED CONDUIT SHALL BE NEATLY INSTALLED AND RUN PARALLEL OR PERPENDICULAR TO STRUCTURAL ELEMENTS. SUPPORTS AND MOUNTING HARDWARE SHALL BE HOT DIPPED GALVANIZED STEEL.
2. THE CONDUIT SHALL BE RIGID STEEL AT GRADE TRANSITIONS OR WHERE EXPOSED TO DAMAGE.
3. UNDERGROUND CONDUITS SHALL BE RIGID STEEL, SCH40 PVC, OR SCH80 PVC AS INDICATED ON THE DRAWINGS.
4. BURIAL DEPTH OF CONDUITS SHALL BE AS REQUIRED BY CODE FOR EACH SPECIFIC CONDUIT TYPE AND APPLICATION, BUT SHALL NOT BE LESS THAN THE FROST DEPTH AT THE SITE.
5. CONDUIT ROUTES ARE SCHEMATIC. CONTRACTOR SHALL FIELD VERIFY ROUTES BEFORE BID. COORDINATE ROUTE WITH WIRELESS CARRIER AND/OR BUILDING OWNER.

**INTERIOR CONDUIT:**

1. CONCEALED CONDUIT IN WALLS OR INTERIOR SPACES ABOVE GRADE MAY BE EMT OR PVC.
2. CONDUIT RUNS SHALL USE APPROVED COUPLINGS AND CONNECTORS. PROVIDE INSULATED BUSHING FOR ALL CONDUIT TERMINATIONS. CONDUIT RUNS IN A WET LOCATION SHALL HAVE WATERPROOF FITTINGS.
3. PROVIDE SUPPORTS FOR CONDUITS IN ACCORDANCE WITH NEC REQUIREMENTS. CONDUITS SHALL BE SIZED AS REQUIRED BY NEC.

**EQUIPMENT:**

1. DISCONNECT SWITCHES SHALL BE SERVICE ENTRANCE RATED, HEAVY DUTY TYPE.
2. CONTRACTOR SHALL VERIFY MAXIMUM AVAILABLE FAULT CURRENT AND COORDINATE INSTALLATION WITH THE LOCAL UTILITY BEFORE STARTING WORK. CONTRACTOR WILL VERIFY THAT EXISTING CIRCUIT BREAKERS ARE RATED FOR MORE THAN AVAILABLE FAULT CURRENT AND REPLACE AS NECESSARY.
3. NEW CIRCUIT BREAKERS SHALL BE RATED TO WITHSTAND THE MAXIMUM AVAILABLE FAULT CURRENT AS DETERMINED BY THE LOCAL UTILITY.

**CONDUCTORS:**

1. FURNISH AND INSTALL CONDUCTORS SPECIFIED IN THE DRAWINGS. CONDUCTORS SHALL BE COPPER AND SHALL HAVE TYPE THWN (MIN) (75° C) INSULATION, RATED FOR 600 VOLTS.
2. THE USE OF ALUMINUM CONDUCTORS SHALL BE LIMITED TO THE SERVICE FEEDERS INSTALLED BY THE UTILITY.
3. CONDUCTORS SHALL BE PROVIDED AND INSTALLED AS FOLLOWS:
  - A. MINIMUM WIRE SIZE SHALL BE #12 AWG.
  - B. CONDUCTORS SIZE #8 AND LARGER SHALL BE STRANDED. CONDUCTORS SIZED #10 AND #12 MAY BE SOLID OR STRANDED.
  - C. CONNECTION FOR #10 AWG #12 AWG SHALL BE BY TWISTING TIGHT AND INSTALLING INSULATED PRESSURE OR WIRE NUT CONNECTIONS.
  - D. CONNECTION FOR #8 AWG AND LARGER SHALL BE BY USE OF STEEL CRIMP-ON SLEEVES WITH NYLON INSULATOR.
3. CONDUCTORS SHALL BE COLOR CODED IN ACCORDANCE WITH NEC STANDARDS.

**UL COMPLIANCE:**

1. ELECTRICAL MATERIALS, DEVICES, CONDUCTORS, APPLIANCES, AND EQUIPMENT SHALL BE LABELED/LISTED BY UL OR ACCEPTED BY JURISDICTION (I.E., LOCAL COUNTY OR STATE) APPROVED THIRD PARTY TESTING AGENCY.

**GROUNDING:**

1. ELECTRICAL NEUTRALS, RACEWAYS AND NON-CURRENT CARRYING PARTS OF ELECTRICAL EQUIPMENT AND ASSOCIATED ENCLOSURES SHALL BE GROUNDED IN ACCORDANCE WITH NEC ARTICLE 250. THIS SHALL INCLUDE NEUTRAL CONDUCTORS, CONDUITS, SUPPORTS, CABINETS, BOXES, GROUND BUSSES, ETC. THE NEUTRAL CONDUCTOR FOR EACH SYSTEM SHALL BE GROUNDED AT A SINGLE POINT.
2. PROVIDE GROUND CONDUCTOR IN RACEWAYS PER NEC.
3. PROVIDE BONDING AND GROUND TO MEET NFPA 780 – "LIGHTNING PROTECTION" AS A MINIMUM.
4. PROVIDE GROUNDING SYSTEM AS INDICATED ON THE DRAWINGS, AS REQUIRED BY THE NATIONAL ELECTRIC CODE, RADIO EQUIPMENT MANUFACTURERS, AND MOTOROLA R56 (AS APPLICABLE).

ABBREVIATIONS AND LEGEND																													
<p>A – AMPERE</p> <p>AFG – ABOVE FINISHED GRADE</p> <p>ATS – AUTOMATIC TRANSFER SWITCH</p> <p>AWG – AMERICAN WIRE GAUGE</p> <p>BCW – BARE COPPER WIRE</p> <p>BFG – BELOW FINISHED GRADE</p> <p>BKR – BREAKER</p> <p>C – CONDUIT</p> <p>CKT – CIRCUIT</p> <p>DISC – DISCONNECT</p> <p>EGR – EXTERNAL GROUND RING</p> <p>EMT – ELECTRIC METALLIC TUBING</p> <p>FSC – FLEXIBLE STEEL CONDUIT</p> <p>GEN – GENERATOR</p> <p>GPS – GLOBAL POSITIONING SYSTEM</p> <p>GRD – GROUND</p> <p>IGB – ISOLATED GROUND BAR</p> <p>IGR – INTERIOR GROUND RING (HALO)</p> <p>KW – KILOWATTS</p> <p>NEC – NATIONAL ELECTRIC CODE</p> <p>PCS – PERSONAL COMMUNICATION SYSTEM</p> <p>PH – PHASE</p> <p>PNL – PANEL</p>	<p>PNLBD – PANELBOARD</p> <p>PVC – RIGID NON-METALLIC CONDUIT</p> <p>RGS – RIGID GALVANIZED STEEL CONDUIT</p> <p>SW – SWITCH</p> <p>TGB – TOWER GROUND BAR</p> <p>UL – UNDERWRITERS LABORATORIES</p> <p>V – VOLTAGE</p> <p>W – WATTS</p> <p>XFMR – TRANSFORMER</p> <p>XMTR – TRANSMITTER</p>																												
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 20px;">----</td> <td style="width: 20px;">E</td> <td style="width: 20px;">----</td> <td>UNDERGROUND ELECTRICAL CONDUIT</td> </tr> <tr> <td>----</td> <td>T</td> <td>----</td> <td>UNDERGROUND TELEPHONE CONDUIT</td> </tr> <tr> <td style="text-align: center;">☏</td> <td></td> <td></td> <td>KILOWATT-HOUR METER</td> </tr> <tr> <td>-----</td> <td></td> <td></td> <td>UNDERGROUND BONDING AND GROUNDING CONDUCTOR.</td> </tr> <tr> <td style="text-align: center;">∅</td> <td></td> <td></td> <td>GROUND ROD</td> </tr> <tr> <td style="text-align: center;">●</td> <td></td> <td></td> <td>CADWELD</td> </tr> <tr> <td style="text-align: center;">☒</td> <td></td> <td></td> <td>GROUND ROD WITH INSPECTION WELL</td> </tr> </table>		----	E	----	UNDERGROUND ELECTRICAL CONDUIT	----	T	----	UNDERGROUND TELEPHONE CONDUIT	☏			KILOWATT-HOUR METER	-----			UNDERGROUND BONDING AND GROUNDING CONDUCTOR.	∅			GROUND ROD	●			CADWELD	☒			GROUND ROD WITH INSPECTION WELL
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PLANS PREPARED FOR:

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SHEET TITLE:

**ELECTRICAL NOTES**

SHEET NUMBER: <b>E-1</b>	REVISION: <b>3</b>
TEP#: 305012.63   202	

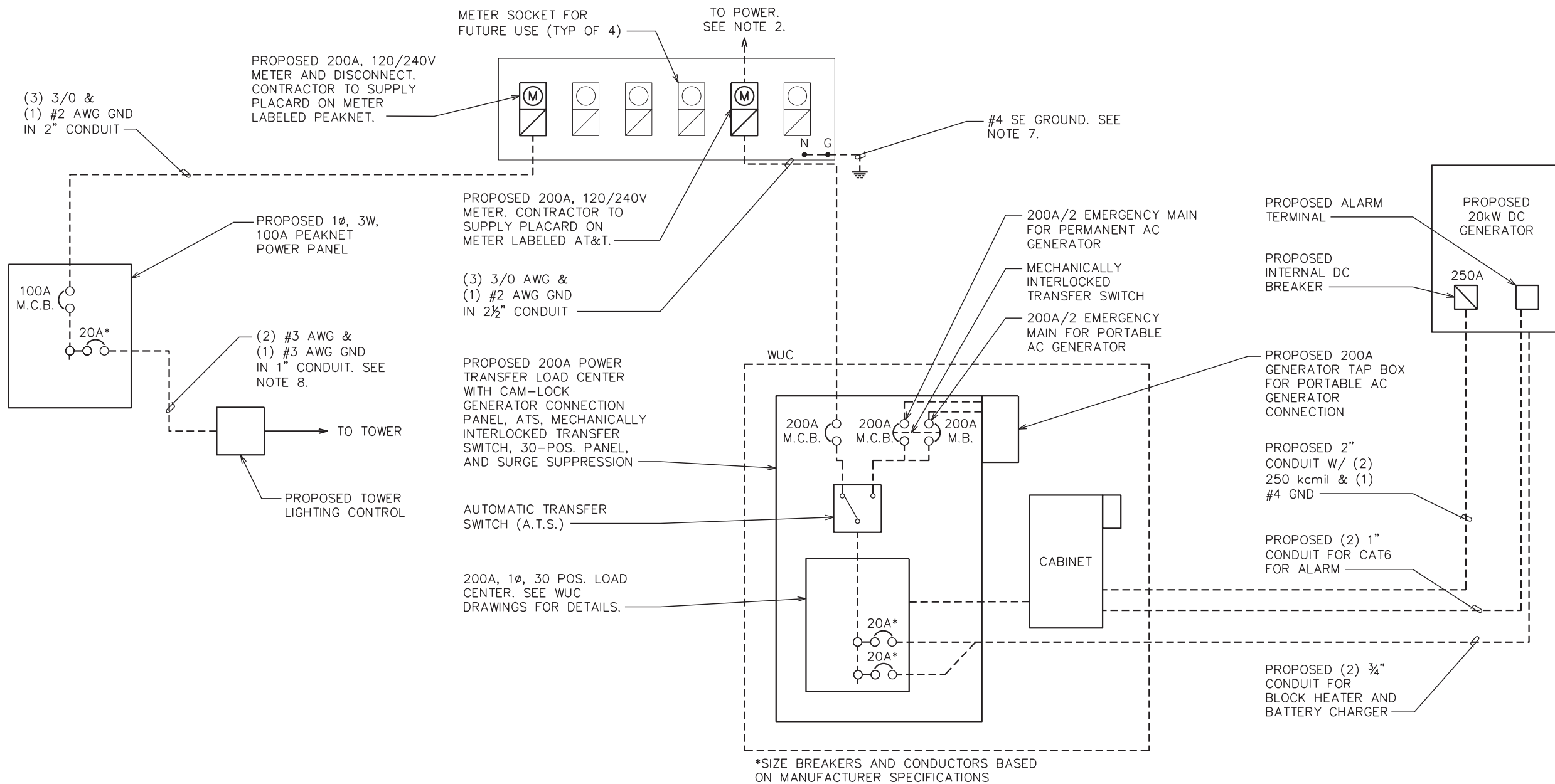


**GENERAL NOTES:**

1. CONTRACTOR SHALL VERIFY AVAILABLE FAULT CURRENT WITH POWER COMPANY AND ENSURE ALL ELECTRICAL EQUIPMENT IS SUITABLE FOR AVAILABLE FAULT CURRENT.
2. CONTRACTOR SHALL COORDINATE UTILITY SERVICES WITH LOCAL UTILITY COMPANIES. VERIFY ALL REQUIREMENTS WITH UTILITY COMPANY STANDARDS.
3. ONE-LINE DIAGRAM IS FOR SCHEMATIC PURPOSES ONLY AND IS NOT INDICATIVE OF THE ACTUAL EQUIPMENT LAYOUT.
4. CONTRACTOR SHALL LABEL METER SOCKET WITH SERVICE OWNER NAMEPLATE WITH 1/2" HEIGHT MINIMUM LETTERS.
5. ALL EQUIPMENT WILL HAVE A MINIMUM AIC OF 10 KA. CONTRACTOR TO DETERMINE AVAILABLE FAULT CURRENT BEFORE ENERGIZING EQUIPMENT. THE AMOUNT OF AVAILABLE FAULT CURRENT SHALL BE MARKED ON THE SERVICE EQUIPMENT PER NEC 110.24.
6. CONTRACTOR WILL NOTIFY UTILITY COMPANY OF CHANGES IN ELECTRICAL LOAD.
7. GROUNDING ELECTRODE CONDUCTOR IS SIZED FOR SINGLE 200A SERVICE ONLY. IF METER BANK SHARES A COMMON NEUTRAL/GROUND POINT, CONTRACTOR WILL INSTALL (1) 3/0 COPPER GEC INSTEAD.
8. CONTRACTOR TO VERIFY TOWER LIGHTING BREAKER, SIZE, CONDUCTOR SIZE, & POWER DRAW WITH TOWER LIGHTING MANUFACTURER BEFORE BEGINNING WORK OR ORDERING PARTS.

**ONE-LINE DIAGRAM NOTES:**

1. ELECTRICAL SERVICE SHALL BE 200A, 120/240V, 1Ø, 3W.
2. FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT, REFER TO VENDOR PRINTS PROVIDED BY EQUIPMENT MANUFACTURER.
3. CONDUCTOR SIZES BASED ON TYPICAL CONFIGURATIONS. CONTRACTOR WILL VERIFY WITH MANUFACTURER SPECIFICATIONS BEFORE ORDERING OR INSTALLING PARTS.



\*SIZE BREAKERS AND CONDUCTORS BASED ON MANUFACTURER SPECIFICATIONS

PLANS PREPARED FOR:

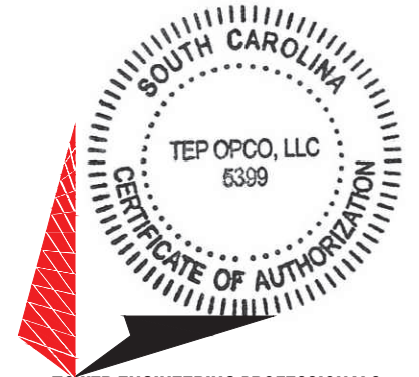


PEAKNET  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

**PEAKNET SITE NAME:  
WESTMINSTER**  
**AT&T SITE #: 016-237**  
**AT&T FA #: 15535664**  
HALL RD  
WESTMINSTER, SC 29693  
(OCONEE COUNTY)

PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
www.tepgroup.net

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SHEET TITLE:

**ONE-LINE  
DIAGRAM**

SHEET NUMBER: REVISION:

**E-2A**

**3**

TEP#: 305012.63 | 2022

**ONE-LINE DIAGRAM**

SCALE: N.T.S.

PROPOSED 100A 120/240V PEAKNET POWER PANEL										
LOAD SERVED	VOLT AMPERES (WATTS)		TRIP	CKT #	PHASE	CKT #	TRIP	VOLT AMPERES (WATTS)		LOAD SERVED
	L1	L2						L1	L2	
TOWER LIGHTS	600*		20*	1	A	2	-	-		SPARE
SPARE		-	-	3	B	4	-	-		SPARE
SPARE	-		-	5	A	6	-	-		SPARE
SPARE		-	-	7	B	8	-	-		SPARE
VOLT AMPS	600	0						-	-	VOLT AMPS
L1 VOLT AMPERES				600	0	L2 VOLT AMPERES				
				600	TOTAL VOLT AMPERES					
				5.0	TOTAL AMPS					
				6.25	AMPS X 125%					
				6.88	X 110% FOR MAIN					

\*BREAKER SIZES & LOADS ARE BASED ON TYPICAL CONFIGURATIONS, CONTRACTOR WILL VERIFY WITH MANUFACTURER SPECIFICATIONS BEFORE ORDERING OR INSTALLING PARTS.

PROPOSED 200A, 120/240VAC AT&T INTERSECT PANEL										
LOAD SERVED	VOLT AMPERES (WATTS)		TRIP	CKT #	PHASE	CKT #	TRIP	VOLT AMPERES (WATTS)		LOAD SERVED
	L1	L2						L1	L2	
EMERSON 521	9600		100A	1	A	2	20A	180		GFCI OUTLET
		9600		3	B	4	15A		1440	BATTERY COMPARTMENT HEATER MATS
-	-		-	5	A	6	20A	1220		GEN. BATTERY CHARGER
-			-	7	B	8	20A		1000	GEN. BLOCK HEATER
-			-	9	A	10	-	-		-
-			-	11	B	12	-	-		-
-			-	13	A	14	-	-		-
-			-	15	B	16	-	-		-
-			-	17	A	18	-	-		-
-			-	19	B	20	-	-		-
-			-	21	A	22	-	-		-
-			-	23	B	24	-	-		-
-			-	25	A	26	-	-		-
-			-	27	B	28	-	-		-
-			-	29	A	30	-	-		-
VOLT AMPS	9600	9600						1400	2440	VOLT AMPS
L1 VOLT AMPERES				11000	12040	L2 VOLT AMPERES				
L1 AMPS				91.7	100.3	L2 AMPS				
				100.3	MAX AMPS					
				125.4	AMPS X 125%					

**PANEL SCHEDULES**  
SCALE: N.T.S.

PLANS PREPARED FOR:  
**PeakNet**  
PEAKNET  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702


PROJECT INFORMATION:  
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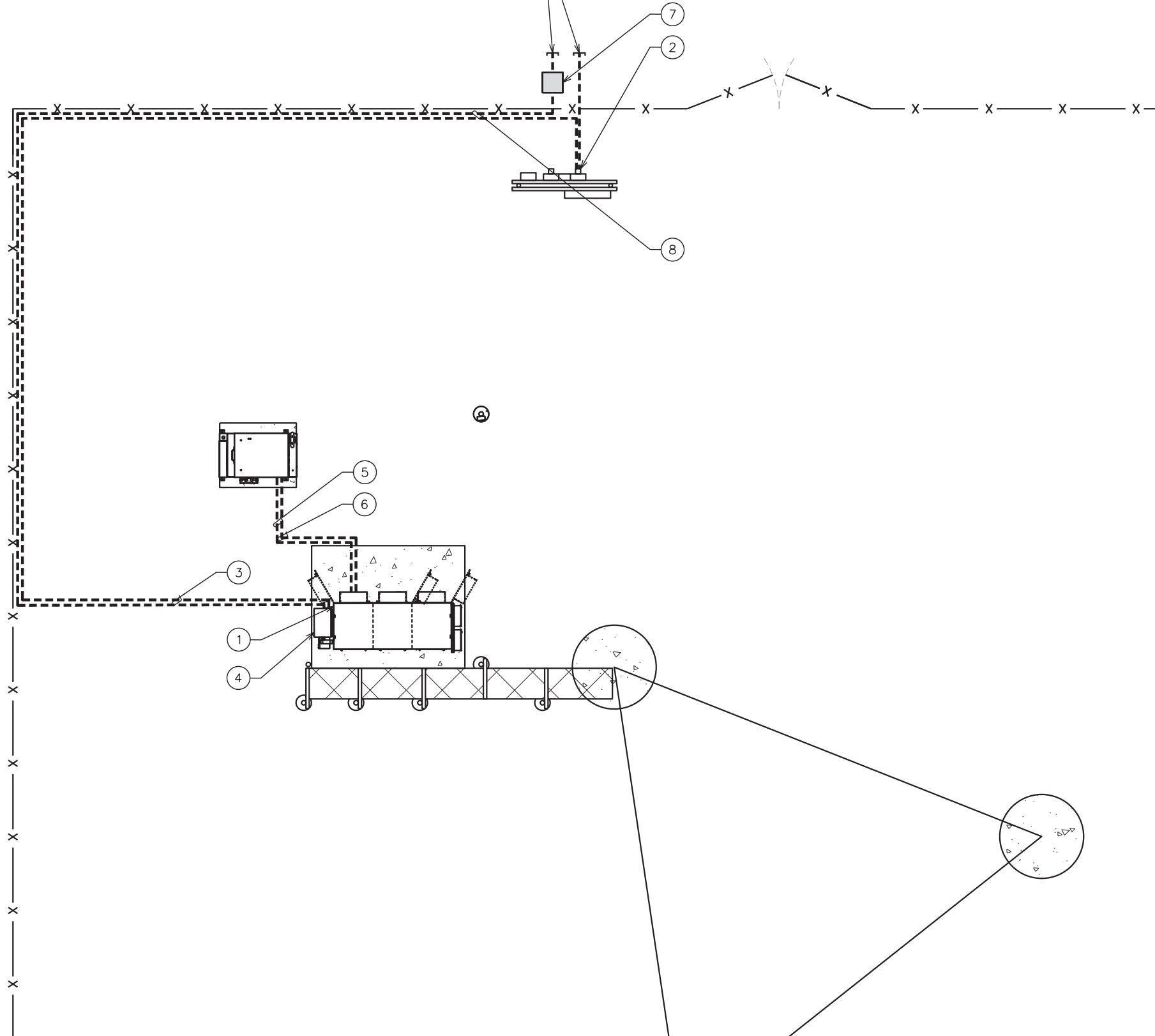
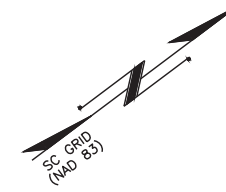
SHEET TITLE:  
**PANEL SCHEDULES**

SHEET NUMBER: **E-2B** REVISION: **3**  
TEP#: 305012.631202

**TRENCHING NOTES:**

1. PRIOR TO ANY DIGGING, THE CONTRACTOR SHALL IDENTIFY ALL EXISTING UTILITIES ON SITE.
2. A MINIMUM SEPARATION OF 12" IS REQUIRED BETWEEN THE POWER AND FIBER CONDUITS

CONTRACTOR TO COORDINATE SERVICE WITH LOCAL POWER COMPANY.



**PLAN NOTES:**

- ① PROPOSED AT&T WUC EQUIPMENT CABINET
- ② PROPOSED 200A METER & DISCONNECT
- ③ (1) 2 1/2" POWER CONDUIT FROM METER TO 200A LOAD CENTER
- ④ 200A LOAD CENTER
- ⑤ PROPOSED (2) 1" CONDUIT FOR CAT6
- ⑥ PROPOSED 2" POWER CONDUIT
- ⑦ PROPOSED FIBER MEET-ME POINT. LOCATION IS TO BE ESTABLISHED WITH THE LEC PRIOR TO INSTALLATION
- ⑧ (1) 4" TELCO CONDUIT W/ (3) 1/4" FLEX INTERDUCT & PULL STRING FOR FIBER POWER LEADS STUBBED UP IN FIBER HANDHOLE. CONTRACTOR TO COORDINATE SERVICE WITH LOCAL TELEPHONE COMPANY.

PLANS PREPARED FOR:

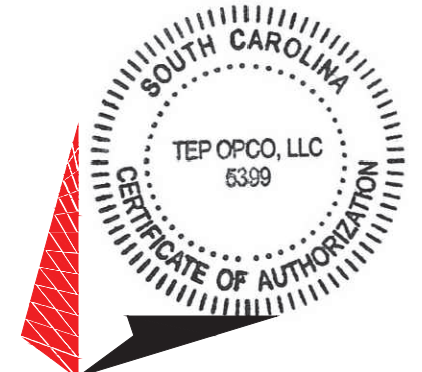


PEAKNET  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

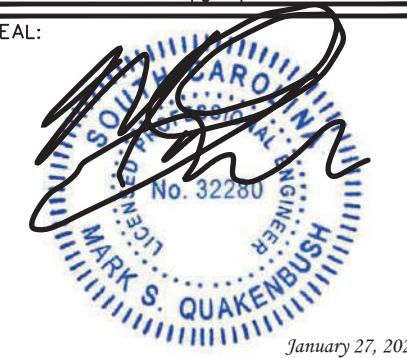
**PEAKNET SITE NAME:**  
**WESTMINSTER**  
**AT&T SITE #: 016-237**  
**AT&T FA #: 15535664**  
HALL RD  
WESTMINSTER, SC 29693  
(OCONEE COUNTY)

PLANS PREPARED BY:



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SHEET TITLE:

**SERVICE ROUTING PLAN**

SHEET NUMBER: REVISION:

**E-3**

**3**

TEP#: 305012.631202

**SERVICE ROUTING PLAN**

SCALE: 3/16" = 1'-0"





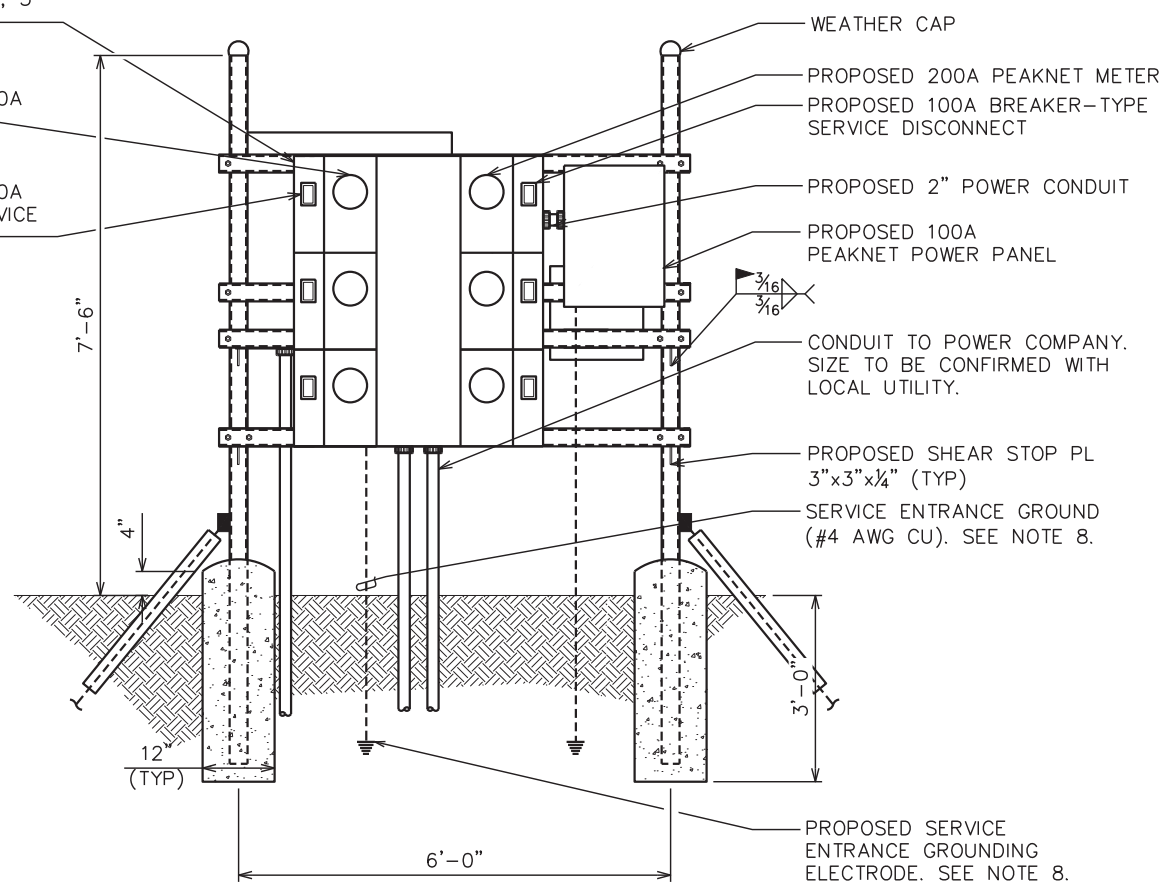
**NOTES:**

- ① WATT-HOUR SOCKETS/SERVICE DISCONNECT MEANS. UTILITY COMPANY TO PROVIDE METERS. PROVIDE IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS.
- ② ALL NEW STRUCTURAL STEEL SHALL BE HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM A123 G90 AFTER FABRICATION.
- ③ FIELD ABRASIONS SHALL BE TOUCH UP PAINTED WITH ZINC RICH GALVANIZING REPAIR IN ACCORDANCE WITH ASTM A780.
- ④ ALL EXPOSED ENDS OF CONDUIT SHALL HAVE WEATHERPROOF CAPS.
- ⑤ PROVIDE 200LB. TEST PULL WIRES IN EACH TELEPHONE AND POWER CONDUIT. STUB CONDUITS INTO ENCLOSURE AND LABEL.
- ⑥ THE POWER COMPANY SHALL TERMINATE THE POWER CABLES (SUPPLIED AND INSTALLED BY THE POWER COMPANY) AT THE UTILITY METERS LOCATED ON THE EQUIPMENT RACK.
- ⑦ CONTRACTOR TO VERIFY RACK DIMENSIONS AND STRUT SPACING RELATIVE TO METER BASE MODEL NUMBER.
- ⑧ GROUNDING ELECTRODE CONDUCTOR IS SIZED FOR SINGLE 100A SERVICE ONLY. IF METER BANK SHARES A COMMON NEUTRAL/GROUND POINT, CONTRACTOR WILL INSTALL (1) 3/0 COPPER GEC INSTEAD.

PROPOSED 6-GANG METER RACK. 120/240V, 1Ø, 3 WIRE.

PROPOSED AT&T 200A METER

PROPOSED AT&T 200A BREAKER-TYPE SERVICE DISCONNECT



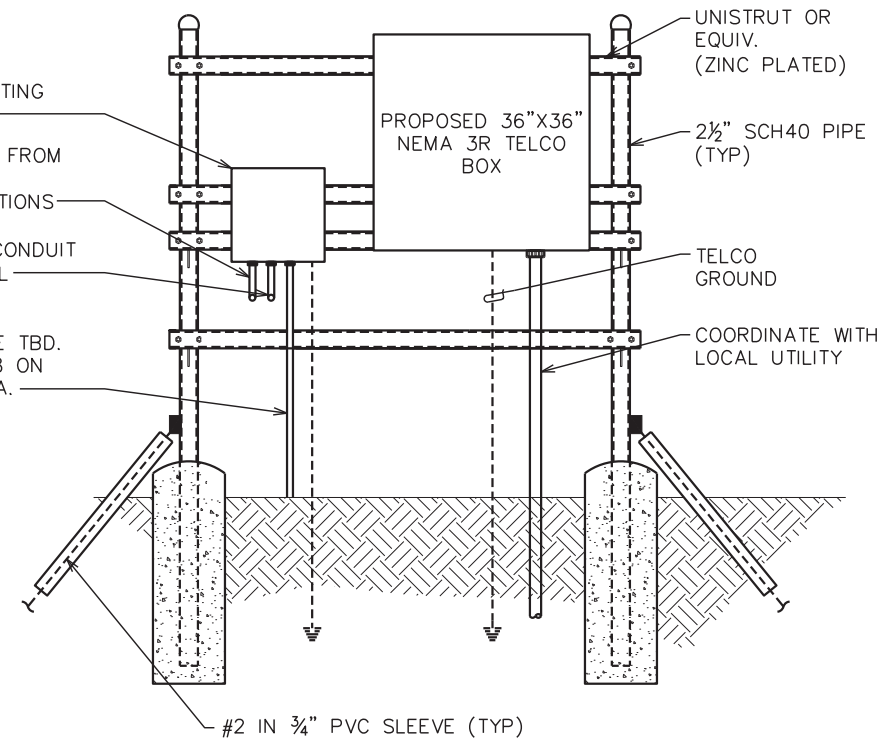
**SERVICE RACK - FRONT**

TOWER LIGHTING CONTROL

1" CONDUIT FROM PANEL FOR COMMUNICATIONS

1" POWER CONDUIT FROM PANEL

CONDUIT TO TOWER. SIZE TBD. SEE NOTE 8 ON SHEET E-2A.



**SERVICE RACK - REAR**

PLANS PREPARED FOR:

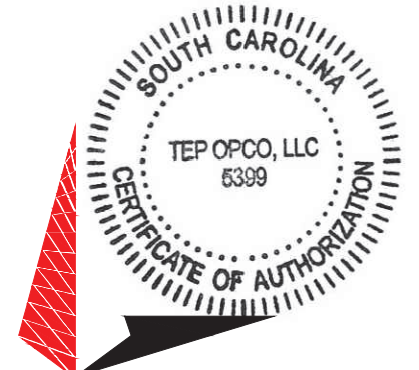


PEAKNET  
9887 FOURTH STREET NORTH, SUITE 100  
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PROJECT INFORMATION:

**PEAKNET SITE NAME:**  
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SHEET TITLE:

**SERVICE RACK  
DETAILS**

SHEET NUMBER:

**E-4**

REVISION:

**3**

TEP#: 305012.63 | 2022

**SERVICE RACK DETAIL**

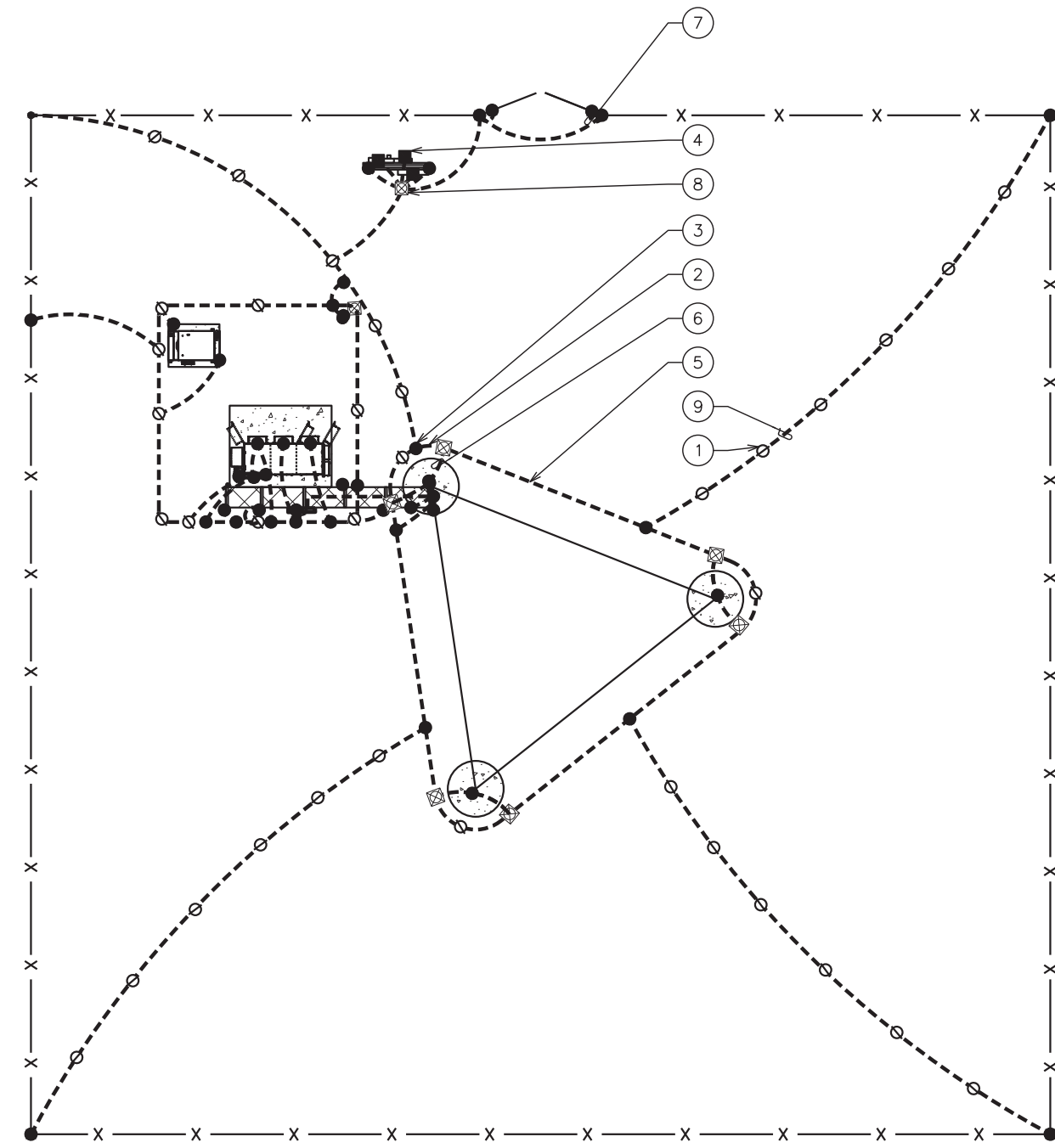
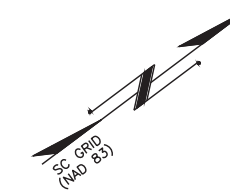
SCALE: N.T.S.

**GROUNDING NOTES:**

1. CONTRACTOR SHALL VERIFY THAT GROUNDING ELECTRODES SHALL BE CONNECTED IN A RING USING #2 AWG BARE TINNED COPPER WIRE. THE TOP OF THE GROUND RODS AND THE RING CONDUCTOR SHALL BE 30 INCHES BELOW FINISHED GRADE. GROUNDING ELECTRODES SHALL BE DRIVEN ON 10'-0" CENTERS (PROVIDE AND INSTALL AS REQUIRED. REQUIRED PER PLAN BELOW).
2. BONDING OF THE GROUNDED CONDUCTOR (NEUTRAL) AND THE GROUNDING CONDUCTOR SHALL BE AT THE SERVICE DISCONNECTING MEANS. BONDING JUMPER SHALL BE INSTALLED PER N.E.C. ARTICLE 250.30.
3. GROUND RING CONNECTION CONDUCTORS SHALL BE OF EQUAL LENGTH, MATERIAL, AND BONDING TECHNIQUE.
4. CONTRACTOR SHALL ENSURE GROUND RING IS WITHIN 12 TO 36 INCHES OF THE EQUIPMENT PAD, FENCE, OR TOWER FOUNDATION. PROVIDE AND INSTALL GROUNDING CONNECTIONS SHOWN BELOW AS NEEDED PER EXISTING SITE GROUNDING SYSTEM. CONTRACTOR SHALL VERIFY EXISTING SITE GROUNDING CONDITIONS BEFORE STARTING WORK OR PURCHASING EQUIPMENT.
5. BOND GROUND BAR TO EXTERNAL GROUND RING WITH 1 RUN OF #2 BARE, TINNED, SOLID COPPER CONDUCTOR IN PVC. CONNECT BAR END WITH 2 HOLE LUG, AND "CADWELD" THE OTHER END TO THE EXTERNAL GROUND ROD.
6. ALL DOWN CONDUCTORS MUST GO DOWN.
7. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER WHEN THE GROUNDING SYSTEM IS COMPLETE. THE CONSTRUCTION MANAGER SHALL INSPECT THE GROUNDING SYSTEM PRIOR TO BACKFILLING.

**DRAWING NOTES:**

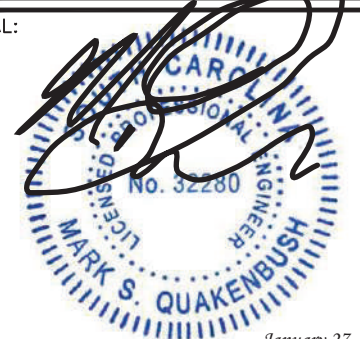
- 1 GROUND ROD 5/8"x10' LONG (TYP)
- 2 GROUND ROD WITH INSPECTION WELL (TYP)
- 3 CADWELD (TYP)
- 4 2-HOLE LUG MECHANICAL CONNECTION (TYP)
- 5 PROPOSED TOWER GROUND RING
- 6 GROUND LEAD FROM TOWER TO TOWER GROUND RING (TYP)
- 7 GATE POST GROUNDING (TYP)
- 8 PROPOSED SERVICE ENTRANCE GROUNDING ELECTRODE
- 9 #2 GROUND LEAD FROM TOWER GROUND RING TO FENCE POST (TYP)



PLANS PREPARED FOR:  
**PeakNet**  
 PEAKNET  
 9887 FOURTH STREET NORTH, SUITE 100  
 ST. PETERSBURG, FL 33702

PROJECT INFORMATION:  
**PEAKNET SITE NAME:  
 WESTMINSTER**  
**AT&T SITE #: 016-237**  
**AT&T FA #: 15535664**  
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 WESTMINSTER, SC 29693  
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PLANS PREPARED BY:  
  
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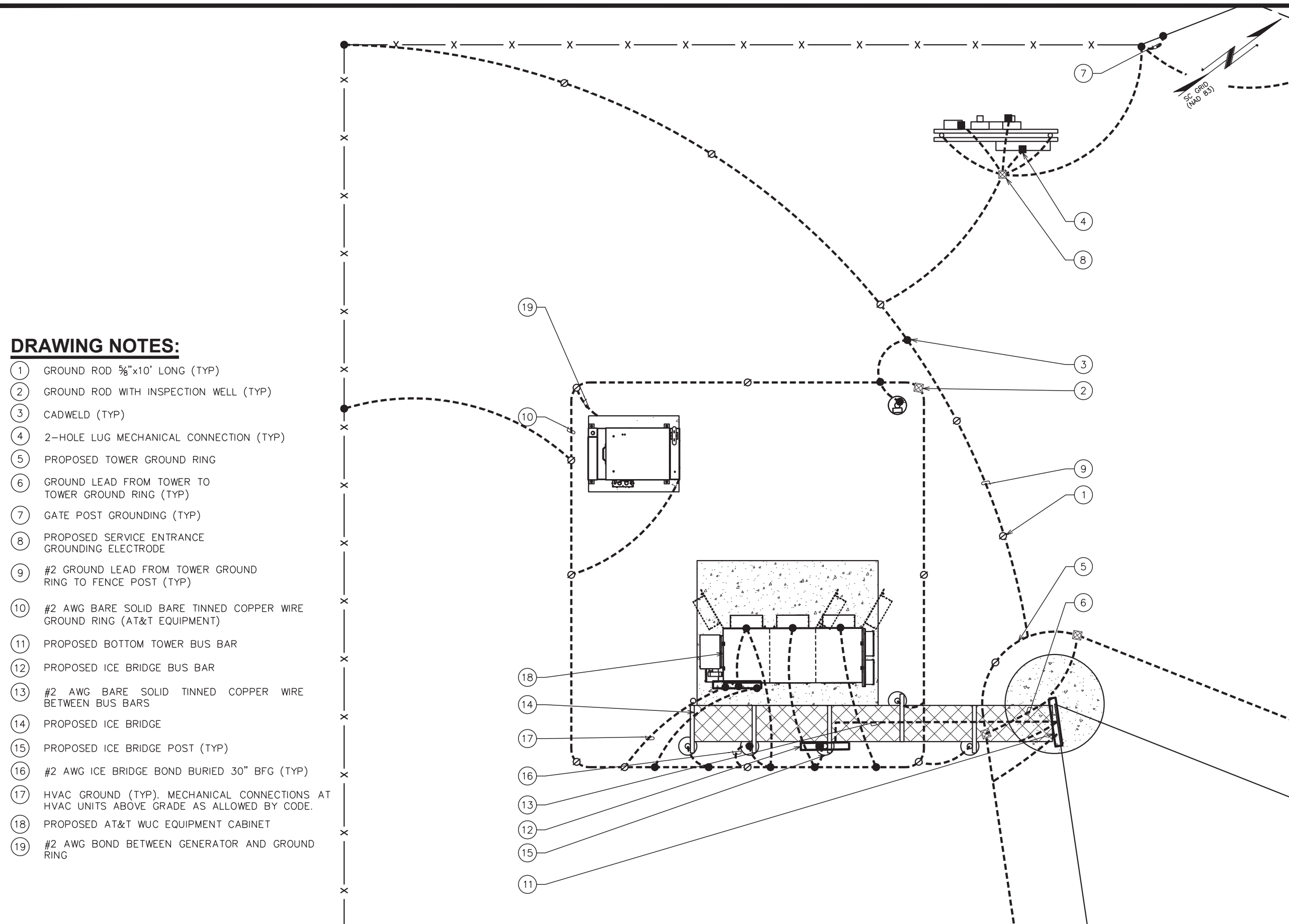
SHEET TITLE:  
**GROUNDING PLAN I**

SHEET NUMBER: **E-5A** REVISION: **3**  
 TEP#: 305012.63 | 2022

**TOWER GROUNDING PLAN**

SCALE: 1/16" = 1'-0"





**DRAWING NOTES:**

- ① GROUND ROD 5/8"x10' LONG (TYP)
- ② GROUND ROD WITH INSPECTION WELL (TYP)
- ③ CADWELD (TYP)
- ④ 2-HOLE LUG MECHANICAL CONNECTION (TYP)
- ⑤ PROPOSED TOWER GROUND RING
- ⑥ GROUND LEAD FROM TOWER TO TOWER GROUND RING (TYP)
- ⑦ GATE POST GROUNDING (TYP)
- ⑧ PROPOSED SERVICE ENTRANCE GROUNDING ELECTRODE
- ⑨ #2 GROUND LEAD FROM TOWER GROUND RING TO FENCE POST (TYP)
- ⑩ #2 AWG BARE SOLID BARE TINNED COPPER WIRE GROUND RING (AT&T EQUIPMENT)
- ⑪ PROPOSED BOTTOM TOWER BUS BAR
- ⑫ PROPOSED ICE BRIDGE BUS BAR
- ⑬ #2 AWG BARE SOLID TINNED COPPER WIRE BETWEEN BUS BARS
- ⑭ PROPOSED ICE BRIDGE
- ⑮ PROPOSED ICE BRIDGE POST (TYP)
- ⑯ #2 AWG ICE BRIDGE BOND BURIED 30" BFG (TYP)
- ⑰ HVAC GROUND (TYP). MECHANICAL CONNECTIONS AT HVAC UNITS ABOVE GRADE AS ALLOWED BY CODE.
- ⑱ PROPOSED AT&T WUC EQUIPMENT CABINET
- ⑲ #2 AWG BOND BETWEEN GENERATOR AND GROUND RING

**TOWER GROUNDING PLAN**

SCALE: 3/16" = 1'-0"



PLANS PREPARED FOR:  
**PeakNet**  
 PEAKNET  
 9887 FOURTH STREET NORTH, SUITE 100  
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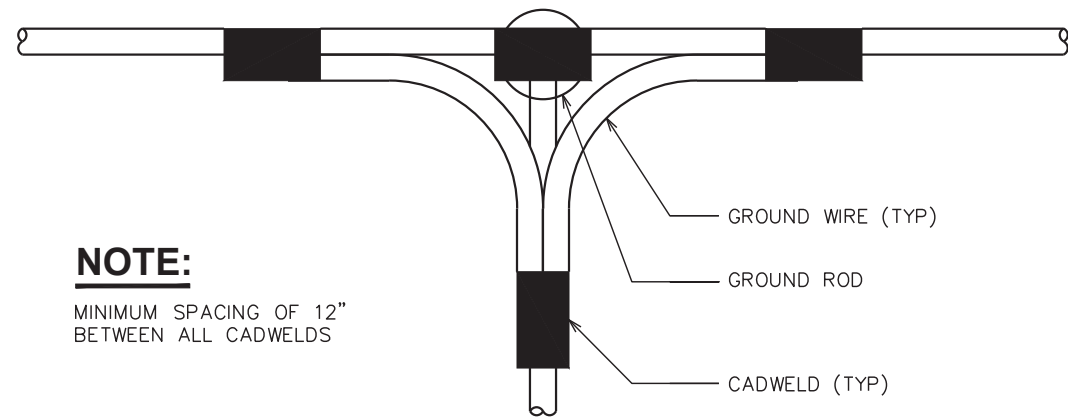
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SHEET TITLE:  
**GROUNDING PLAN II**

SHEET NUMBER: **E-5B** REVISION: **3**  
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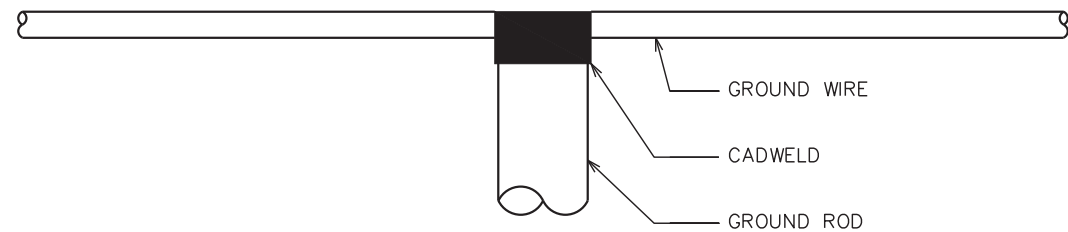




**NOTE:**

MINIMUM SPACING OF 12" BETWEEN ALL CADWELDS

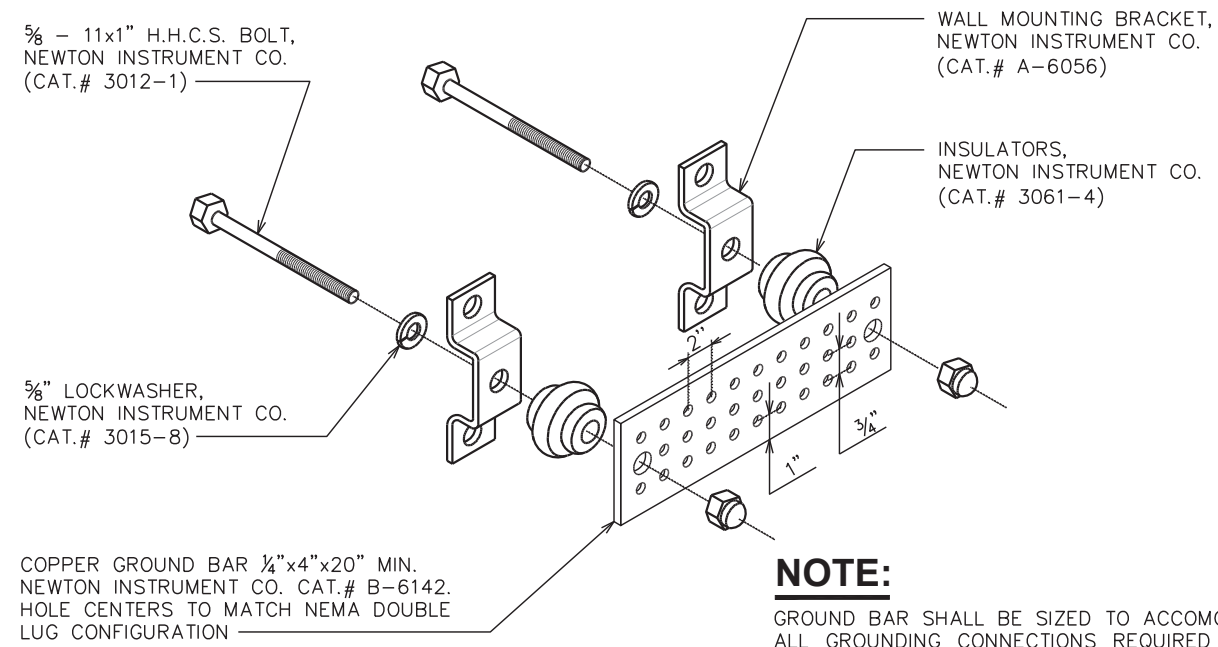
**TOP VIEW**



**SIDE VIEW**

**CADWELD GROUNDING DETAIL**

SCALE: N.T.S.

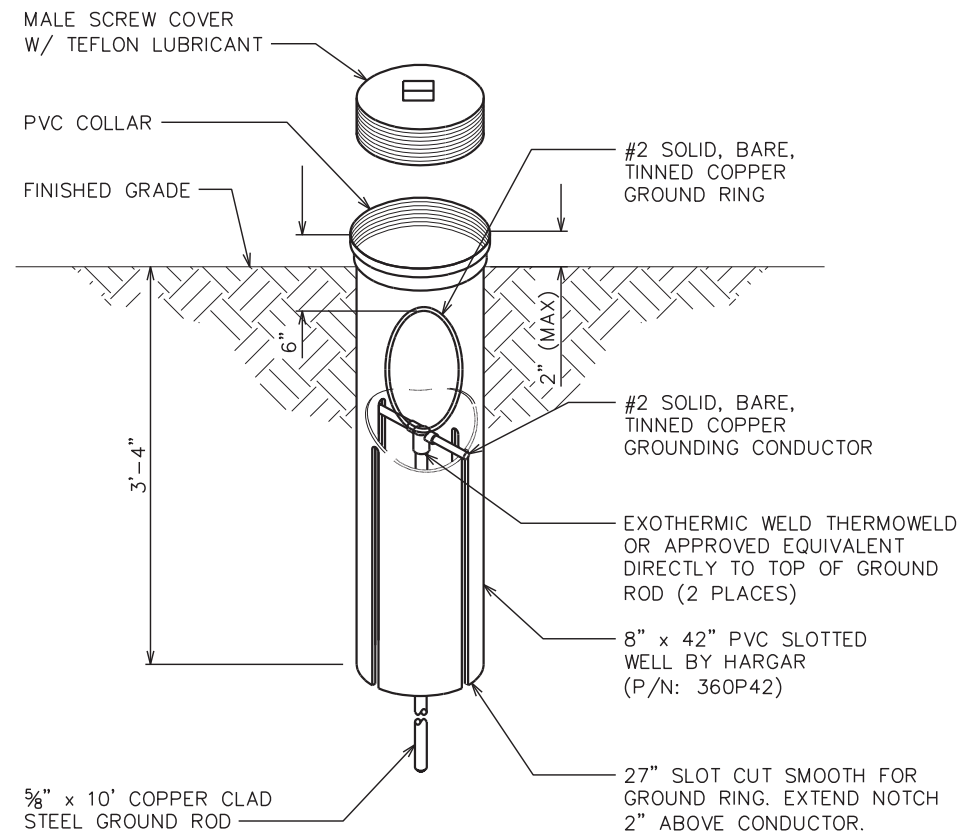


**NOTE:**

GROUND BAR SHALL BE SIZED TO ACCOMMODATE ALL GROUNDING CONNECTIONS REQUIRED PLUS PROVIDE 50% SPARE CAPACITY

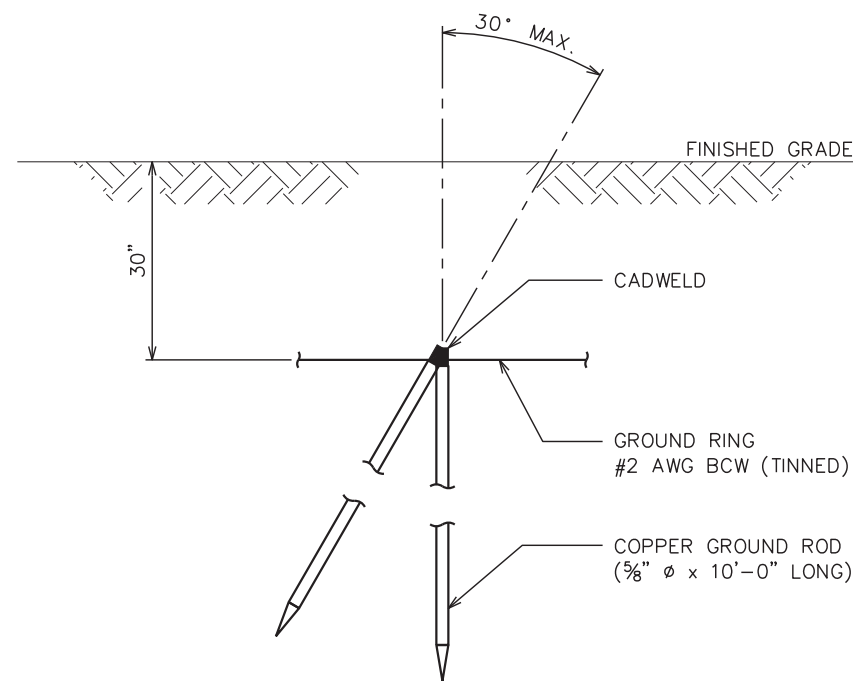
**STANDARD GROUND BAR DETAIL**

SCALE: N.T.S.



**GROUND ROD WITH INSPECTION WELL DETAIL**

SCALE: N.T.S.



**COPPER-CLAD STEEL GROUND ROD DETAIL**

SCALE: N.T.S.

PLANS PREPARED FOR:

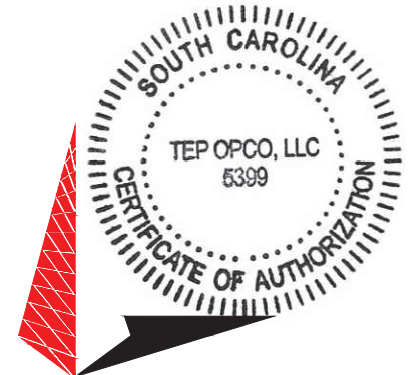


PEAKNET  
9887 FOURTH STREET NORTH, SUITE 100  
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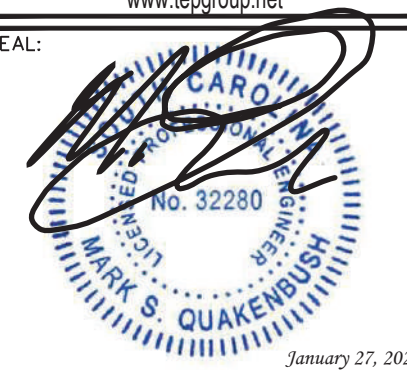
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SHEET TITLE:

**GROUNDING DETAILS I**

SHEET NUMBER: REVISION:

**E-6**

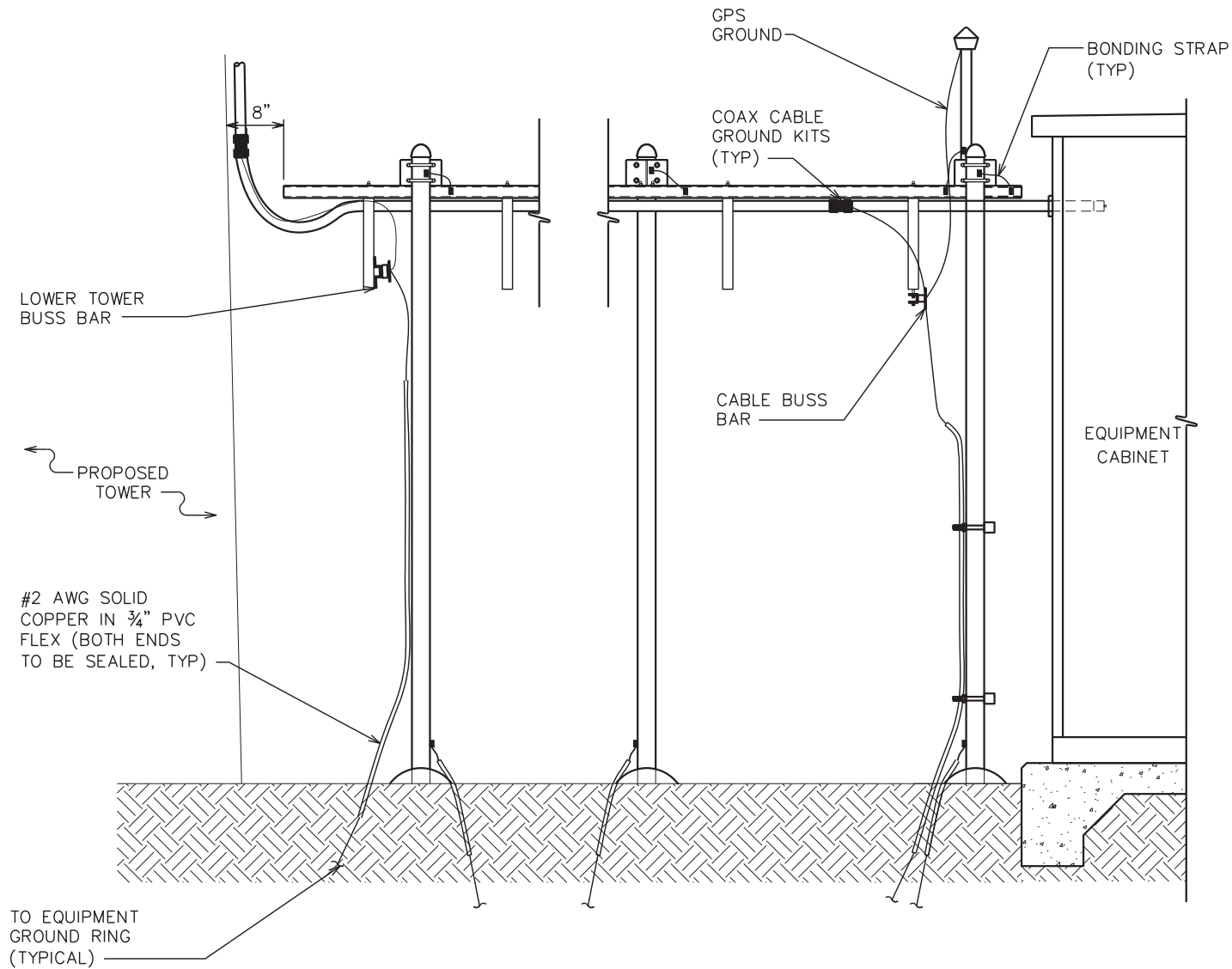
**3**

TEP#: 305012.63 | 202



### GROUNDING NOTES:

1. CONTRACTOR TO ENSURE ALL EQUIPMENT IS BONDED TO SECTOR GROUND BAR.
2. CONTRACTOR TO INSTALL ADDITIONAL GROUND BAR(S) AS NEEDED.
3. CONTRACTOR TO REFERENCE AT&T BONDING & GROUND PRACTICE TP76416 FOR FURTHER DETAILS.
4. (2) GROUND LEADS FROM BOTH BOTTOM TOWER GROUND BAR AND ICE BRIDGE GROUND BAR

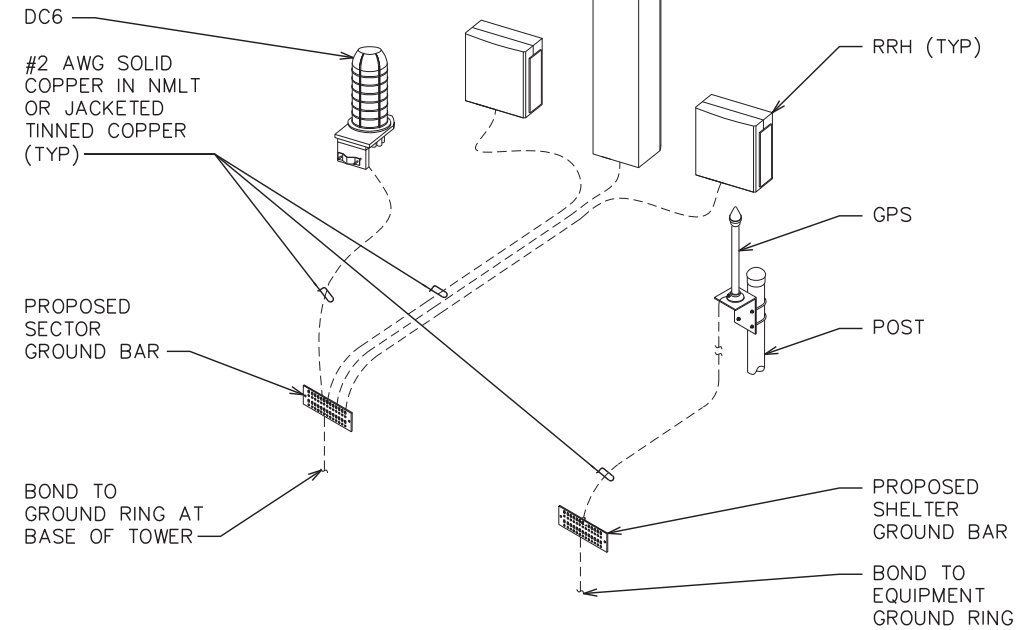


### TYPICAL GROUND EQUIPMENT GROUNDING ELEVATION

SCALE: N.T.S.

### GROUNDING NOTES:

1. CONTRACTOR TO PROVIDE WEATHER PROOFING AND GROUNDING KIT TO BOND DC POWER CABLE SHIELD TO SHELTER GROUND BAR
2. CONTRACTOR TO PROVIDE GROUND CONNECTION FOR DC POWER CABLE SHIELD TO 'P' SECTION OF CRGB WITHIN SHELTER.

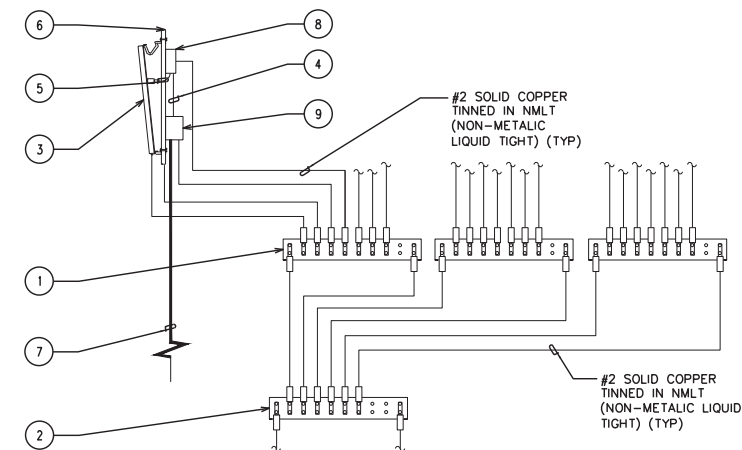


### TYPICAL ANTENNA/EQUIPMENT GROUNDING DETAIL

SCALE: N.T.S.

### GROUNDING NOTE LEGEND:

1. SECTOR GROUND BAR (TYP).
2. COLLECTOR GROUND BAR.
3. ANTENNA.
4. SINGLE PAIR FIBER & DC POWER
5. JUMPER CABLE, 1/2" (TYP).
6. PIPE MOUNT.
7. DC POWER & FIBER TO RAYCAP UNIT
8. REMOTE RADIO HEAD (RRH) (IF APPLICABLE)
9. DC6 RAYCAP SURGE SUPPRESSOR (IF APPLICABLE)



1. UTILIZE EXISTING AT&T GROUND BARS AND GROUNDING.
2. ADD GROUND BARS IF THERE ARE INSUFFICIENT LUG POSITIONS.
3. REFERENCE AT&T BONDING & GROUNDING PRACTICE TP76416.

### TYPICAL ANTENNA GROUNDING SCHEMATIC

SCALE: N.T.S.

PLANS PREPARED FOR:



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ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

**PEAKNET SITE NAME:**  
**WESTMINSTER**  
**AT&T SITE #: 016-237**  
**AT&T FA #: 15535664**  
HALL RD  
WESTMINSTER, SC 29693  
(OCONEE COUNTY)

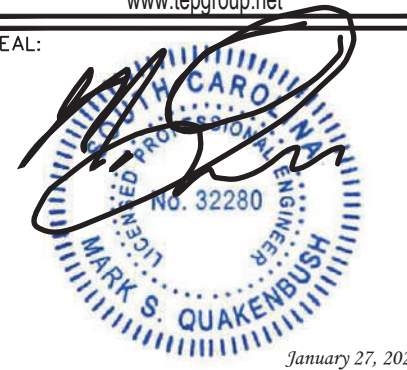
PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**

326 TRYON ROAD  
RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
www.tepgroup.net

SEAL:



REV	DATE	ISSUED FOR:
3	01-27-22	CONSTRUCTION
2	01-12-22	PRELIMINARY
1	12-17-21	PRELIMINARY
0	12-15-21	PRELIMINARY

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

### GROUNDING DETAILS II

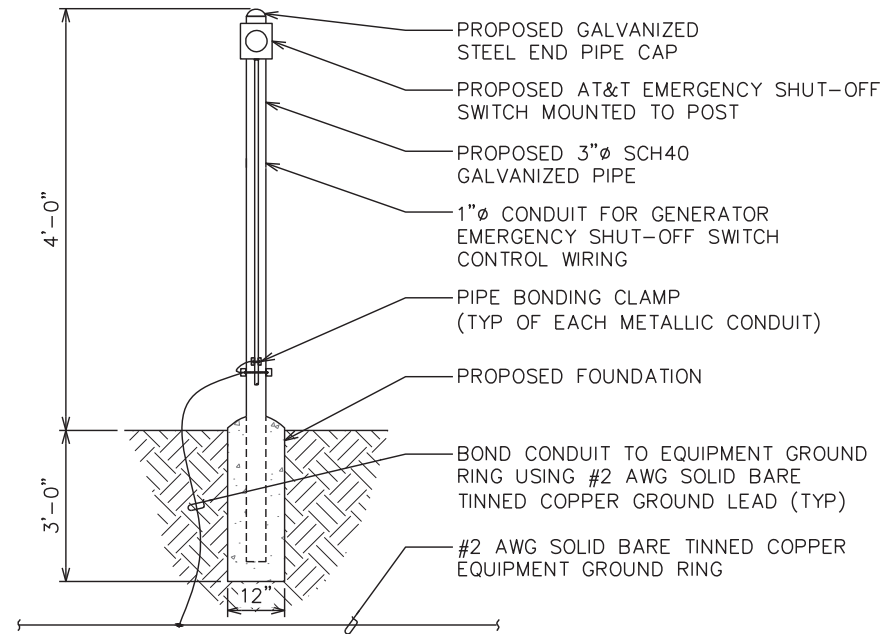
SHEET NUMBER:

**E-7**

REVISION:

**3**

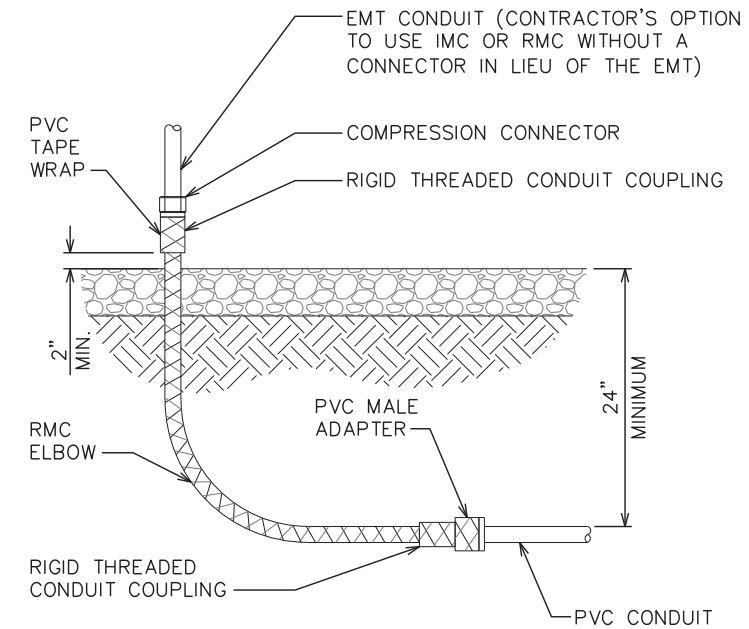
TEP#: 305012.63 | 2022



**EMERGENCY SWITCH MOUNTING DETAIL**

SCALE: N.T.S.

**NOTE:**  
 ALL METAL CONDUIT INSTALLED IN DIRECT CONTACT WITH THE EARTH SHALL BE CONSIDERED TO BE INSTALLED IN A SEVERELY CORROSIVE ENVIRONMENT AND IS REQUIRED TO HAVE SUPPLEMENTAL PROTECTION AGAINST CORROSION (NEC ARTICLE 342.10(B) & 344.10(B)(1)). THIS PROTECTION SHALL EITHER BE AN APPROVED MANUFACTURER INSTALLED PROTECTIVE COATING ON THE CONDUIT OR SHALL BE (2) LAYERS OF 10 MIL PVC PIPE WRAP TAPE INSTALLED USING OPPOSING SPIRAL WRAPS. ON VERTICAL PIPE THE OUTSIDE LAYER OF TAPE SHALL BE WRAPPED SO AS TO PROVIDE SHEDDING OF WATER (I.E.. TAPE SHOULD WRAP IN AN UPWARD DIRECTION WITH LOWER WRAP BEING BENEATH THE WRAP ABOVE). SPIRAL WRAPS SHALL HAVE A MINIMUM OF 1/4" OVERLAP WITH THE PRECEDING TAPE WRAP. ANY OTHER METHODS OF CORROSION PROTECTION SHALL REQUIRE APPROVAL BY THE ENGINEER OF RECORD PRIOR TO BEING USED.

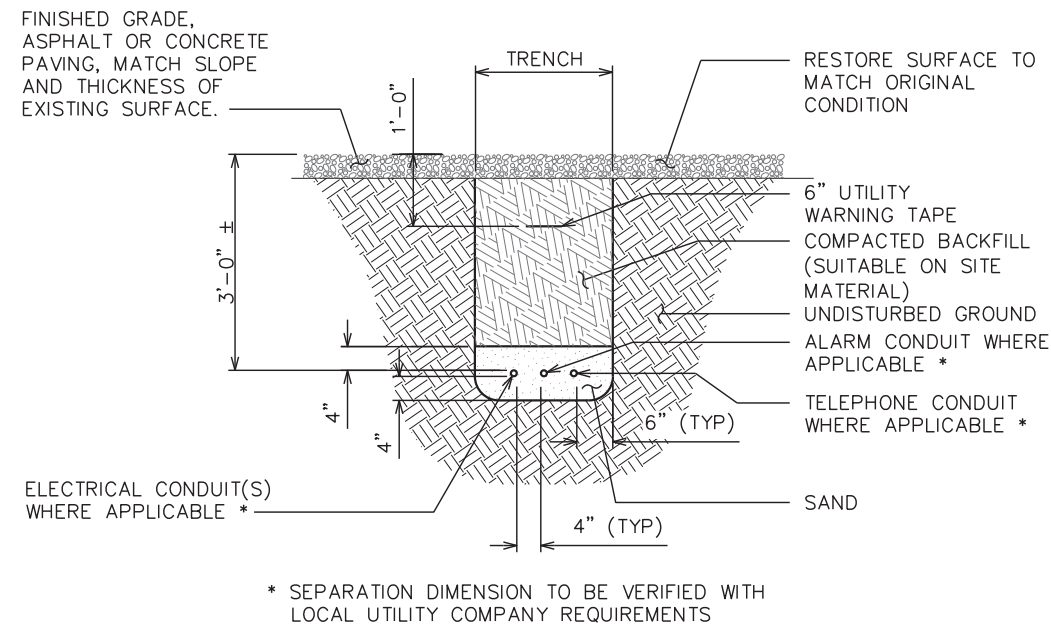


**UNDERGROUND CONDUIT STUB UP DETAIL**

SCALE: N.T.S.

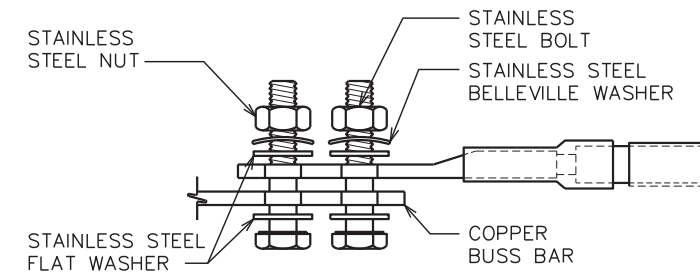
**TRENCHING NOTES:**

1. ACTUAL SEPARATION OF CONDUITS TO BE DETERMINED BY SITE SPECIFIC REQUIREMENTS.
2. UNDERGROUND CONDUIT TRENCH TO BE LOCATED AS CLOSE TO COMPOUND FENCE AS POSSIBLE WITHOUT COMPROMISING THE INTEGRITY OF THE FENCE.
3. PROVIDE PVC CONDUIT BELOW GRADE EXCEPT AS NOTED BELOW.
4. PROVIDED RGS CONDUIT AND ELBOWS AT STUB-UP LOCATIONS (I.E. SERVICE POLES, EQUIPMENT, ETC.)
5. PROVIDE RGS CONDUIT FOR INSTALLATIONS BELOW PARKING LOTS AND ROADWAYS.



**UNDERGROUND CONDUIT(S) TRENCHING DETAIL**

SCALE: N.T.S.



**NOTES:**

1. ALL HARDWARE SHALL BE 18-8 STAINLESS STEEL, INCLUDING THE BELLEVILLE WASHERS. COAT ALL SURFACES WITH KOPR-SHIELD BEFORE MATING.
2. FOR GROUND BOND TO STEEL ONLY: INSERT A DRAGON TOOTH WASHER BETWEEN THE LUG AND STEEL. COAT ALL SURFACES WITH KOPR-SHIELD.

**LUG DETAILS**

SCALE: N.T.S.

PLANS PREPARED FOR:

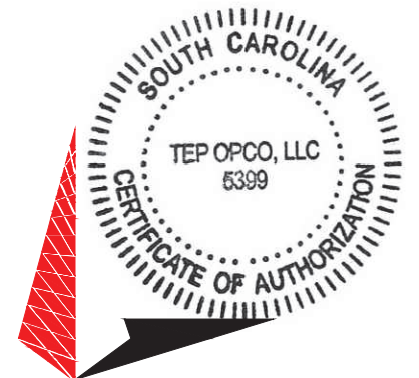


PEAKNET  
 9887 FOURTH STREET NORTH, SUITE 100  
 ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

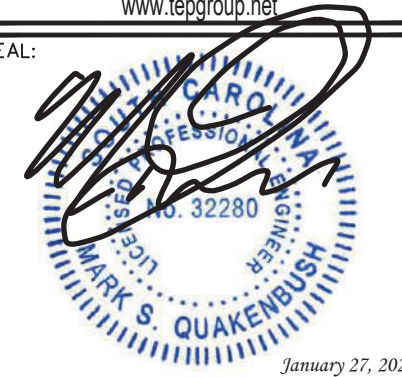
**PEAKNET SITE NAME:**  
**WESTMINSTER**  
**AT&T SITE #: 016-237**  
**AT&T FA #: 15535664**  
 HALL RD  
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SEAL:



3	01-27-22	CONSTRUCTION
2	01-12-22	PRELIMINARY
1	12-17-21	PRELIMINARY
0	12-15-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

**ELECTRICAL  
 DETAILS**

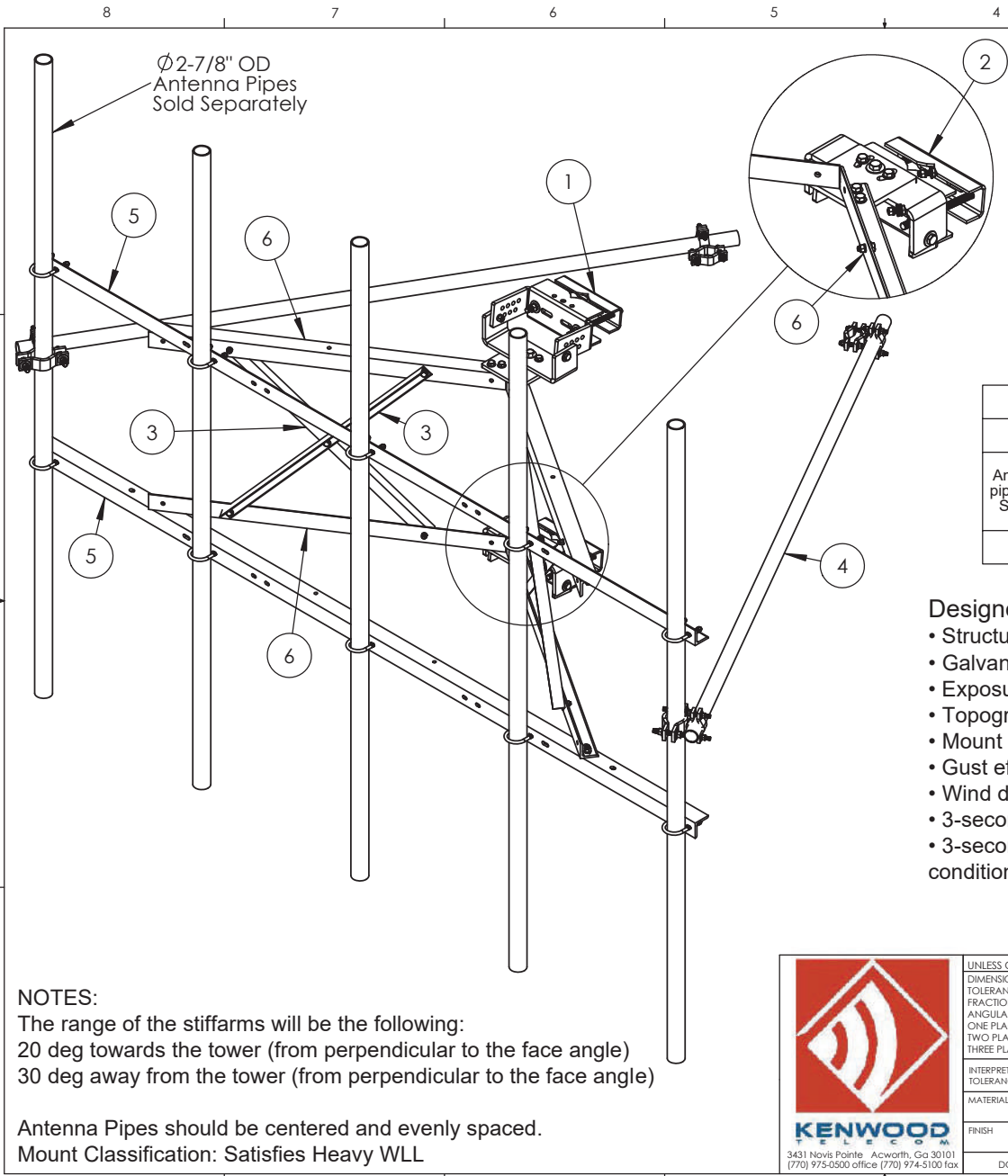
SHEET NUMBER:

**E-8**

REVISION:

**3**

TEP#: 305012.631202



ITEM NO.	PART NUMBER	DESCRIPTION	QTY.
1	K1672KT-T	Top Leg Clamp Kit for T1671 & 72 Sectors	1
2	K1672KT-B	Bottom Leg Clamp Kit - T1671&72 Sectors	1
3	K0030KT4B	Brace Angle, 48" Long	4
4	P1000KT12.5	2-3/8" OD Pipe, 150" Long	2
5	K0072KT12	Face angle, 12.5' (ATT WLL)	2
6	K0082KT	Standoff Angle, 58.75" (ATT WLL)	4
7	K1672KT-HW	Hardware Kit for T1671KT12 & T1672KT12	1

Load Ratings									
Load Rating - Bare Condition for each pipe					Load Rating - Iced Condition for each pipe				
Antenna pipes per Sector	Basic Wind Speed (mph)	(EPA) N (sq ft)	(EPA) T (sq ft)	Factored Weight (lbs)	Basic Wind Speed (mph)	Design Ice Thickness (ti) (in)	(EPA) N (sq ft)	(EPA) T (sq ft)	Factored Weight (lbs)
5	120	17.5	17.5	530	60	1.0	24.0	24.0	1060

Designed in accordance with ANSI/TIA-222-G

- Structure Class II
- Galvanized Steel, A36 minimum grade
- Exposure Category C (Rev G or H)
- Topographic Category 1
- Mount and antenna centerline at 300' AGL (use for gust and height factors)
- Gust effect factor,  $G_h = 1.0$
- Wind direction probability factor,  $K_d = 0.95$
- 3-second gust basic wind speed, 50-year return, for bare conditions as noted in table
- 3-second gust basic wind speed, 50-year return, considered simultaneously for iced conditions as noted in table

EPA of Base Unit
(EPA)N = ~19.00 ft <sup>2</sup>

**NOTES:**  
 The range of the stiffarms will be the following:  
 20 deg towards the tower (from perpendicular to the face angle)  
 30 deg away from the tower (from perpendicular to the face angle)

Antenna Pipes should be centered and evenly spaced.  
 Mount Classification: Satisfies Heavy WLL



UNLESS OTHERWISE SPECIFIED: DIMENSIONS ARE IN INCHES TOLERANCES: FRACTIONAL: ± 1/32 ANGULAR: ± 2° ONE PLACE DECIMAL: ± .06 TWO PLACE DECIMAL: ± .03 THREE PLACE DECIMAL: ± .010	NAME KAR	DATE 4/6/16
INTERPRET GEOMETRIC TOLERANCING PER:	CHECKED	ENG APPR.
MATERIAL	ENG APPR.	MFG APPR.
FINISH	PROPRIETARY AND CONFIDENTIAL	
DO NOT SCALE DRAWING	THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF KENWOOD TELECOM. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF KENWOOD TELECOM IS PROHIBITED.	

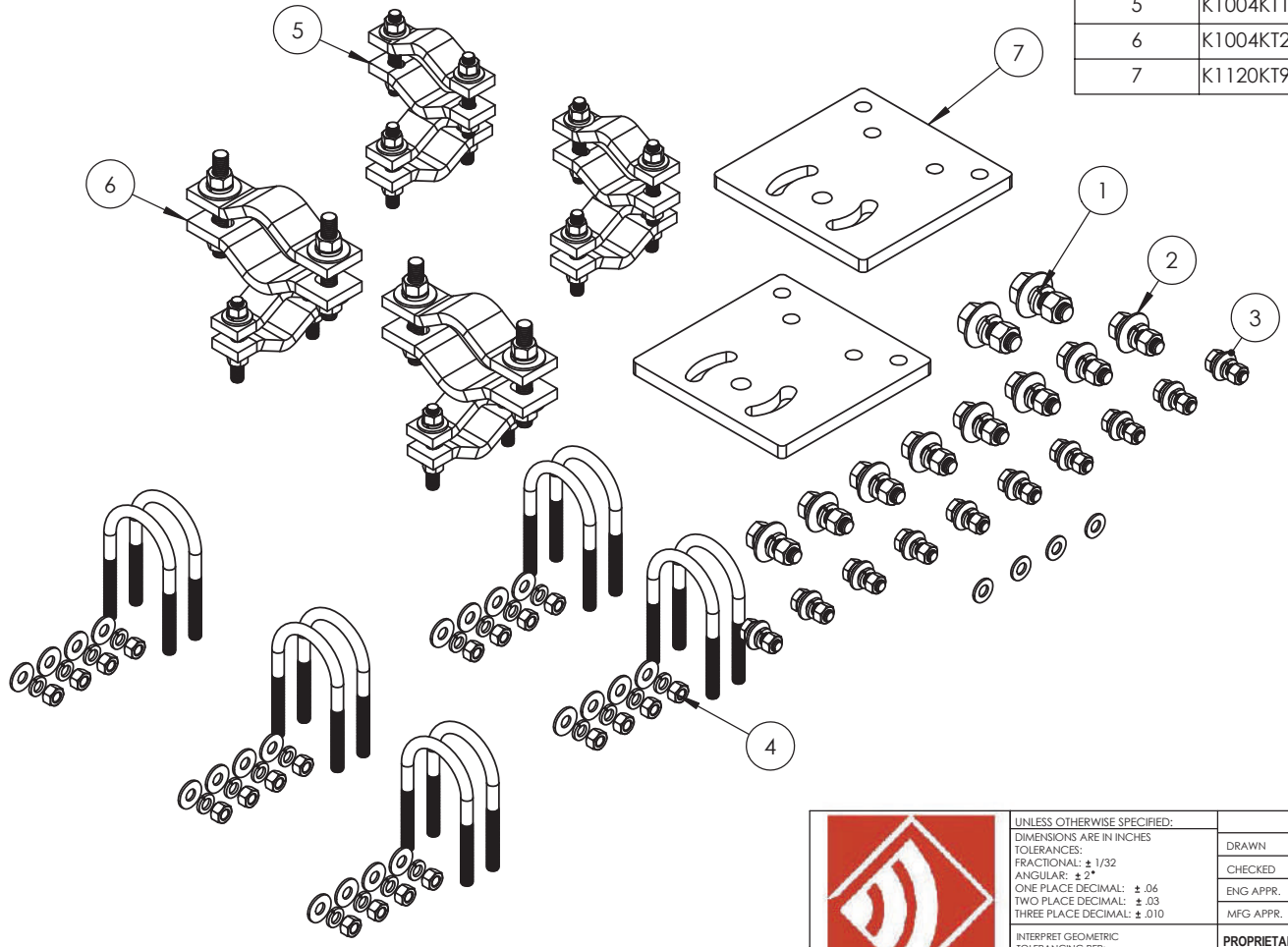
**KENWOOD TELECOM**

TITLE: Sector Frame, 12' Face (WLL) Angle Face

SIZE <b>B</b>	DWG. NO. <b>T1672KT12</b>	REV
SCALE: 1:18 FINISHED WEIGHT: 607.65 lbs		SHEET 1 OF 3



ITEM NO.	PART NUMBER	DESCRIPTION	QTY.
1	K1032KT214-2	A325 3/4"X2-1/4" Bolt Kit (2 ea)	1
2	K1029KT2-8	A325 5/8"X2" Bolt Kit (8 ea)	1
3	K1026KT112	A325 1/2"x1-1/2" Bolt Kit (10 ea)w/ (4) washers	1
4	K7940KT14-2	U-bolt kit, 2-7/8" OD pipe (2-Ubolt)	5
5	K1004KT1	Crossover clamp kit , 2-3/8" x 2-3/8"	2
6	K1004KT2	Crossover clamp kit, 2-3/8" x 5"	2
7	K1120KT9	Pivot Plate (ATT Heavy 10 & WLL)	2



UNLESS OTHERWISE SPECIFIED:  
DIMENSIONS ARE IN INCHES  
TOLERANCES:  
FRACTIONAL: ± 1/32  
ANGULAR: ± 2°  
ONE PLACE DECIMAL: ± .06  
TWO PLACE DECIMAL: ± .03  
THREE PLACE DECIMAL: ± .010

INTERPRET GEOMETRIC  
TOLERANCING PER:

MATERIAL

FINISH

DO NOT SCALE DRAWING

NAME	DATE
DRAWN KAR	5/19/16
CHECKED	
ENG APPR.	
MFG APPR.	

**PROPRIETARY AND CONFIDENTIAL**

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**KENWOOD TELECOM**

TITLE:  
**Sector Frame Hardware Kits  
For Heavy 10 & WLL**

SIZE <b>B</b>	DWG. NO. <b>K1672KT-HW</b>	REV
------------------	-------------------------------	-----

SCALE: 1:5 FINISHED WEIGHT: SHEET 2 OF 3

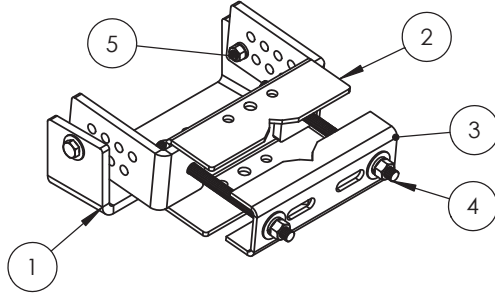


8 7 6 5 4 3 2 1

D

D

K1672KT-T - Top Leg Clamp Kit

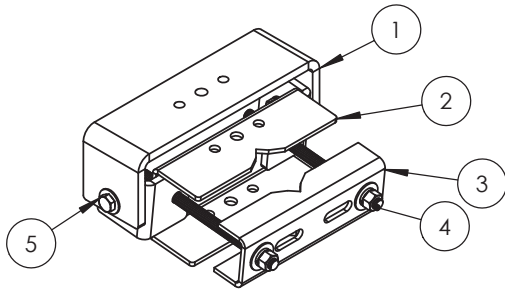


ITEM NO.	PART NUMBER	DESCRIPTION	QTY.
1	K1672KT-02	Taper Adjustment Connector	1
2	K1672KT-01	Leg Channel, Top Clamp (ATT H10 & WLL)	1
3	K1672KT-04	Leg Channel, Inner (ATT Heavys)	1
4	K2320KT18iA	Threaded Rod Kit 3/4" x 18" (4 ea) HDG B7	1
5	K1029KT212-2	A325 5/8"x2-1/2" kit (2 ea)	2

C

C

K1672KT-B - Bottom Leg Clamp Kit





ITEM NO.	PART NUMBER	DESCRIPTION	QTY.
1	K1672KT-02	Taper Adjustment Connector	1
2	K1672KT-03	Leg Channel, Bottom Clamp (ATT Heavys)	1
3	K1672KT-04	Leg Channel, Inner (ATT Heavys)	1
4	K2320KT18iA	Threaded Rod Kit 3/4" x 18" (4 ea) HDG B7	1
5	K1029KT212-2	A325 5/8"x2-1/2" kit (2 ea)	2

B

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 <p><b>KENWOOD TELECOM</b> 3431 Novis Pointe Acworth, Ga 30101 (770) 975-0500 office (770) 974-5100 fax</p>	UNLESS OTHERWISE SPECIFIED: DIMENSIONS ARE IN INCHES TOLERANCES: FRACTIONAL: ± 1/32 ANGULAR: ± 2° ONE PLACE DECIMAL: ± .06 TWO PLACE DECIMAL: ± .03 THREE PLACE DECIMAL: ± .010	NAME: _____ DATE: _____ DRAWN: KAR 5/19/16 CHECKED: _____ ENG APPR.: _____ MFG APPR.: _____	 <p><b>KENWOOD TELECOM</b></p>	
	INTERPRET GEOMETRIC TOLERANCING PER: _____	PROPRIETARY AND CONFIDENTIAL		TITLE: Sector Frame Leg Clamp Assemblies for Heavy 10 & WLL
	MATERIAL: _____ FINISH: _____	THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF KENWOOD TELECOM. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF KENWOOD TELECOM IS PROHIBITED.		SIZE: <b>B</b> DWG. NO. K1672KT-T / K1672KT-B REV _____
	DO NOT SCALE DRAWING	SCALE: 1:8 FINISHED WEIGHT: _____		SHEET 3 OF 3

8 7 6 5 4 3 2 1

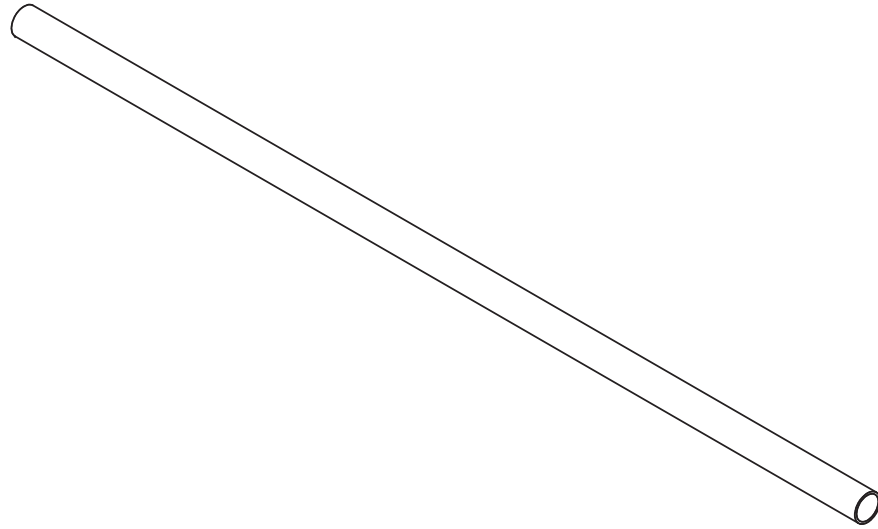
8 7 6 5 4 3 2 1

D

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**2-1/2" Pipe Table**

Part Number	Description
P1090KT10	Pipe, 2-1/2" ID X 2-7/8" OD x10' L
P1090KT10.5	Pipe, 2-1/2" ID X 2-7/8" OD x10.5' L
P1090KT13	Pipe, 2-1/2" ID X 2-7/8" OD x13' L
P1090KT14	Pipe, 2-1/2" ID X 2-7/8" OD x14' L
P1090KT15	Pipe, 2-1/2" ID X 2-7/8" OD x15' L
P1090KT21	Pipe, 2-1/2" ID X 2-7/8" OD x21' L
P1090KT3	Pipe, 2-1/2" ID X 2-7/8" OD x3' L
P1090KT6	Pipe, 2-1/2" ID X 2-7/8" OD x6' L
P1090KT7	Pipe, 2-1/2" ID X 2-7/8" OD x7' L
P1090KT8	Pipe, 2-1/2" ID X 2-7/8" OD x8' L
P1090KT9	Pipe, 2-1/2" ID X 2-7/8" OD x9' L


D

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8 7 6 5 4 3 2 1



**KENWOOD TELECOM**  
 3431 Navis Pointe, Acworth, GA 30001  
 (800) 399-0900 (770) 474-9100 fax

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		INTERPRET GEOMETRIC TOLERANCING PER:
		MATERIAL: Hot Dipped Galvanized Pipe A123
		FINISH:
NEXT ASSY	USED ON	
APPLICATION		DO NOT SCALE DRAWING

	NAME	DATE
DRAWN	PQ	10/23/14
CHECKED		
ENG APPR.		
MFG APPR.		
Q.A.		
COMMENTS:		

**KENWOOD TELECOM**

TITLE:  
**2-1/2" Galv Pipe**

SIZE <b>B</b>	DWG. NO. <b>P1090KT PIPE</b>	REV
SCALE: 1:20		SHEET 1 OF 1

Notes:

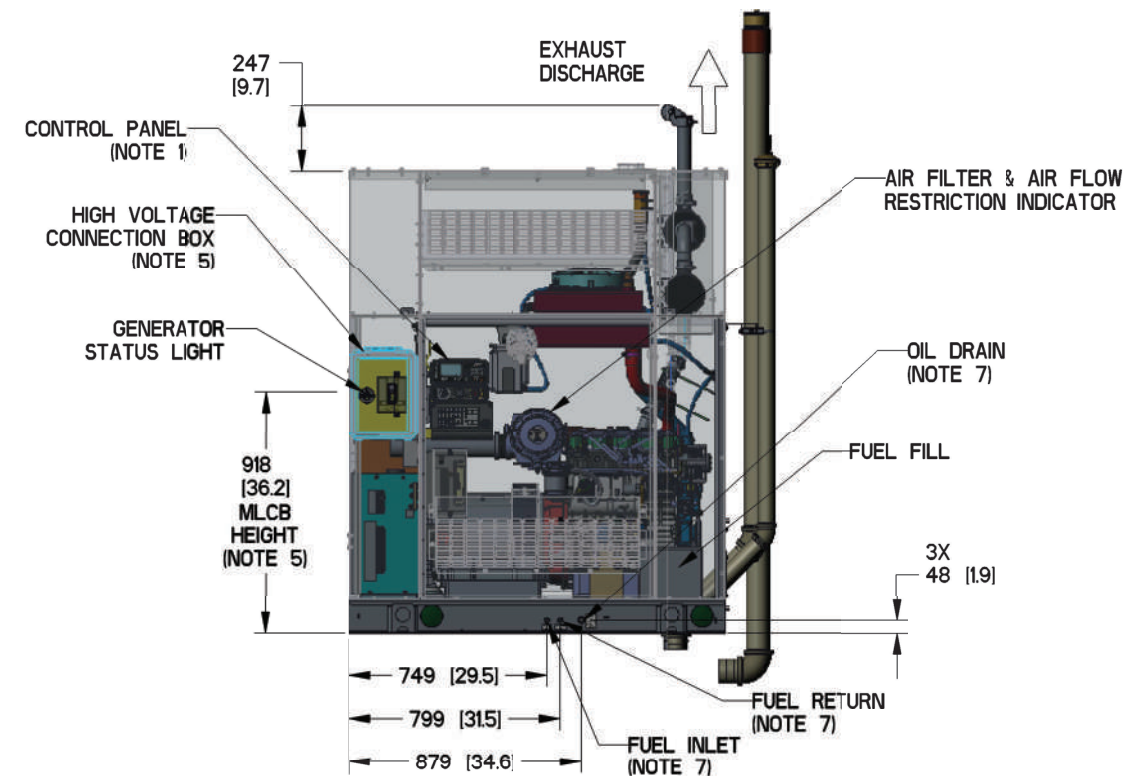
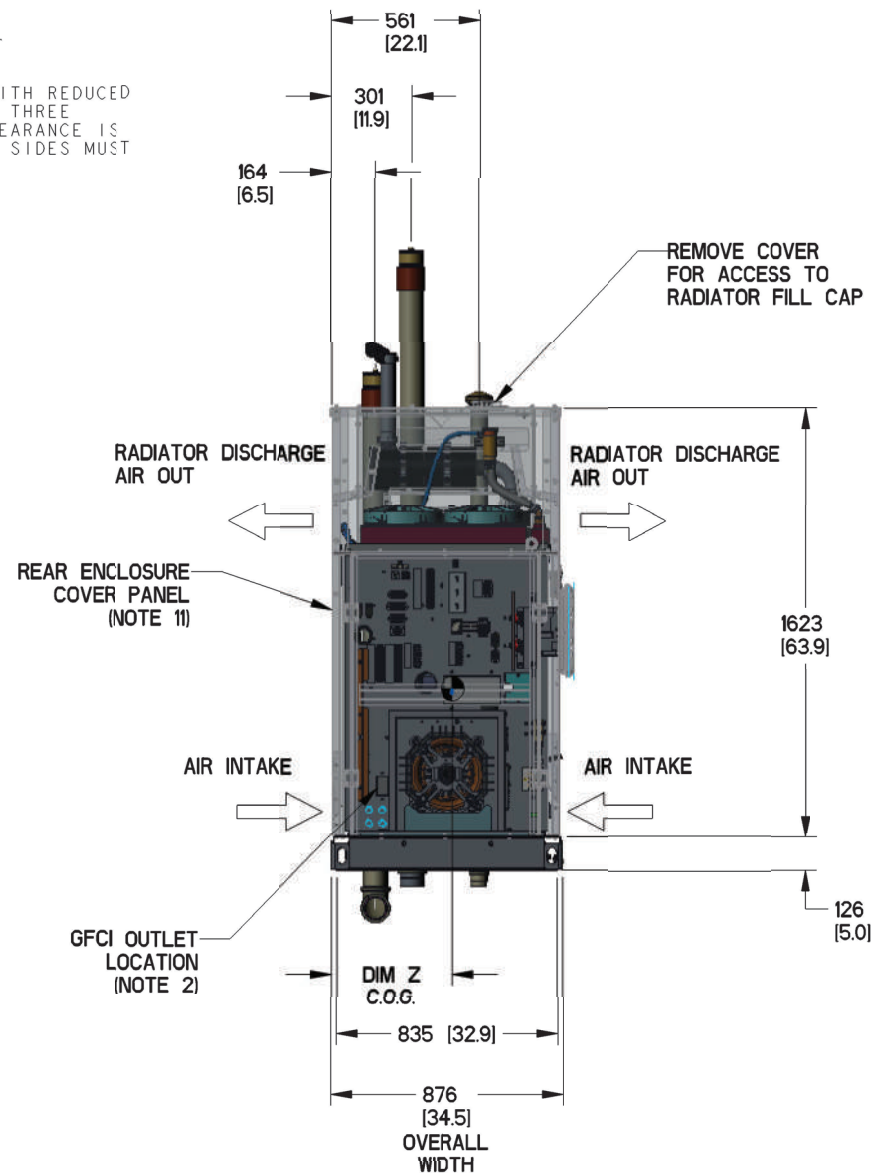
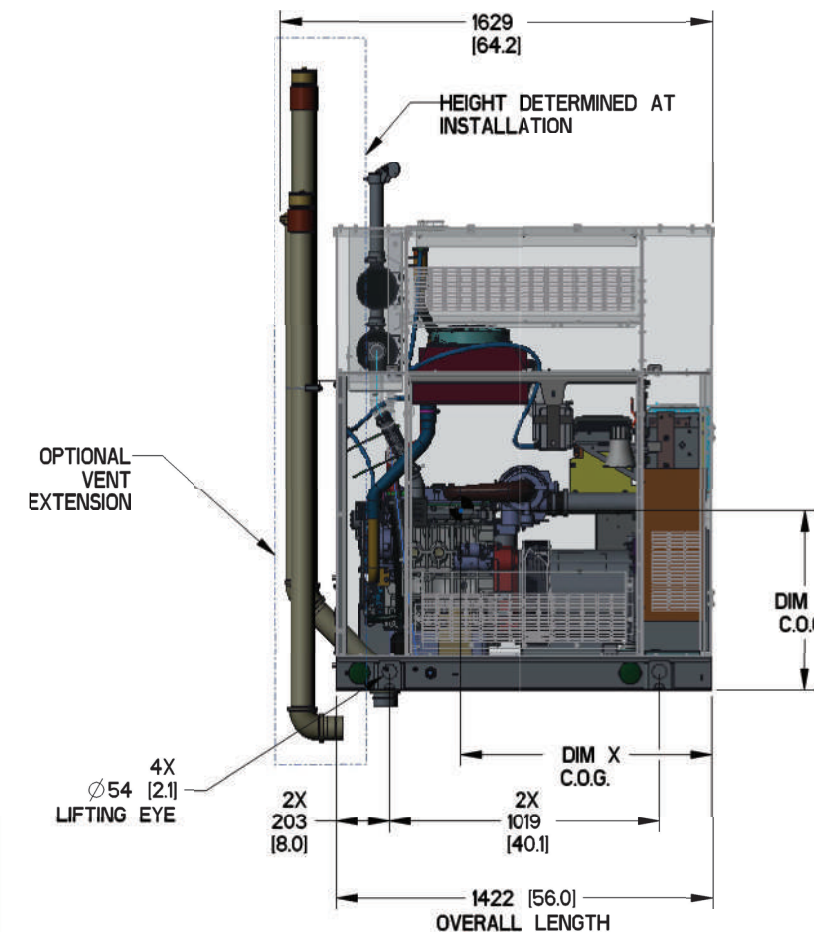
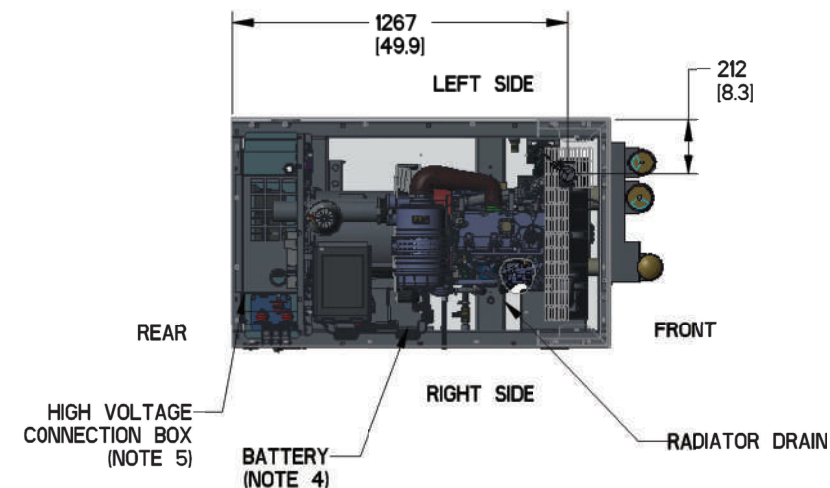
- CONTROL PANEL, (2 AMP BATTERY CHARGER INSIDE).
- 120V, 20A GFCI & 250V, 15A OUTLET (OPTIONAL).
- CONNECTION POINTS FOR CONTROL WIRES PROVIDED IN THE LOW VOLTAGE CONNECTION BOX (USE LOW VOLTAGE STUB-UP AREA).
- BATTERY (12 VOLT NEGATIVE GROUND SYSTEM).
- MAIN LINE CIRCUIT BREAKER (MLCB), AC LOAD LEADS.  
MAIN LINE CIRCUIT BREAKER INFORMATION:  
-SEE SPECIFICATION SHEET OR OWNERS MANUAL  
-ACCESSIBLE THROUGH CUSTOMER ACCESS ASSEMBLY DOOR ON REAR OF GENERATOR (DIMENSIONS MAY VARY DUE TO UNIT CONFIGURATION)
- CENTER OF GRAVITY AND WEIGHT MAY CHANGE DUE TO UNIT OPTIONS.  
FOR WEIGHT AND CENTER OF GRAVITY DATA SEE SHEET 3
- ENGINE SERVICE CONNECTIONS:

INLET DIESEL = 1/4" NPT  
 RETURN DIESEL = 1/4" NPT  
 OIL DRAIN = 1/2" NPT  
 RADIATOR DRAIN = 1/4" NPT  
 FLEX PIPE OUTLET = 2" ID  
 EXHAUST OUTLET = 2" ID

\*\*\*\*\* SEE GENERATOR SIZING GUIDE FOR FUEL PIPE SIZING TO SUIT APPLICATION \*\*\*\*\*

- GENERATOR SET MUST BE INSTALLED SUCH THAT FRESH COOLING AIR IS AVAILABLE AND DISCHARGE AIR FROM THE RADIATOR IS NOT RECIRCULATED.
- BOTTOM OF GENERATOR SET MUST BE ENCLOSED TO PREVENT PEST INTRUSION AND RECIRCULATION OF DISCHARGE AIR AND/OR IMPROPER COOLING AIR FLOW.
- EXHAUST SYSTEM MAXIMUM BACK PRESSURE = 10" H2O (ADDITIONAL).
- REMOVE THE REAR ENCLOSURE COVER PANEL TO ACCESS THE STUB-UP AREAS AS FOLLOWS:  
-HIGH VOLTAGE CONNECTION INCLUDING AC LOAD LEAD CONDUIT CONNECTION  
-NEUTRAL CONNECTION, BATTERY CHARGER 120V AC (0.5 AMP MAX) CONNECTION.  
-LOW VOLTAGE CONNECTION INCLUDING TRANSFER SWITCH CONTROL WIRES.
- BOLTS OR STUDS USED TO MOUNT UNIT TO PAD SHALL BE 5/8" - 11 GRADE 5.
- ONE SIDE MAY HAVE A SMALLER CLEARANCE THAN THE OTHERS. IF THE SIDE WITH REDUCED CLEARANCE IS EITHER FRONT OR BACK THAT MINIMUM CLEARANCE IS 16". THE THREE REMAINING SIDES MUST HAVE 60" CLEARANCE. IF THE SIDE WITH REDUCED CLEARANCE IS THE LEFT OR RIGHT THAT MINIMUM CLEARANCE IS 30", THE THREE REMAINING SIDES MUST HAVE 60" CLEARANCE.

SERVICE ITEM	
OIL FILL CAP	RIGHT SIDE
OIL DIP STICK	RIGHT SIDE
OIL FILTER	RIGHT SIDE
OIL DRAIN HOSE	RIGHT SIDE
RADIATOR DRAIN HOSE	RIGHT SIDE
COOLANT RECOVERY BOTTLE	RIGHT SIDE
RADIATOR FILL CAP ACCESS	ROOF
AIR CLEANER ELEMENT	RIGHT SIDE
FUEL FILTER	RIGHT SIDE
BATTERY	RIGHT SIDE



DRAWING CREATED FROM PRO/ENGINEER 3D FILE. ECO MODIFICATION TO BE APPLIED TO SOLID MODEL ONLY.

DIMENSIONS ARE IN MILLIMETERS (INCHES)



TITLE  
INSTALL D2.2L G22 L2A ENCLOSURE  
D2.2L: SDC020

ISSUE DATE:		02/04/2021	
SIZE	CAGE NO	DWG NO	REV
B	N/A	A0001367034	C
SCALE	WT-KG	N/A	SHEET 1 of 3
0.035			

# INSTALLATION DRAWING

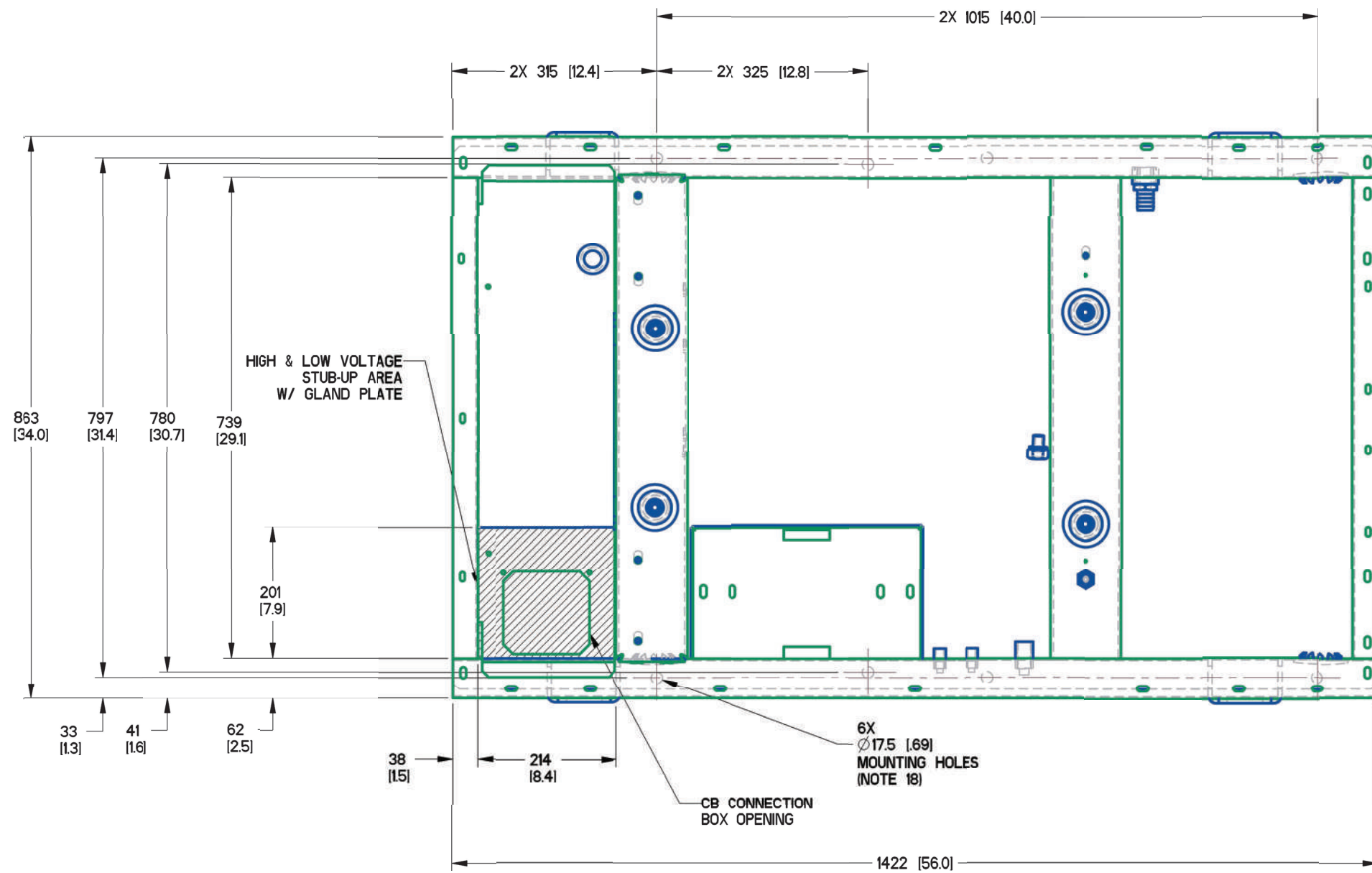
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ELECTRONICALLY APPROVED  
INSIDE WINDCHILL



B

B



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DRAWING CREATED FROM PRO/ENGINEER 3D FILE. ECO MODIFICATION TO BE APPLIED TO SOLID MODEL ONLY.

DIMENSIONS ARE IN MILLIMETERS (INCHES)



TITLE		STUB-UP VIEW D2.2L SDC020	
ISSUE DATE:	02/04/2021		
SIZE	CAGE NO	DWG NO	REV
B	N/A	A0001367034	C
SCALE	WT-KG	N/A	SHEET 2 of 3
0.120			

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ELECTRONICALLY APPROVED  
INSIDE WINDCHILL

# INSTALLATION DRAWING



B

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L2A ENCLOSURE, ALUMINUM

MODEL	VOLTAGE	WEIGHT	CENTER OF GRAVITY DIM X	CENTER OF GRAVITY DIM Y	CENTER OF GRAVITY DIM Z
SD20	240V, 1 $\phi$	664.5 kg [1465 lbs]	738 [29.1]	620 [24.4]	450 [17.7]
SD20	208V, 240V, 480V, 600V, 3 $\phi$	667.2 kg [1470.9 lbs]	737 [29.0]	620 [24.4]	

DRAWING CREATED FROM PRO/ENGINEER 3D FILE. ECO MODIFICATION TO BE APPLIED TO SOLID MODEL ONLY.

DIMENSIONS ARE IN MILLIMETERS (INCHES)



TITLE WEIGHT & CENTER OF GRAVITY D2.2L SDC020

INSTALLATION DRAWING

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ELECTRONICALLY APPROVED INSIDE WINDCHILL

ISSUE DATE:		02/04/2021	
SIZE	CAGE NO	DWG NO	REV
B	N/A	A0001367034	C
SCALE	WT-KG	N/A	SHEET 3 of 3
0.035			

**EXHIBIT E**  
**APPLICANT'S NARRATIVE – COMPLIANCE WITH CODE SECTION 32-138**  
APPLICATION FOR SPECIAL EXCEPTION (proposed communication tower)  
unaddressed property off Hall Road (Parcel ID: 235-00-02-030)  
PeakNet (Applicant)

Below are the applicant's statements (bold text) describing how the special exception application for proposed wireless communication facility complies with Oconee County Code of Ordinances Section 32-138 – *Application Requirements* (shown in italics below).

*Sec. 32-138. Application requirements.*

*The following information shall be submitted for all applications for approval of a communication tower:*

- (a) *Structural specifications. Two copies of the specifications for proposed structure, including description of design characteristics and material.*

**See site plan (Exhibit D) including, but not limited to, Sheets N-1, N-2, C-3, C-6, C-6A, C-7, C-7A, C-8, and C-8A.**

- (b) *Technical specifications. For each antenna to be installed:*

- (1) *Manufacturer and model number.*

**See Sheets C-8 and C-8A of site plan (Exhibit D).**

- (2) *Frequency band used for transmitting and receiving.*

**See Sheets C-8 and C-8A of site plan (Exhibit D).**

- (3) *Effective radiating power.*

**See Sheets C-8A of site plan (Exhibit D).**

- (4) *Mounting position above ground.*

**See Sheets C-3 and C-8A of site plan (Exhibit D).**

- (5) *A study demonstrating compliance with FCC RF exposure limits (all antennas).*

**The applicant submitted a WCF Certification letter (see Exhibit I) certifying the facility meets or exceeds applicable ANSI standards as adopted by the FCC regarding operation of the wireless communications facility, and a radio frequency emission report (see Exhibit J).**

- (c) *Site plan. Two copies of a site plan drawn to scale showing property boundaries, communication tower location, communication tower height, guy wires and anchors, security fencing, screening, existing structures, photographs or elevation drawings depicting typical design of proposed structures, parking, fences, landscape plan, and existing land uses on*

## EXHIBIT E

### **APPLICANT'S NARRATIVE – COMPLIANCE WITH CODE SECTION 32-138**

APPLICATION FOR SPECIAL EXCEPTION (proposed communication tower)  
unaddressed property off Hall Road (Parcel ID: 235-00-02-030)  
PeakNet (Applicant)

*adjacent property. A site plan is not required if antenna is to be mounted on an approved existing structure. Prototypical drawings indicating various types of equipment to be located on the communication tower may be submitted at the time of the permit application. Identification of the owners of all antennae and equipment to be located on the site. Other equipment may be added to the communication tower without additional permits or inspections as long as electrical wiring is not required.*

**A site plan (see Exhibit D) consistent with the above requirements has been submitted with the application.**

- (d) *Location map. Two copies of a current map, or update for an existing map on file, showing geographic coordinates of the communication tower, calculated coverage areas, facilities, location of existing nearby (within three miles) communication towers, and proposed communication towers, serving contiguous areas. An applicant may request that specific proprietary or confidential information be withheld from the public record.*

**See following documents submitted with application for above information/details:**

- **Site Plan (Exhibit D), including but not limited to Sheets T-1 (geographic coordinates of proposed tower) and Sheet C-1A (locations of nearby facilities);**
  - **an assessment with maps pertaining to coverage area (see Exhibit M).**
- (e) *Owner authorization. Written authorization from the site owner for the application.*
- The required written authorization from property owner has been submitted with the application (see Exhibit A).**
- (f) *Visual impact analysis. A line of sight analysis showing the potential visual and aesthetic impact on adjacent residential districts. For communication tower applications, balloon testing and computer generated viewshed analysis/rendering to provide a visual representation of the proposed structure on the proposed site, shall be provided as part of the application package by the applicant.*
- The applicant submitted a balloon test photo presentation and photo simulations of the proposed tower (see Exhibit N).**
- (g) *Alternative to co-location or stealth design. Co-located or stealth designs shall be required unless satisfactory documented evidence can be provided indicating that:*
- (1) *The proposed antenna and equipment cannot be accommodated and function as required;*

## EXHIBIT E

### **APPLICANT'S NARRATIVE – COMPLIANCE WITH CODE SECTION 32-138**

APPLICATION FOR SPECIAL EXCEPTION (proposed communication tower)  
unaddressed property off Hall Road (Parcel ID: 235-00-02-030)  
PeakNet (Applicant)

- (2) *The applicant's technical design requirements are such that without unreasonable modifications they cannot function on any existing structure or communication tower under the control of applicant; and*
- (3) *The applicant has considered all available publicly-owned sites, and available privately owned sites occupied by a compatible use, including all applicable sites or locations or a combination of sites and locations as described under section 32-133(b) for priority of approval and the applicant has demonstrated that for the reasons described in section 32-133(b) that these sites and/or locations are unsuitable for operation of the facility under applicable state and federal communications regulations, the applicant's technical design requirements and/or valid economic reasons.*

**The following documents have been submitted with the application describing/explaining how the proposed tower complies with the above requirements:**

- **a signed justification statement (see Exhibit F) certifying that no other structures exist within 1,300 feet of the proposed tower location that will adequately meet the applicant's network design requirements in this area;**
  - **a map included as Sheet C-1A of the site plan (see Exhibit D) depicting the closest existing communication tower is 2,533 feet from the proposed tower location;**
  - **coverage assessment with maps (see Exhibit M) for different elevations of antenna installations.**
- (h) *Indemnity. The applicant must show by certificate from a registered engineer that the proposed facility will contain only equipment meeting FCC rules, and must file with the director a written indemnification agreement, on a form approved by the county. The applicant must also file with the county proof of liability insurance or financial ability to respond to claims up to \$1,000,000.00 in the aggregate which may arise from operation of the facility during its life, at no cost to the county, in a form approved by the county attorney.*

**The applicant submitted a WCF Certification letter (see Exhibit I) certifying the facility meets or exceeds applicable ANSI standards as adopted by the FCC regarding operation of the wireless communications facility, and also submitted a radio frequency emission report (see Exhibit J). At the time of building permit application review, the Applicant will file with the County the required documentation regarding a written indemnification agreement on a form approved by the County and proof of liability insurance or financial ability, as described in the Code.**



## **EXHIBIT E**

### **APPLICANT'S NARRATIVE – COMPLIANCE WITH CODE SECTION 32-138**

APPLICATION FOR SPECIAL EXCEPTION (proposed communication tower)  
unaddressed property off Hall Road (Parcel ID: 235-00-02-030)  
PeakNet (Applicant)

- (i) *Application fees. All communication tower applications shall include a check made out to the county treasurer in an amount to be determined by the director, based upon a schedule of fees enacted by the county council. Additional fees may be imposed in order to offset the costs associated with processing applications for special exceptions, appeals, or variances.*

**The required application fee was submitted to the County at the time of submitting the special exception application through the on-line permitting web portal (CitizenServe).**

**EXHIBIT F**

Application for Special Exception (proposed communication tower); Parcel ID: 235-00-02-030; PeakNet (applicant)

STATEMENT OF JUSTIFICATION

AT&T Site 016-237 / FA 15535664

AT&T certifies that no other structures exist within 1,300 feet of the proposed tower site on Hall Road, Westminster, SC 29693 that will adequately support AT&T's network in this area of Oconee County under applicable state and federal communications regulations, including public and private sites. The proposed PeakNet LLC 300' self-support cell tower located on Hall Road, Westminster, SC 29693 meets or exceeds AT&T's required coverage criteria.

This certification is being provided in accordance with Oconee County zoning ordinance.

This the 28<sup>TH</sup> day of SEPTEMBER, 2022.

AT&T Mobility dba New Cingular Wireless PCS, LLC

BY: Donald A. Slowek

Name: Donald A. Slowek

Title: Senior Real Estate and Construction Manager

STATE OF SOUTH CAROLINA

COUNTY OF CHARLESTON

I, Kim M. Slowek a Notary Public of Charleston County and State of South Carolina do hereby certify that Donald A. Slowek personally appeared before me this day and acknowledged that he is Senior Real Estate and Construction Manager of AT&T dba New Cingular Wireless PCS, LLC, a Delaware limited liability company, and that by authority duly given and as the act of the company, the foregoing instrument was signed in its name by himself, Donald A. Slowek as the act and deed of the company.

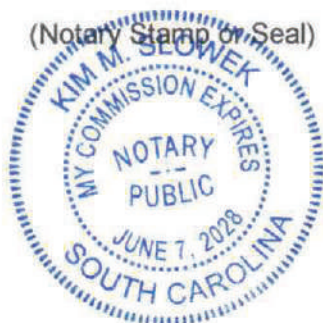
Witness my hand and official stamp or seal, this the 28<sup>th</sup> day of September, 2022.

Kim M. Slowek  
Notary Public

My Commission Expires:

6/7/2028

(Notary Stamp or Seal)





Mail Processing Center  
 Federal Aviation Administration  
 Southwest Regional Office  
 Obstruction Evaluation Group  
 10101 Hillwood Parkway  
 Fort Worth, TX 76177

**EXHIBIT G**  
**Application for Special Exception: Parcel ID: 235-00-02-030; PeakNet (applicant)**  
 Aeronautical Study No.  
 2021-ASO-23211-OE

Issued Date: 06/30/2021

Christopher Bernardo  
 PT Attachment Solutions, LLC  
 9887 4th Street North  
 Suite 100  
 St Petersburg, FL 33702-2445

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Antenna Tower Westminster Monopole  
 Location: Westminster, SC  
 Latitude: 34-40-44.00N NAD 83  
 Longitude: 83-04-48.20W  
 Heights: 893 feet site elevation (SE)  
 350 feet above ground level (AGL)  
 1243 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

As a condition to this Determination, the structure is to be marked/lighted in accordance with FAA Advisory circular 70/7460-1 M, Obstruction Marking and Lighting, red lights-Chapters 4,5(Red),&15.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

This determination expires on 12/30/2022 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.

- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (816) 329-2525, or [natalie.schmalbeck@faa.gov](mailto:natalie.schmalbeck@faa.gov). On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2021-ASO-23211-OE.

**Signature Control No: 484811004-486659766**

( DNE )

Natalie Schmalbeck  
Technician

Attachment(s)  
Frequency Data  
Map(s)

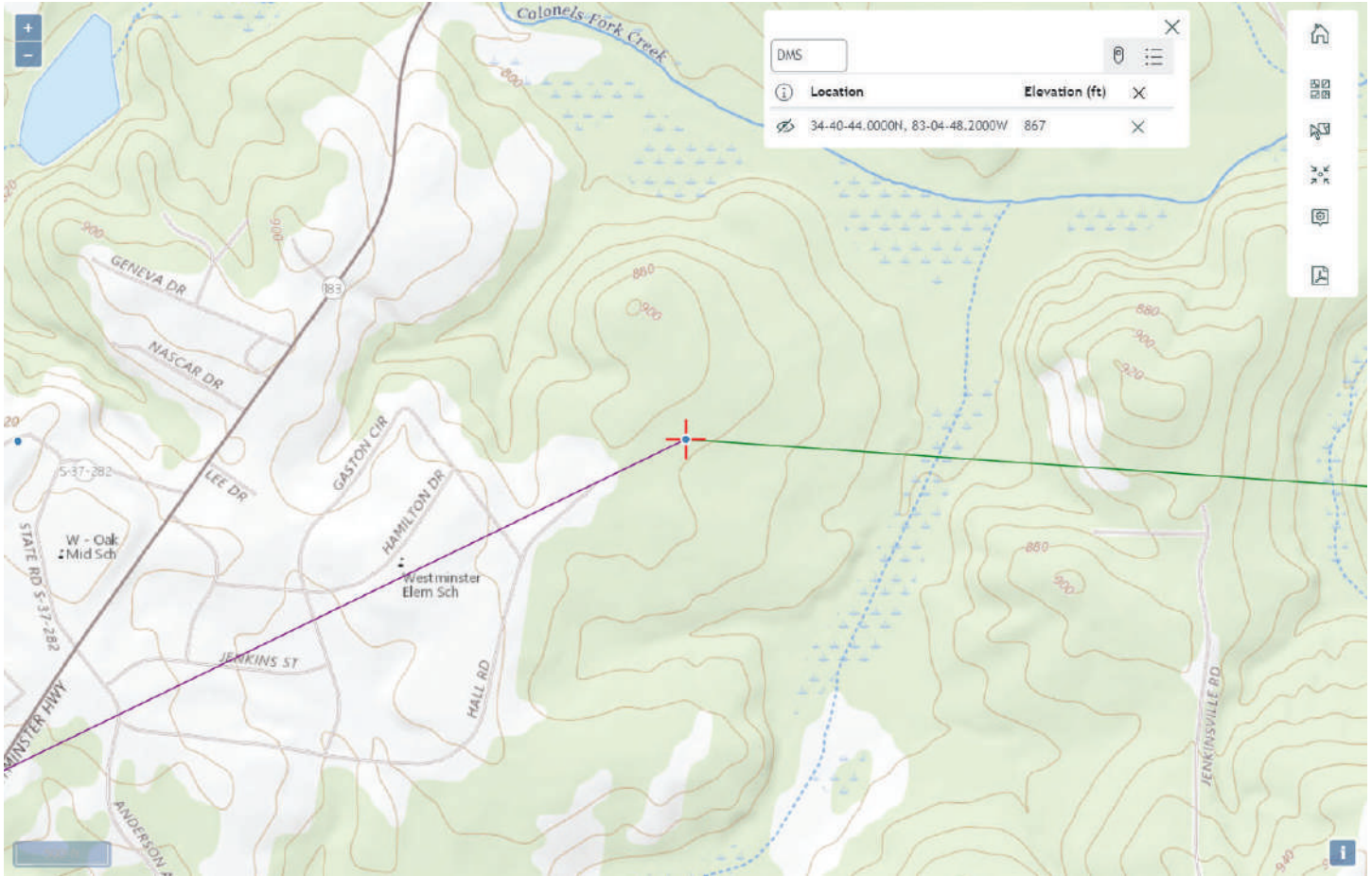
cc: FCC



Frequency Data for ASN 2021-ASO-23211-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
6	7	GHz	55	dBW
6	7	GHz	42	dBW
10	11.7	GHz	55	dBW
10	11.7	GHz	42	dBW
17.7	19.7	GHz	55	dBW
17.7	19.7	GHz	42	dBW
21.2	23.6	GHz	55	dBW
21.2	23.6	GHz	42	dBW
614	698	MHz	1000	W
614	698	MHz	2000	W
698	806	MHz	1000	W
806	901	MHz	500	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
929	932	MHz	3500	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1670	1675	MHz	500	W
1710	1755	MHz	500	W
1850	1910	MHz	1640	W
1850	1990	MHz	1640	W
1930	1990	MHz	1640	W
1990	2025	MHz	500	W
2110	2200	MHz	500	W
2305	2360	MHz	2000	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W
2496	2690	MHz	500	W

Verified Map for ASN 2021-ASO-23211-OE



# EXHIBIT H

Application for Special Exception (proposed communication tower)  
Parcel ID: 235-00-02-030; PeakNet (applicant)



## UNITED STATES OF AMERICA FEDERAL COMMUNICATIONS COMMISSION ANTENNA STRUCTURE REGISTRATION



OWNER: PT Attachment Solutions LLC

FCC Registration Number (FRN): 0017823881

ATTN: Christopher Bernardo PT Attachment Solutions LLC 9887 4th Street North Suite 100 St Petersburg, FL 33702-2445	Antenna Structure Registration Number <b>1320741</b>		
	Issue Date <b>09/28/2021</b>		
Location of Antenna Structure Field Near Hall Rd Westminster, SC 29693  County: OCONEE	Ground Elevation (AMSL) <b>272.1 meters</b>		
	Overall Height Above Ground (AGL) <b>106.6 meters</b>		
Latitude <b>34- 40- 44.0 N</b>	Longitude <b>083- 04- 48.2 W</b>	NAD83	Overall Height Above Mean Sea Level (AMSL) <b>378.7 meters</b>
Center of Array Coordinates <b>N/A</b>			Type of Structure <b>LTOWER</b> <b>Lattice Tower</b>
Painting and Lighting Requirements: FAA Chapters 4, 5, 15  Paint and Light in Accordance with FAA Circular Number 70/7460-1M  Conditions:			

This registration is effective upon completion of the described antenna structure and notification to the Commission. **YOU MUST NOTIFY THE COMMISSION WITHIN 24 HOURS OF COMPLETION OF CONSTRUCTION OR CANCELLATION OF YOUR PROJECT, please file FCC Form 854.** To file electronically, connect to the antenna structure registration system by pointing your web browser to <http://wireless.fcc.gov/antenna>. Electronic filing is recommended. You may also file manually by submitting a paper copy of FCC Form 854. Use purpose code "NT" for notification of completion of construction; use purpose code "CA" to cancel your registration.

The Antenna Structure Registration is not an authorization to construct radio facilities or transmit radio signals. It is necessary that all radio equipment on this structure be covered by a valid FCC license or construction permit.

**You must immediately provide a copy of this Registration to all tenant licensees and permittees sited on the structure described on this Registration (although not required, you may want to use Certified Mail to obtain proof of receipt), and display your Registration Number at the site. See reverse for important information about the Commission's Antenna Structure Registration rules.**

You must comply with all applicable FCC obstruction marking and lighting requirements, as set forth in Part 17 of the Commission's Rules (47 C.F.R. Part 17). These rules include, but are not limited to:

**Posting the Registration Number:** The Antenna Structure Registration Number must be displayed in a conspicuous place so that it is readily visible near the base of the antenna structure. Materials used to display the Registration Number must be weather-resistant and of sufficient size to be easily seen at the base of the antenna structure. Exceptions exist for certain historic structures. See 47 C.F.R. 17.4(g)-(h).

**Inspecting lights and equipment:** The obstruction lighting must be observed at least every 24 hours in order to detect any outages or malfunctions. Lighting equipment, indicators, and associated devices must be inspected at least once every three months.

**Reporting outages and malfunctions:** When any top steady-burning light or a flashing light (in any position) burns out or malfunctions, the outage must be reported to the nearest FAA Flight Service Station, unless corrected within 30 minutes. The FAA must again be notified when the light is restored. The owner must also maintain a log of these outages and malfunctions.

**Maintaining assigned painting:** The antenna structure must be repainted as often as necessary to maintain good visibility.

**Complying with environmental rules:** If you certified that grant of this registration would not have a significant environmental impact, you must nevertheless maintain all pertinent records and be ready to provide documentation supporting this certification and compliance with the rules, in the event that such information is requested by the Commission pursuant to 47 C.F.R. 1.1307(d).

**Updating information:** The owner must notify the FCC of proposed modifications to this structure; of any change in ownership; or, within 30 days of dismantlement of the structure.

You can find additional information at [\[insert link\]](#) or by calling (877) 480-3201 (TTY 717-338-2824).



**EXHIBIT I**  
Application for Special Exception (proposed communication tower)  
Parcel ID: 235-00-02-030; PeakNet (applicant)

Date: **August 9, 2022**

Oconee County Planning Commission  
415 S Pine St  
Walhalla, SC 29691  
(864) 638-4218



Tower Engineering Professionals, Inc.  
326 Tryon Road  
Raleigh, NC 27603  
(919) 661-6351  
S.C. License #: 5399



**Subject: WCF Certification Letter**

**AT&T Site ID:** 016-237  
**PeakNet Site name:** Westminster

**TEP Project Number:** 305012

**Site Data:** Hall Rd, Westminster SC 29693 (Oconee County)  
N 34° 40' 43.028" (NAD '83)  
W 83° 04' 50.779" (NAD '83)

To Whom It May Concern:

Please accept this letter as certification that the above referenced facility meets or exceeds applicable American National Standards Institute (ANSI) standards as adopted by the FCC in order to protect the public from unnecessary exposure to electromagnetic radiation.

PeakNet and AT&T Mobility will comply with Good Engineering Practices as defined by the FCC in its Rules and Regulations.

PeakNet and AT&T Mobility will comply with FCC regulations regarding susceptibility to radio frequency interference (RFI), frequency coordination requirements, general technical standards for power, antenna, bandwidth limitations, frequency stability, transmitter measurements, operating requirements, and any and all other federal statutory and regulatory requirements relating to RFI.

The proposed facility will contain only equipment meeting FCC rules.

Do not hesitate to contact me with any questions or concerns.

Respectfully submitted by,

Scott C. Brantley,  
SC License #: 38401





9887 FOURTH STREET N, ST 100

ST. PETERSBURG, FL 33702

**RADIO FREQUENCY EMISSIONS REPORT**  
**ANALYSIS OF NON-IONIZING**  
**ELECTROMAGNETIC RADIATION (NIER) WITH**  
**RESPECT TO HUMAN EXPOSURE**

**June 16, 2022**

**AT&T**  
**SCL02376**  
**WESTMINSTER**  
**adjacent to/east of 407 Hall Rd**  
**LAT 34.678619, LON -83.080772**  
**Westminster, SC 29693**  
**(OCONEE COUNTY)**

<b>Site Compliance Summary</b>	
<b>Compliance Status:</b>	<b><u>COMPLIANT</u></b>
Site total NIER vs. FCC general population (GP) %MPE limit:	<b>12.8% @ grade</b> <b>13.3% @ 6ft. height</b>



9887 FOURTH STREET N, ST 100

ST. PETERSBURG, FL 33702

## Non-Ionizing Electromagnetic Radiation (NIER) Analysis

PeakNet engaged resources to conduct a NIER analysis of the transmitting facilities proposed by AT&T to be located **adjacent to/east of 407 Hall Rd Westminster, Oconee County, SC 29693** for the purpose of determining whether the emissions from the proposed transmitting facilities are designed in such a way as to control NIER within specified federal limits.

Analysis of information used in preparing this report was based upon the regulatory framework established by 47 CFR § 1.1307(b)(1) and 47 CFR § 1.1310. Processing followed the dictates of Federal Communications Commission (FCC) Office of Engineering and Technology (OET) Bulletin 65 Edition 97-01, ANSI/IEEE Std C95.1, and NCRP 86. Results are reported as a percentage of current General Population (GP) Maximum Permissible Exposure (% MPE). The FCC administers and enforces standards for NIER according to power density at the location occupied. Units of power density are regulates Maximum Permissible Exposure in units of milliwatts per square centimeter (mW/cm<sup>2</sup>). The exposure limit for power density varies depending upon the signal frequencies being transmitted from the site under study. Commercial Mobile Radio Service (CMRS) providers and fixed wireless services each operate at specific signal frequencies. Each signal frequency has a power density exposure limit that is calculated as part of this analysis. For that reason, results are reported as a percentage of the FCC MPE rather than using arcane engineering terminology.

Compliance Status published on the first page of this report reflects NIER from the facilities under study measured against the General Population / Uncontrolled Exposure definition which follows:

General population/uncontrolled exposure limits apply to situations in which the general population may be exposed or in which persons who are exposed as a consequence of their employment may not be made fully aware of the potential for exposure or cannot exercise control over their exposure. Therefore, members of the general population would always be considered under this category when exposure is not employment related, for example, in the case of a telecommunications tower that exposes persons in a nearby residential area.

Public exposure to radio frequencies is regulated and enforced in units of milliwatts per square centimeter (mW/cm<sup>2</sup>). The general population



9887 FOURTH STREET N, ST 100

ST. PETERSBURG, FL 33702

exposure limits for the 600 MHz and 700 MHz frequency bands are approximately  $400 \text{ mW/cm}^2$  and  $467 \text{ mW/cm}^2$ , respectively. The general population exposure limit for the 1900 MHz (PCS), 2100 MHz (AWS) and 11 GHz frequency bands is  $1000 \text{ mW/cm}^2$ .

Occupational/controlled exposure limits apply to situations in which persons are exposed as a consequence of their employment and in which those persons who are exposed have been made fully aware of the potential for exposure and can exercise control over their exposure. Occupational/controlled exposure limits also apply where exposure is of a transient nature as a result of incidental passage through a location where exposure levels may be above general population/uncontrolled limits (see below), as long as the exposed person has been made fully aware of the potential for exposure and can exercise control over his or her exposure by leaving the area or by some other appropriate means.

Additional details can be found in FCC OET 65.

## **CALCULATIONS**

Calculations were performed for the subject facility using the equipment information listed on the next page. All calculations were performed per the specifications under FCC OET 65. AT&T is planning their facility with directional multi-element phased-array antennas. Those antennas are designed to efficiently concentrate the signal energy toward the coverage objective, not to waste signal energy near the mounting structure supporting the antennas. Calculations were performed based upon the maximum gain of each antenna specified by the manufacturer. Locations at grade and location at cranial elevation assigned to be six feet above grade were both evaluated for compliance.



**EXHIBIT K**

Application for Special Exception (proposed communication tower)  
Parcel ID: 235-00-02-030; PeakNet (applicant)

**FAIR MARKET VALUE STATEMENT**

The undersigned representative of PeakNet, LLC hereby certifies, with respect to the 300' foot self-support tower being proposed by PeakNet, LLC to be located at Hall Rd., Westminster, SC 29693, that the unused tower space shall be made available at fair market value.

This the 5<sup>th</sup> day of August, 2022.

PeakNet, LLC  
BY: [Signature]  
Name: Allan Bakalar  
Title: Vice President and General Manager

STATE OF FLORIDA

COUNTY OF PINELLAS

I, TARA S. GREENAWALD a Notary Public of PINELLAS County and State of Florida, do hereby certify that Allan Bakalar personally appeared before me this day and acknowledged that he is Vice President and General Manager of PeakNet, LLC, a Delaware limited liability company, and that by authority duly given and as the act of the company, the foregoing instrument was signed in its name by himself as its Vice President and General Manager as the act and deed of the company.

Witness my hand and official stamp or seal, this the 5<sup>th</sup> day of August, 2022.

[Signature]  
Notary Public

My Commission Expires:

4/8/2025

(Notary Stamp or Seal)



**EXHIBIT L**

Application for Special Exception (proposed communication tower)  
Parcel ID: 235-00-02-030; PeakNet (applicant)

***IMPACT STUDY***

***Impact Study - Cell Tower  
Terminus of Hall Road  
Westminster, Oconee County,  
SC 29693***

***Type Report: Impact Study***

***Effective Date  
August 23, 2022***



September 7, 2022

Mr. Thomas H. Johnson  
Attorney  
Williams Mullen  
301 Fayetteville Street  
Suite 1700  
Raleigh, NC 27601

**RE: Impact Study for Proposed Telecommunications Facility located at terminus of Hall Road, Westminster, Oconee County, South Carolina.**

Dear Mr. Johnson:

I have completed a study of the proposed tower. The scope of the assignment is to provide an analysis and conclusions addressing items within my field of expertise regarding the application for a variance and a special exception as detailed in the Oconee County Code of Ordinances. The study is intended to assist Oconee County officials in rendering a decision regarding the applications for the proposed telecommunications tower.

The location of the proposed tower is on a property owned by William T. McClure et al. The site consists of 101.6 acres in a rural area of Oconee County just outside the City limits of Westminster. The site is currently used for agricultural purposes and an existing tower on the eastern portion of the site. The existing tower has the same height of the proposed tower. The surrounding land uses include large vacant tracts of land and institutional uses along Hall Road and residential developments along Jenkinsville Road. The surrounding land uses, location and siting are contributing factors in the development of a conclusion regarding the potential impact of the tower on surrounding properties.

The impact study is intended to conform to the Uniform Standards of Professional Appraisal Practice (USPAP), the Code of Professional Ethics and Standards of Professional Appraisal Practice of the Appraisal Institute. The impact study is not an appraisal as it does not report a value of any property; however, the study employs appraisal methodology to reach our conclusions of the impact of the proposed development. The impact study is of real property as this is the field of our expertise.

The conclusions of this study are supported by the data and reasoning set forth in the attached narrative. Your attention is invited to the Assumptions and Limiting Conditions section of this report. The analysts certify that we have no present or contemplated future interest in the proposed development, and that our fee for this assignment is in no way contingent upon the conclusions of this study.

**EXTRAORDINARY ASSUMPTIONS AND HYPOTHETICAL CONDITIONS:**

It is an extraordinary assumption of this report that the improvements as described within this report are compliant with the appropriate ordinance including but not necessarily limited to setbacks, landscaping, access, and other items outside our field of expertise. These items will be addressed as part of the application by others with expertise within their respective fields.

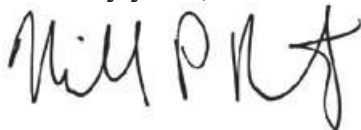
It is an extraordinary assumption of this report that the proposed development will be constructed as detailed in the report. Further, it is an assumption of the study that the proposed access will be in accordance with all local and state regulations. Maintenance will occur through a non-exclusive easement that we assume is a legal access. Considering this is an extension of the existing public road, we consider the assumption reasonable.

The content and conclusions of this report are intended for our client and for the specified intended uses only. They are also subject to the assumptions and limiting conditions as well as the specific extraordinary assumption set forth in this report.

It is our opinion that the variance for a taller tower will not adversely impact the properties in the area. Given the parent parcel is improved with a tower of the same height as the proposed tower indicates that the proposed tower is in harmony with the area. The proposed development is comparable to other existing towers in this area of Oconee County.

Thank you for the opportunity to be of service. If you have any questions or comments, please contact our office.

Sincerely yours,



**MICHAEL P. BERKOWITZ**  
**MPB REAL ESTATE, LLC**



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## **SCOPE OF THE ASSIGNMENT**

In accordance with our agreement with the client, this impact study is specific to the needs of our client as part of an application for a variance and a special exception to be considered by Oconee County Officials. Our study and the reporting of our study is in agreement with our client as follows:

The proposed development requires a variance for the height of the tower and a special exception. The report is intended to address items relevant to the applications. The following was extracted from the Oconee County zoning ordinance regarding criteria for the two applications.

- (1) In accordance with the comprehensive plan and is consistent with the spirit, purposes, and the intent and specific requirements of this chapter, to include the definition and intent of the district in which the special exception is being requested;
- (2) In the best interests of the county, the convenience of the community and the public welfare;
- (3) Suitable for the property in question, and designed, constructed, operated, and maintained so as to be in harmony with and appropriate in appearance to the existing or intended character of the general vicinity;
- (4) Suitable in terms of effects on highway traffic, parking and safety with adequate access arrangements to protect streets from undue congestion and hazards.

### **SPECIAL EXCEPTION CRITERIA CHAPTER 38-7.2**

- (1) There are extraordinary and exceptional conditions pertaining to the particular piece of property;
- (2) These conditions do not generally apply to other property in the vicinity;
- (3) Because of these conditions, the application of this chapter to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
- (4) The authorization of a variance will not be of substantial detriment to adjacent uses or to the public good, and the character of the district will not be harmed by the granting of the variance.
  - a. The board of zoning appeals may not grant a variance the effect of which would be to allow the establishment of a use not otherwise permitted. The fact that the property may be utilized more profitably, should a variance be granted, may not be considered grounds for a variance.
  - b. The board of zoning appeals may grant a variance to extend physically an existing nonconforming use provided that the expansion does not adversely affect the character of the community and is designed so as to minimize any negative secondary impacts.
  - c. In granting a variance, the board of zoning appeals may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board of zoning appeals may consider advisable to protect established property values in the surrounding area, or to promote the public health, safety, or general welfare.

### **VARIANCE CRITERIA CHAPTER 38-7.1**

The scope of the assignment includes research of existing towers in the neighborhood. The neighborhoods and their surrounding developments are researched to determine whether the proposed development, referred to as the “Westminster site”, is consistent with the location of other towers in this section of Oconee County and their impact, if any, on property values.

The impact study provides an analysis of the surrounding properties. The analysis includes existing improvements, zoning designations and likely development patterns. The existing uses as of the effective date of this report in concert with the market data provided are contributing factors to the conclusions of this study.

## PREMISES OF THE STUDY

### Identification of Subject

“Westminster site”

Terminus of Hall Road  
Westminster, Oconee County, SC 29693  
Tax Parcel ID: 235-00-02-030

### Client, Purpose, and Intended Use and Intended Users

Mr. Thomas H. Johnson  
Attorney  
Williams Mullen  
301 Fayetteville Street  
Suite 1700  
Raleigh, NC 27601

The client and intended user are Mr. Thomas Johnson and representatives. The intended use is as an aid to assist Oconee County officials in rendering a decision regarding an application for a variance and a special exception for the proposed development. The study is not intended for any other use or users.

### Analyst

Michael P. Berkowitz  
  
MPB Real Estate, LLC  
1100 Sundance Drive  
Concord, NC 28027

**Property Inspection**

Michael Berkowitz inspected the property and neighborhood surrounding the proposed development. Details of surrounding land uses, and observations are provided throughout the report. I also performed off site visual inspections of several towers in Oconee County. I consider my observations in the context of the market data. They are a contributing factor to my conclusions. Photographs of the property were taken during Mr. Berkowitz’s inspection.

**Extraordinary Assumptions of Report**

It is an extraordinary assumption of this report that the improvements as described within this report are compliant with the appropriate ordinance including but not necessarily limited to setbacks, landscaping, access, and other items outside our field of expertise for this assignment. These items will be addressed as part of the application by others with expertise within the respective fields.

It is an extraordinary assumption of this report that the proposed development will be constructed as detailed in the report. Further, it is an assumption of the study that the proposed access will be in accordance with all local and state regulations. Maintenance will occur through improvements near the terminus of Hall Road, which we assume is a legal access.

Should the extraordinary assumptions not exist, we reserve the right to amend this study.

**Effective Date of Study**

August 23, 2022

**Date of Report**

September 7, 2022

**Type Report**

Impact Study Report

**Study Development and Reporting Process**

In preparing this study, the analyst:

- Analyzes physical affects, if any, of the proposed construction on contiguous properties;

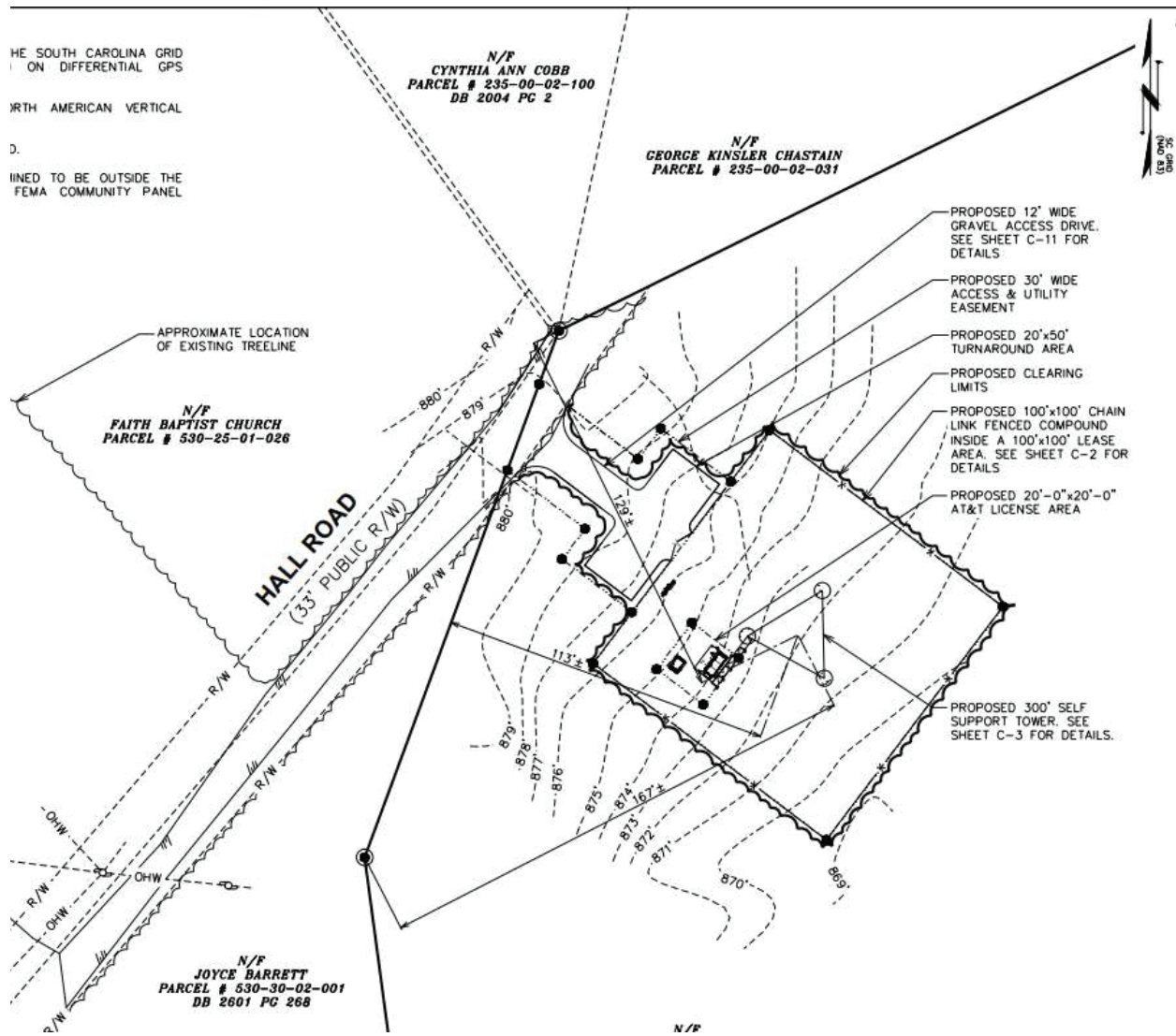


- Reviews plans for the proposed development to determine whether it complies with the Oconee County Ordinance with respect to items within my field of expertise;
- Reviews site plan provided by our client with respect to the physical characteristics of the proposed development;
- Reviews Chapter 32 Article IV of the Oconee County Zoning Ordinance regarding the approval process for variance and a special exception;
- Research market data around existing cell towers in Oconee County to determine whether the proposed development is in accordance with the other similar developments in the area.

## PROPOSED FACILITY

### **Tower**

Based on information provided to the analyst, the proposed tower will consist of a 300-foot “lattice” communications tower with a four-foot lightning rod. The survey appears to show that the existing access from Hall Road will be improved to provide access to the new tower. The proposed tower will be in the western portion of the site near the terminus of Hall Road. This is the only apparent access to the property from the west. The only access from the east appears to be from an easement from Jenkinsville Road leading to the existing tower on the property. The following is a site plan showing the proposed development.



**Site Improvements**

The site improvements include an eight-foot chain link fence with three strands of barbed wire. The proposed construction will create a clearing within the wooded areas of the site for construction. The plans do not include a landscaping plan.

**Access**

The access to the proposed tower will use the small amount of frontage along Hall Road as the sole access to the proposed tower. The subject lies near the terminus of Hall Road but appears to have some frontage along its boundary adequate to provide access to the site. The access to the tower will be via a gravel drive to be constructed as part of this project. We assume that the access for the proposed development is in

accordance with all local and state regulations. Given the use of the current access, we consider the assumption reasonable.

**Location**

The proposed tower is near the western boundary of a large parcel consisting of 101.6 acres. Hall Road is a secondary road with connectivity to Westminster Highway, which is one of the primary transportation corridors in the area. The proposed tower will be sited in a heavily wooded area of the site with other above ground infrastructure.



**SURROUNDING LAND USES**

The proposed development is located on a 101.6-acre tract of land. A factor considered in this analysis is the fact that on the eastern edge of the property off Jenkinsville Road is a guyed communication tower of the same height as the proposed tower. The developments along Hall Road include residential and institutional uses including Westminster Elementary School, Faith Baptist Church and the Hall Street Ball Fields.

The existing surrounding uses are a factor in determining the potential impact of the proposed development.

The proposed development will have a nominal impact on the surrounding properties to the east for several factors including but not necessarily limited to:

- There is an existing tower that poses a larger visual impact on the properties along Jenkinsville Road and all the properties east of the parent parcel.
- There are electrical transmission lines that subdivide the subject and several of the surrounding properties. The infrastructure for this corridor is larger than for the proposed development.

For the properties to the east the impact of the proposed tower is nominal as there are existing visual impacts present that pose an equal or greater visual influence on surrounding properties. The closest property to the east is over one-half mile from the proposed tower. Therefore, the focus is on the surrounding properties to the north, south and east.

Immediately to the north and south of the proposed tower, the properties are vacant land. The property to the north (Parcel 235-00-02-031) consists of 27.03 acres. The adjacent property to the south (Parcel 530-30-02-001) consists of 32.64 acres. A portion of both parcels is encumbered with the power transmission lines. The wooded areas would reduce the visual impact of the proposed tower on these properties.





#### SURROUNDING PROPERTIES

*Institutional Uses* – In addition to the school, there are athletic fields and a church that will likely have some visual influence from the tower. Towers are commonly constructed near these types of properties because of the wireless traffic created by the gathering of people.

As we will discuss in the following section, the scope of the assignment is to determine whether the proposed development is in accordance with the Oconee County ordinance regarding the approval of a variance with respect to the height of the tower and a Special Exception for the proposed use. The items within our field of expertise are detailed in the following section.

## OCONEE COUNTY ZONING ORDINANCE

As part of the assignment, I reviewed Chapter 38.7 of the Oconee County Zoning Ordinance regarding the approval process for a variance and a special exception. This section identifies several items that will be addressed by other and included in the application. Therefore, the remainder of the report focuses on the items provided in the Scope of Work section.

- (1) In accordance with the comprehensive plan and is consistent with the spirit, purposes, and the intent and specific requirements of this chapter, to include the definition and intent of the district in which the special exception is being requested;
- (2) In the best interests of the county, the convenience of the community and the public welfare;
- (3) Suitable for the property in question, and designed, constructed, operated, and maintained so as to be in harmony with and appropriate in appearance to the existing or intended character of the general vicinity;
- (4) Suitable in terms of effects on highway traffic, parking and safety with adequate access arrangements to protect streets from undue congestion and hazards.

### **SPECIAL EXCEPTION CRITERIA CHAPTER 38-7.2**

- (1) There are extraordinary and exceptional conditions pertaining to the particular piece of property;
- (2) These conditions do not generally apply to other property in the vicinity;
- (3) Because of these conditions, the application of this chapter to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
- (4) The authorization of a variance will not be of substantial detriment to adjacent uses or to the public good, and the character of the district will not be harmed by the granting of the variance.
  - a. The board of zoning appeals may not grant a variance the effect of which would be to allow the establishment of a use not otherwise permitted. The fact that the property may be utilized more profitably, should a variance be granted, may not be considered grounds for a variance.
  - b. The board of zoning appeals may grant a variance to extend physically an existing nonconforming use provided that the expansion does not adversely affect the character of the community and is designed so as to minimize any negative secondary impacts.
  - c. In granting a variance, the board of zoning appeals may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board of zoning appeals may consider advisable to protect established property values in the surrounding area, or to promote the public health, safety, or general welfare.

### **VARIANCE CRITERIA CHAPTER 38-7.1**

Based on our review of the ordinance, the variance approval criteria include the responsibility of the board to protect established property values. The special exception criteria address the “harmony” of the proposed development. The remainder of the study focuses on the relation to surrounding properties and potentially injurious effect of the tower on real property values. The potential impact on these properties is the visual impact of the proposed tower.

We will discuss property values later in the report. We acknowledge that the proposed 300-foot tower will have a height taller than any structure in the immediate area except for the existing cell tower on the eastern edge of the subject. However, the siting and surrounding developments will minimize to the extent possible, the visual impact on surrounding properties.

## Summary

The items within our field of expertise focus on the aesthetic impact of the proposed development on values of contiguous properties. This is based on the existing developments as detailed earlier in the study. The existing infrastructure, location and property uses reduces the visual impact of the tower.

## MARKET RESEARCH

A potential issue associated with the impact of the proposed development is on real property values in the immediate vicinity and the neighborhood. We researched towers in Oconee County and identify the development patterns around these towers. After analyzing the market data, we compare this information to the proposed site and the physical characteristics and development patterns surrounding the proposed development.

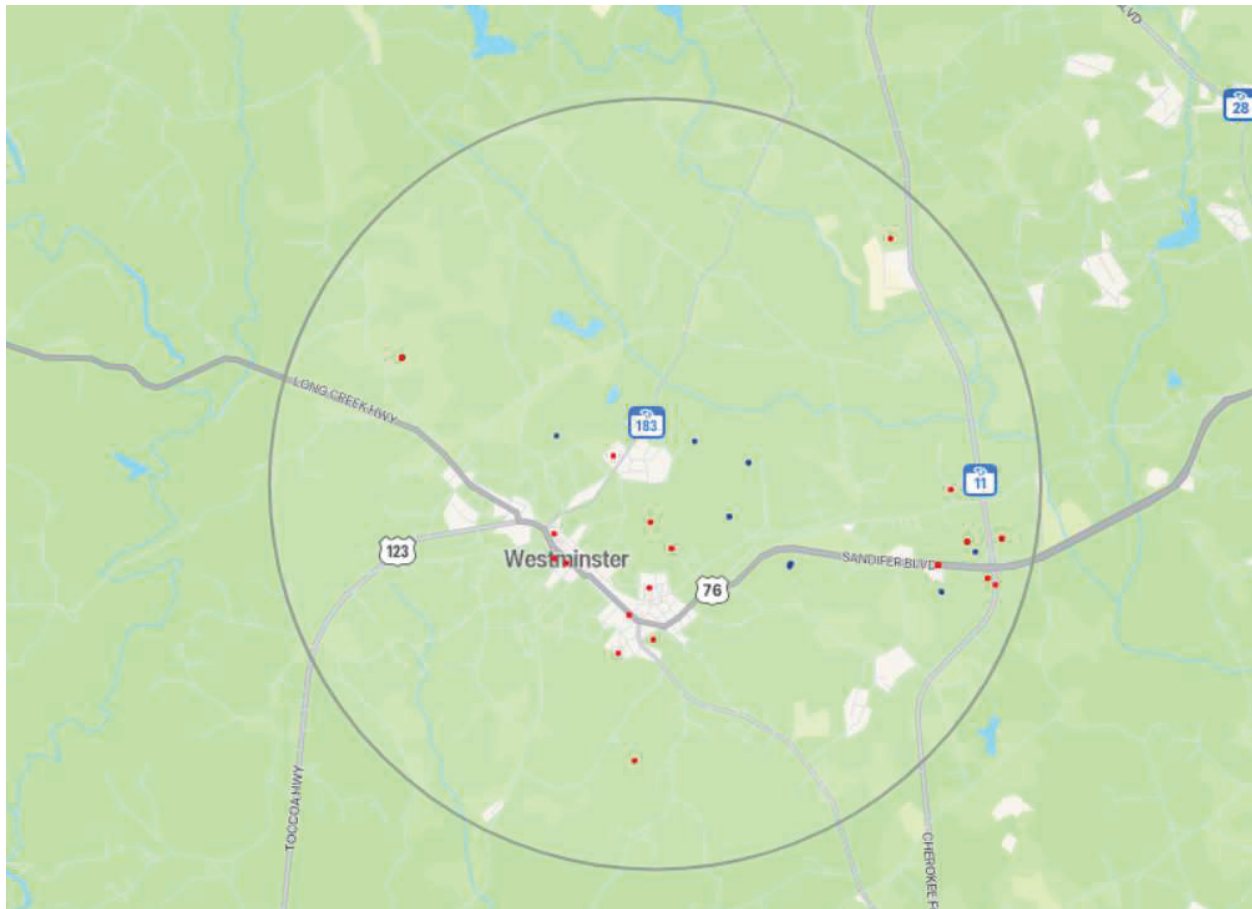
### Oconee County Towers

During our research, we visited several towers in Oconee County. The towers in this section of the County are few. The comparability of towers to the proposed development is a significant factor in developing a credible conclusion of the study. Towers are selected for a variety of reasons including but not necessarily limited to:

- *Location* – The proposed location is in a rural area of Oconee County just outside the City Limits of Westminster.

- *Surrounding Developments* – The surrounding developments include vacant land, institutional and low-density residential properties.
- *Construction Type/Height* – The proposed tower is a lattice tower with a height of 300 feet.

For the research of towers, we rely on information from antennasearch.com, which we consider a reliable source of information. The number of towers in this area of Oconee County is limited. Some of the towers were not visible from the street or aerial photos. We exclude these towers as some towers receive approval and the information available does not show a date of construction. We have excluded the towers listed with a height of under 100 feet. The following map shows the location of towers within three miles of the proposed tower.





The search provided 16 towers within the search area. The number of towers limits the possibility of finding a tower within the community with comparable physical characteristics. Of the 16 towers only three towers were considered comparable to the proposed tower. The three towers are shown in the following chart.

<b>Tower Summary</b>				
<b>Type</b>	<b>Address</b>	<b>Tower Height</b>	<b>Year Built</b>	<b>Land Uses</b>
Monopole	199 Oakmont Rd.	180	2014	Residential/Agricultural
Guyed	Jenkinsville Rd.	300	1998	Residential/Agricultural
Guyed	1759 Coffee Rd.	350	2003	Residential/Agricultural

The first tower is located at 199 Oakmont Road. The tower has a comparable location to the proposed tower. The tower is a monopole tower with a shorter height. The surrounding developments of this tower have some comparability to the site of the proposed tower. Research of the properties surrounding the tower did not provide adequate quantity or quality of data to develop a credible analysis.

The second tower is located off Jenkinsville Road and is on the same parcel as the proposed tower. This is a guyed tower with a height of 300 feet, which is the same height as the proposed tower. This tower has a significantly higher visual impact on the surrounding residential properties as it does not have the vegetative buffer of the proposed development. The tower is located amidst properties improved with single family dwellings. Unfortunately, research of surrounding properties does not provide adequate market data to perform a credible quantitative analysis.

The third tower found is a guyed tower with a height of 350 feet. The surrounding development patterns include comparable residential development but do not have the institutional developments like the subject. Again, the market did not provide adequate quality or quantity of data to perform a credible analysis. Therefore, we have provided the results of

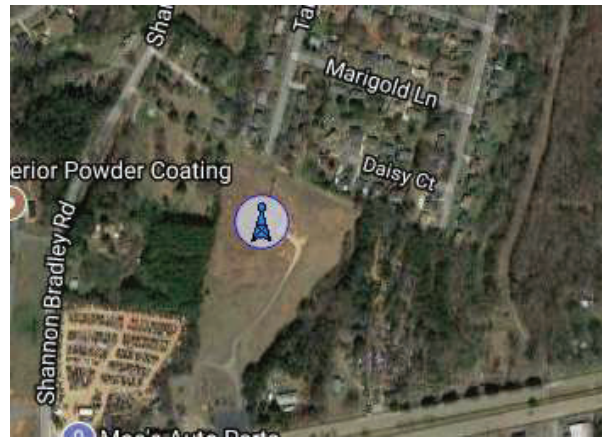
several studies performed in rural areas with similar surrounding developments.

While the local market did not provide adequate the quality and quantity of data to perform a quantitative analysis, the height of two of the towers including the existing tower on the eastern section of the subject are a factor in the analysis of whether the proposed tower is in harmony with the area. The presence of towers of similar or larger heights indicates that towers with a height in excess of the limitations identified in the ordinance are common.

## Rural Towers

The following are examples of studies performed over the years where the market provided adequate quality and quantity of data to perform a credible quantitative analysis. The examples were selected for factors including surrounding land uses and the height of the tower. The analysis includes larger towers in locations at an advanced stage of development. Regardless, the information shows examples of market data with and without visual influence from a telecommunications tower.

We performed a study of a tower in Rowan County in a residential area of Tareyton Drive. This is an older residential area with most of the dwellings constructed in the 1970's similar to the residential improvements near the proposed tower. As shown on the following aerial, the tower is in an open field with a higher visual impact than the subject. The tower has a similar height to the subject.



The following sales were found in the area. The two properties highlighted in green have the highest level of visual impact from the tower.

Sales Summary									
Parcel	Address	Land (Acres)	Bedrooms	Baths	SF	Year Built	Sale Date	Sales Price	Price/SF
102 561	3009 Daisy Ct	0.25	3	1	1,600	1974	1/13/17	\$ 35,000	\$ 21.88
102 622	442 Newcastle Rd	0.22	3	1	1,100	1974	12/29/17	\$ 45,000	\$ 40.91
102 507	3218 Spring Valley	0.34	4	2	1,538	1972	10/10/16	\$ 78,000	\$ 50.72
102 491	3220 Spring Valley	0.3	3	1	1,092	1972	12/14/17	\$ 99,000	\$ 90.66
152 857	655 Kilborne Dr.	0.2	3	1	1,050	1978	8/21/15	\$ 37,000	\$ 35.24
152 839	601 Dundeen Dr.	0.22	3	1	1,075	1978	12/31/15	\$ 36,000	\$ 33.49
152 820	630 Dundeen Dr.	0.2	3	1	1,050	1977	1/5/17	\$ 48,000	\$ 45.71
152 797	636 Colebrook Dr.	0.2	3	1	1,000	1977	11/30/16	\$ 60,000	\$ 60.00
137 766	609 Belfast Dr.	0.21	3	1	1,050	1976	7/28/14	\$ 45,000	\$ 42.86
137 758	602 Belfast Dr.	0.2	3	1	1,050	1976	8/21/15	\$ 30,000	\$ 28.57
137 734	657 Belfast Dr.	0.21	3	1	1,050	1976	11/21/17	\$ 53,000	\$ 50.48

All the sales have similar lot sizes, location and year built. As with many older homes, the most significant factor influencing price paid is the condition of the improvements. The first “green” sale in the chart included a basement, which would require an adjustment. The presence of the basement skews the price paid per square foot. Upon further research, this dwelling was reported as “needing some work”. From a price point, the sale is on the lower end of the range, which is reasonable given the reported condition of the improvements and presence of a basement.

The second “green” sale did not include a basement and was reported in fair condition. Again, this sale is consistent with the other sales in the data set. The analysis of this sale shows

consistency with other residential sales in the area despite its location and visual impact from the tower. We note that the tower is only partially visible from this property consistent with the residential properties near the proposed development.

For a previous study in Gaston County, we found a tower with some low-density residential developments. This tower is located closer to the road in an open field with a significantly higher visual presence than the proposed tower. This is partially offset by the fact the tower has a height of 199 feet. The following exhibits provide an aerial and street scene for the tower.



1852 County Line Road

As shown on the previous aerial, there are residential developments in Gaston County across the street from the tower. As with most rural areas of North Carolina, the market data is limited. The following data consists of some modular homes that sold along County Line Road across the street from the tower to some modular homes that sold in Lewis Farm Estates. The following chart provides a summary of the sales.

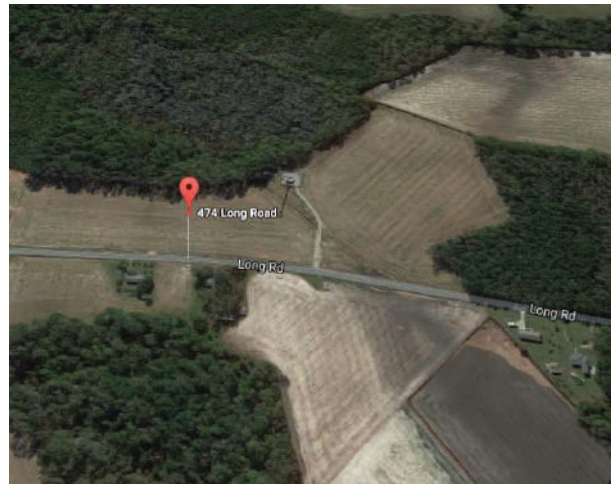
Property Sales Summary						
Address	Sale Date	Sales Price	Acres	SF	Price/SF	Year Built
1848 County Line Road	5/24/11	\$ 100,000	1	1,908	\$ 52.41	1999
1846 County Line Road	11/16/07	\$ 90,000	1.03	1,512	\$ 59.52	2004
1519 Lewis Farm Road	3/5/15	\$ 116,000	2.42	1,842	\$ 62.98	1999
1526 Lewis Farm Road	8/29/07	\$ 170,000	2.88	2,881	\$ 59.01	2006



In the analysis of these sales, there are several factors that contribute to the price paid. The smaller lot sizes for the properties near the tower would warrant a downward adjustment to these sales. Regardless, the range of prices paid per square foot is considered small. The indication from this analysis is that similar single family dwelling prices paid are comparable despite the visual impact of the cell tower. The market data indicates that even with absence of a vegetative buffer, the tower does not substantially injure the value of contiguous properties.

We also provide the results from a study in Robeson County. The scope of the impact study addressed the potential impact of value on properties in the neighborhood. The following provides market data for the towers found in Robeson County that are a similar market to the proposed development.

The following data is segregated into two categories: single family homes and vacant land. For all the data sets, the properties highlighted in yellow are those properties along the same corridor as the tower. These properties are compared to properties highlighted in green, which are along similar streets without a tower. We include additional market data as background for the paired sales analyses.



474 Long Road

This tower has a height of 180 feet. As with the surrounding developments for the other towers selected for comparison in

this study, the land uses in the area are primarily agricultural. The low-density residential developments include homes constructed over a wide time span including some estate style homes. The market data for single family dwellings are summarized in the following chart.

SFD SALES						
Address	Sale Date	Sales Price	Year Built	SF	Acres	\$/SF
46 SURRY	5/25/2005	\$68,000	1986	1,152	2.34	\$ 59.03
121 SURRY	10/29/2007	\$93,000	1978	1,443	1	\$ 64.45
285 JUNE	5/15/2009	\$41,000	2000	1,632	1	\$ 25.12
992 LONG RD	8/20/2007	\$57,500	1978	972	1	\$ 59.16
867 LONG RD	11/5/2009	\$27,000	1962	800	1.52	\$ 33.75
719 LONG RD	6/8/2015	\$87,000	1989	1,437	4.37	\$ 60.54
1148 LONG RD	8/14/2015	\$227,500	2005	2,029	1.8	\$ 112.12

The analysis of these sales as well as other sales presented later in this section includes several factors including but not necessarily limited to size, age, and lot size. The most compelling market data is the consistency in the prices paid per square foot for the highlighted properties. The comparison of the data shows some offsetting characteristics but does provide evidence that the cell tower located along Long Road does not injure property values in the area.

The second data set is for land sales found in the area. The highlighted properties are for residential lots consistent with the low-density development patterns in the neighborhood.

LAND SALES				
Address	Sale Date	Sales Price	Acres	\$/Acre
181 TROY DR	6/11/2010	\$150,000	19.63	\$ 7,641
WILKES RD	5/1/2013	\$20,000	7.39	\$ 2,706
859 LONG RD	8/22/2012	\$15,000	1.24	\$ 12,097
OFF LONG RD	3/24/2015	\$22,000	3.43	\$ 6,414

Contrary to the market data for single family dwellings, the most compelling information from this data set is the price point for the residential lots. The size of the lots is the most influential factor on price point. Again, the market data indicates that the tower has not impeded demand for land along the Long Road corridor nor has it injured land values in the area.



7746 E Hwy 211

This tower has a height of 300-feet, which is the height of the proposed tower. I have applied the same methodology as the previous analyses and segregated the data into single family dwellings and vacant land. The sales for single family dwellings are summarized in the following chart.

SFD SALES						
Address	Sale Date	Sales Price	Year Built	SF	Acres	\$/SF
913 HARRIS RD	1/31/2017	\$65,000	2005	1,443	1	\$ 45.05
4642 OLD ALLENTON	12/7/2015	\$64,000	1950	912	1	\$ 70.18
146 BEAR BAY	11/13/2014	\$48,000	1980	1,456	2.69	\$ 32.97
877 OLD ALLENTON	6/25/2013	\$46,500	1969	1,506	1.5	\$ 30.88
9697 NC 211	6/26/2012	\$61,000	1955	1,170	1.24	\$ 52.14
8355 E NC HWY 211	6/3/2015	\$75,000	1988	1,152	4.22	\$ 65.10

The physical variance in this data set would require a higher level of adjustment. Notwithstanding this fact, the sales along the 211 corridor provide a similar price point and price paid per square foot. The offsetting nature of the variances is reflected in the similar price point for most sales with the property closest to the tower having the highest price point. The analysis of this data set provides further evidence to our conclusion.

The following chart provides a summary of land sales for the area. Again, applying the same methodology as the previous analyses.

LAND SALES				
Address	Sale Date	Sales Price	Acres	\$/Acre
NC HWY 211	12/17/2014	\$17,500	0.59	\$ 29,661
699 BAY BEAR	6/18/2015	\$17,000	8.13	\$ 2,091
HARRIS RD	5/14/2015	\$8,500	1	\$ 8,500
HARRIS RD	8/17/2015	\$9,000	1.27	\$ 7,087
3 PITTMAN	4/4/2014	\$250,000	93.22	\$ 2,682
WILKES	5/1/2013	\$20,000	7.39	\$ 2,706
481 HARRIS RD	2/8/2013	\$25,500	0.92	\$ 27,717
538 DERWOOD	9/17/2012	\$45,000	17.74	\$ 2,537
DERWOOD	7/19/2012	\$80,000	24.84	\$ 3,221
PITTMAN	5/21/2012	\$15,000	14.08	\$ 1,065

The best matched pair in this data set is from the sales of two mobile home lots. While the price point was higher for the sale on Harris Road, the price per acre was higher for the lot on Highway 211. This indicates that size was a significant factor in the price paid. The size variance would be the most significant factor. The only other sale found lies on the lower end of the range of the data set, which is considered reasonable given its physical characteristics including some areas that appear to be undevelopable.



Kinlaw Road

The land sales in the area provide the most compelling evidence in the neighborhood for this tower. The following chart provides a summary of land sales in the area.

LAND SALES				
Address	Sale Date	Sales Price	Acres	\$/Acre
HOWELL RD	5/25/2012	\$98,000	47	\$ 2,085
TARHEEL RD	12/12/2012	\$13,000	3.37	\$ 3,858
346 BARNHILL	9/3/2013	\$28,500	8	\$ 3,563
5168 TARHEEL	1/3/2014	\$30,000	9.15	\$ 3,279
KINLAW RD	9/4/2014	\$27,000	6.87	\$ 3,930



The sale closest to the tower sold for the highest price per acre. Again, the market data for land around this cell tower indicates that the tower does not injure the prices paid for land in the neighborhood.

The following is a summary of single-family dwelling sales found in the neighborhood.

SFD SALES						
Address	Sale Date	Sales Price	Year Built	SF	Acres	\$/SF
88 BARNHILL	4/30/2012	\$76,000	1995	1,458	2.01	\$ 52.13
6876 HOWELL	5/22/2012	\$55,000	1988	1,344	1.98	\$ 40.92
7889 HOWELL	12/17/2012	\$37,500	1950	1,454	1.86	\$ 19.23
5168 TARHEEL	5/9/2013	\$125,000	1958	1,980	5	\$ 63.84
6225 HOWELL	8/10/2016	\$200,000	1999	2,837	1.01	\$ 100.05
6257 HOWELL	2/10/2017	\$225,000	2007	3,303	1	\$ 112.11
306 TARHEEL	10/17/2013	\$177,500	1953	3,087	5.03	\$ 90.89
3647 TARHEEL	9/5/2014	\$46,000	1992	1,296	0.92	\$ 23.09
5478 TARHEEL	10/3/2014	\$125,000	2002	1,920	8.4	\$ 62.44
8191 HOWELL	11/10/2014	\$71,000	1980	1,032	1.02	\$ 35.86
470 KINLAW RD	12/31/2014	\$42,500	1982	1,338	1.5	\$ 21.44
KINLAW RD	6/15/2015	\$73,500	1962	1,485	0.89	\$ 37.46

The review of sales of single-family dwellings reveals that age and condition of the improvements is the most significant factor in the prices paid. Development in the area is sparse and supply side pressures in the market and low number of transactions indicates that the neighborhood is in the stable phase of its economic development. This is similar to the subject's neighborhood. The sales price paid for the properties along the corridor of the tower and other corridors is consistent.



Davidson Drive



This tower is in Bladen County. The surrounding developments are comparable to the subject and is included in this analysis. The tower is located off Davidson Drive and has a height of 350 feet. The single-family dwelling sales in the neighborhood were insufficient quantity (two sales found), to provide a credible analysis. However, the sales of land as shown on the following chart provide a reflection of the market. The following chart is a summary of the sales. Note the two first sales in the chart are for mobile home lots.

LAND SALES				
Address	Sale Date	Sales Price	Acres	\$/Acre
2392 GUYTON	7/19/2012	\$10,000	1	\$ 10,000
300 GASTON DR	2/23/2015	\$19,000	1.7	\$ 11,176
MASSEY RD	10/16/2012	\$25,000	15.35	\$ 1,629
GUYTON ROAD	5/31/2013	\$9,000	0.98	\$ 9,184
GUYTON RD	10/18/2013	\$20,000	5.57	\$ 3,591
MASSEY RD	12/3/2013	\$6,000	0.9	\$ 6,667
MASSEY RD	4/23/2014	\$31,500	12.37	\$ 2,546
1023 STORMS RD	3/20/2015	\$9,000	2	\$ 4,500
303 GASTON DR	8/29/2015	\$11,000	0.89	\$ 12,360

The land sales for lots near the tower are consistent with other lot sales found with no visual influence from the tower. The two lots highlighted in yellow reflect the upper end of the range for vacant land. The market data indicates that development near the tower has not influenced the normal course of development for the immediate area. Further, the market data indicates that buyers are paying similar prices for lots within the visual sphere of influence of a cell tower.



The next tower with adequate data is a lattice tower located at 2517 Providence Road in Weddington, North Carolina. We include this analysis as some of the vacant tracts near the subject may be developed for residential purposes. This tower as shown on the photograph poses a significant visual impact on the subdivision to the north, Inverness at Providence Road. The following chart provides a summary of market data for homes in the subdivision. The sales highlighted in yellow have significant visual impact from the tower. The sales highlighted in green are resales of the same property to reflect the appreciating market.

Inverness Subdivision Sales																	
Parcel Number	Book & Page	Acreage	Address	Sale Amount	Sale Date	Year Built	SF	S/SF	Parcel Number	Book & Page	Acreage	Address	Sale Amount	Sale Date	Year Built	SF	S/SF
6159379	7154 747	0.32	104 SOMERLED WAY	\$ 508,500	5/11/2018	2018	3,479	\$ 146.16	6159445	7736 0391	0.36	309 SOMERLED WAY	\$ 525,000	7/15/2020	2016	3,893	\$ 134.86
6159380	7145 188	0.37	108 SOMERLED WAY	\$ 471,000	4/27/2018	2017	3,859	\$ 122.05	6159446	6781 278	0.38	313 SOMERLED WAY	\$ 557,000	9/28/2016	2016	4,339	\$ 128.37
6159381	7146 402	0.4	112 SOMERLED WAY	\$ 438,500	4/30/2018	2017	3,248	\$ 135.01	6159447	7120 362	0.32	317 SOMERLED WAY	\$ 534,500	3/19/2018	2017	4,291	\$ 124.56
6159382	7172 333	0.4	113 SOMERLED WAY	\$ 559,000	6/8/2018	2015	3,921	\$ 142.57	6159448	7225 798	0.25	321 SOMERLED WAY	\$ 490,000	8/29/2018	2018	3,788	\$ 129.36
6159383	7219 178	0.24	117 SOMERLED WAY	\$ 520,000	8/20/2018	2015	3,243	\$ 160.35	6159449	7244 446	0.25	325 SOMERLED WAY	\$ 472,500	10/1/2018	2018	4,225	\$ 111.83
6159384	7244 560	0.24	121 SOMERLED WAY	\$ 514,000	10/1/2018	2018	4,354	\$ 118.05	6159450	7536 0594	0.25	329 SOMERLED WAY	\$ 542,500	12/10/2019	2016	3,824	\$ 141.87
6159385	7942 0230	0.24	125 SOMERLED WAY	\$ 550,000	1/4/2021	2018	3,248	\$ 169.33	6159451	6967 230	0.25	333 SOMERLED WAY	\$ 540,000	7/5/2017	2016	4,556	\$ 118.53
6159386	6719 319	0.26	129 SOMERLED WAY	\$ 503,500	7/12/2016	2015	3,921	\$ 128.41	6159452	7219 017	0.27	337 SOMERLED WAY	\$ 455,000	8/17/2018	2018	3,248	\$ 140.09
6159387	6546 130	0.27	201 SOMERLED WAY	\$ 486,000	10/12/2015	2015	3,942	\$ 123.29	6159453	7147 488	0.32	341 SOMERLED WAY	\$ 483,000	5/1/2018	2017	3,892	\$ 124.10
6159388	6699 852	0.25	205 SOMERLED WAY	\$ 453,000	6/16/2016	2016	3,245	\$ 139.60	6159454	7144 410	0.33	345 SOMERLED WAY	\$ 491,500	4/26/2018	2017	3,248	\$ 151.32
6159389	6822 104	0.25	209 SOMERLED WAY	\$ 491,000	11/18/2016	2015	3,900	\$ 125.90	6159455	7684 0116	0.32	349 SOMERLED WAY	\$ 525,000	5/29/2020	2016	3,415	\$ 153.73
6159390	6825 072	0.25	213 SOMERLED WAY	\$ 471,000	11/22/2016	2015	3,756	\$ 125.40	6159458	6885 265	0.353	105 BARCLAY DR	\$ 467,000	3/1/2017	2016	3,646	\$ 128.09
6159391	6633 228	0.3	217 SOMERLED WAY	\$ 478,000	3/16/2016	2015	3,868	\$ 123.58	6159459	6880 725	0.342	109 BARCLAY DR	\$ 528,500	2/22/2017	2016	3,173	\$ 166.56
6159392	6950 743	0.242	317 BARCLAY DR	\$ 668,500	6/12/2017	2016	6,507	\$ 102.74	6159460	6940 081	0.317	113 BARCLAY DR	\$ 518,000	5/26/2017	2017	4,291	\$ 120.72
6159393	6851 790	0.27	321 BARCLAY DR	\$ 502,500	12/29/2016	2016	3,897	\$ 128.95	6159461	7047 708	0.358	117 BARCLAY DR	\$ 417,500	11/3/2017	2017	3,160	\$ 132.12
6159394	6645 149	0.35	325 BARCLAY DR	\$ 495,500	4/1/2016	2015	3,892	\$ 127.31	6159462	6920 777	0.305	121 BARCLAY DR	\$ 571,000	4/27/2017	2017	4,775	\$ 119.58
6159396	6670 745	0.23	333 BARCLAY DR	\$ 491,500	5/9/2016	2016	3,892	\$ 126.28	6159463	7429 307	0.25	125 BARCLAY DR	\$ 588,000	7/13/2019	2018	3,892	\$ 151.08
6159397	6712 081	0.23	337 BARCLAY DR	\$ 391,500	6/30/2016	2016	3,180	\$ 123.11	6159463	7224 607	0.25	125 BARCLAY DR	\$ 572,000	8/28/2018	2018	3,892	\$ 146.97
6159398	6823 029	0.28	341 BARCLAY DR	\$ 458,500	11/18/2016	2016	3,186	\$ 143.91	6159464	7122 746	0.271	129 BARCLAY DR	\$ 526,500	3/22/2018	2017	5,874	\$ 89.63
6159399	7086 853	0.29	2905 MERRYVALE WAY	\$ 545,000	1/12/2018	2016	4,232	\$ 128.09	6159466	7488 0001	0.274	137 BARCLAY DR	\$ 570,000	10/11/2019	2017	4,560	\$ 125.00
6159400	6846 365	0.29	2909 MERRYVALE WAY	\$ 538,000	12/21/2016	2016	4,434	\$ 121.34	6159467	6921 598	0.274	141 BARCLAY DR	\$ 452,000	4/28/2017	2017	3,426	\$ 131.93
6159401	6659 509	0.31	2913 MERRYVALE WAY	\$ 459,000	4/25/2016	2016	3,245	\$ 141.45	6159468	7397 0704	0.25	145 BARCLAY DR	\$ 521,000	6/21/2019	2017	3,763	\$ 138.45
6159402	6655 785	0.38	2917 MERRYVALE WAY	\$ 507,000	4/19/2016	2015	3,868	\$ 131.08	6159469	7032 212	0.25	149 BARCLAY DR	\$ 458,000	10/11/2017	2017	3,167	\$ 144.62
6159403	6782 657	0.39	2920 MERRYVALE WAY	\$ 553,500	9/29/2016	2016	4,339	\$ 127.56	6159470	7223 321	0.25	153 BARCLAY DR	\$ 486,500	8/24/2018	2018	4,260	\$ 114.20
6159404	6853 642	0.36	2916 MERRYVALE WAY	\$ 545,000	12/30/2016	2016	4,516	\$ 120.68	6159471	7244 507	0.25	157 BARCLAY DR	\$ 545,500	10/1/2018	2018	4,310	\$ 126.57
6159405	6640 381	0.28	2912 MERRYVALE WAY	\$ 452,000	3/28/2016	2015	3,884	\$ 116.37	6159472	7243 553	0.25	161 BARCLAY DR	\$ 469,500	9/28/2018	2018	3,666	\$ 128.07
6159406	6590 757	0.29	2908 MERRYVALE WAY	\$ 452,500	12/28/2015	2015	3,909	\$ 115.76	6159473	7237 611	0.25	165 BARCLAY DR	\$ 468,000	9/20/2018	2018	3,889	\$ 120.34
6159407	6591 307	0.29	2904 MERRYVALE WAY	\$ 448,000	12/28/2015	2015	3,892	\$ 115.11	6159474	7177 736	0.25	169 BARCLAY DR	\$ 511,500	6/18/2018	2018	3,822	\$ 133.83
6159408	6591 474	0.33	2900 MERRYVALE WAY	\$ 451,000	12/29/2015	2015	3,868	\$ 116.60	6159475	7237 408	0.25	173 BARCLAY DR	\$ 480,000	9/20/2018	2018	3,892	\$ 123.33
6159409	6690 738	0.29	2808 MERRYVALE WAY	\$ 419,000	6/3/2016	2016	3,245	\$ 129.12	6159476	7778 110	0.25	177 BARCLAY DR	\$ 530,000	8/19/2020	2018	3,559	\$ 148.92
6159410	6643 595	0.32	2804 MERRYVALE WAY	\$ 513,000	3/31/2016	2015	3,756	\$ 136.58	6159476	7235 595	0.25	177 BARCLAY DR	\$ 489,000	9/18/2018	2018	3,559	\$ 137.40
6159411	7150 630	0.25	120 SOMERLED WAY	\$ 456,000	5/4/2018	2017	3,559	\$ 128.13	6159477	7775 473	0.298	181 BARCLAY DR	\$ 585,000	8/17/2020	2018	3,788	\$ 154.44
6159412	6688 409	0.24	124 SOMERLED WAY	\$ 432,000	6/1/2016	2015	3,106	\$ 139.09	6159477	7227 402	0.298	181 BARCLAY DR	\$ 529,500	8/31/2018	2018	3,788	\$ 139.78
6159413	7273 540	0.29	128 SOMERLED WAY	\$ 505,000	11/26/2018	2015	3,892	\$ 129.75	6159478	7243 069	0.287	185 BARCLAY DR	\$ 430,000	9/28/2018	2018	3,248	\$ 132.39
6159414	6959 391	0.28	200 SOMERLED WAY	\$ 459,000	6/26/2017	2017	3,701	\$ 124.02	6159479	7202 403	0.287	189 BARCLAY DR	\$ 534,000	7/24/2018	2018	3,274	\$ 163.10
6159415	6608 661	0.25	204 SOMERLED WAY	\$ 419,000	2/1/2016	2015	3,868	\$ 108.32	6159480	7437 393	0.287	193 BARCLAY DR	\$ 549,000	8/12/2019	2017	3,592	\$ 152.84
6159416	6731 757	0.25	208 SOMERLED WAY	\$ 467,500	7/28/2016	2016	3,890	\$ 120.18	6159480	7110 539	0.287	193 BARCLAY DR	\$ 520,000	2/28/2018	2017	3,592	\$ 144.77
6159417	6757 188	0.25	212 SOMERLED WAY	\$ 456,500	8/30/2016	2016	3,881	\$ 117.62	6159481	7077 103	0.287	197 BARCLAY DR	\$ 621,500	12/22/2017	2017	6,158	\$ 100.93
6159419	7045 313	0.3	220 SOMERLED WAY	\$ 460,000	10/31/2017	2016	3,173	\$ 144.97	6159482	7917 0532	0.295	201 BARCLAY DR	\$ 530,000	10/11/2020	2017	3,626	\$ 162.58
6159420	6868 158	0.27	328 BARCLAY DR	\$ 529,500	1/31/2017	2016	4,340	\$ 122.00	6159483	7040 873	0.29	205 BARCLAY DR	\$ 462,000	10/25/2017	2017	3,900	\$ 118.46
6159421	6971 136	0.25	332 BARCLAY DR	\$ 466,000	7/12/2017	2017	3,833	\$ 121.58	6159484	7079 604	0.267	209 BARCLAY DR	\$ 521,000	12/29/2017	2017	3,806	\$ 136.89
6159422	7204 509	0.29	336 BARCLAY DR	\$ 530,000	7/27/2018	2016	4,339	\$ 122.15	6159485	7042 866	0.283	213 BARCLAY DR	\$ 430,500	10/27/2017	2017	3,173	\$ 135.68
6159423	6725 875	0.42	340 BARCLAY DR	\$ 533,000	7/21/2016	2016	3,892	\$ 136.95	6159486	7003 282	0.371	200 BARCLAY DR	\$ 558,500	8/28/2017	2017	4,531	\$ 123.26
6159424	7242 439	0.33	301 SOMERLED WAY	\$ 500,000	9/27/2018	2016	4,310	\$ 116.01	6159487	6959 514	0.324	188 BARCLAY DR	\$ 488,500	6/26/2017	2017	3,911	\$ 124.90
6159425	6842 058	0.32	305 SOMERLED WAY	\$ 433,500	12/16/2016	2016	3,173	\$ 136.62	6159488	6985 188	0.333	180 BARCLAY DR	\$ 552,000	7/31/2017	2017	4,541	\$ 121.56
6159433	7224 094	0.3	301 BARCLAY DR	\$ 455,500	8/27/2018	2018	3,479	\$ 130.93	6159489	7091 878	0.254	172 BARCLAY DR	\$ 495,500	1/24/2018	2017	3,274	\$ 151.34
6159434	6825 757	0.27	305 BARCLAY DR	\$ 644,500	11/22/2016	2016	5,830	\$ 110.55	6159490	7205 416	0.25	168 BARCLAY DR	\$ 503,500	7/30/2018	2018	4,310	\$ 116.82
6159435	6825 096	0.28	309 BARCLAY DR	\$ 632,000	11/22/2016	2016	5,954	\$ 106.15	6159491	7066 746	0.25	164 BARCLAY DR	\$ 482,000	12/7/2017	2017	4,211	\$ 114.46
6159436	6744 188	0.33	313 BARCLAY DR	\$ 534,500	8/15/2016	2016	3,868	\$ 138.19	6159492	7073 062	0.25	160 BARCLAY DR	\$ 477,500	12/18/2017	2017	3,912	\$ 122.06
6159437	7147 247	0.28	308 SOMERLED WAY	\$ 464,500	4/30/2018	2016	3,879	\$ 119.75	6159493	7546 349	0.25	156 BARCLAY DR	\$ 521,000	12/20/2019	2017	3,248	\$ 160.41
6159438	6660 854	0.25	316 SOMERLED WAY	\$ 465,500	4/26/2016	2016	3,890	\$ 119.67	6159493	7140 614	0.25	156 BARCLAY DR	\$ 514,500	4/20/2018	2017	3,248	\$ 158.41
6159439	6693 863	0.24	320 SOMERLED WAY	\$ 448,000	6/8/2016	2016	3,868	\$ 115.82	6159494	6982 514	0.25	152 BARCLAY DR	\$ 506,000	7/27/2017	2017	4,566	\$ 110.82
6159440	7232 454	0.24	324 SOMERLED WAY	\$ 533,000	9/10/2018	2016	3,756	\$ 141.91	6159495	7193 083	0.25	148 BARCLAY DR	\$ 470,000	4/18/2018	2017	3,883	\$ 121.04
6159441	6693 353	0.24	328 SOMERLED WAY	\$ 495,000	6/8/2016	2016	4,408	\$ 145.25	6159496	7067 001	0.25	144 BARCLAY DR	\$ 500,000	12/7/2017	2017	4,311	\$ 115.98
6159442	6653 116	0.24	332 SOMERLED WAY	\$ 452,500	4/14/2016	2015	3,890	\$ 116.32	6159497	6885 172	0.307	140 BARCLAY DR	\$ 473,000	2/28/2017	2016	3,918	\$ 120.72
6159443	6712 158	0.29	340 SOMERLED WAY	\$ 456,500	7/1/20												

Inverness Summary			
	Size	Sale Price	\$/SF
<b>Minimum</b>	3,106	\$ 391,500	\$ 89.63
<b>Maximum</b>	6,507	\$ 668,500	\$ 186.17
<b>Average</b>	3,894	\$ 501,287	\$ 130.65
<b>Median</b>	3,879	\$ 495,500	\$ 128.09

The most significant factor in the analysis of the data is the date of sale. The housing shortage has shown a spike in prices paid. The price point for these homes averages approximately \$500,000. The sales prices for the houses with visual influence from the tower range from \$448,000 to \$553,500 which is consistent with the sales of homes without a visual influence despite their older sale date. The price per square foot for the impacted houses ranges from \$115.11 to \$141.45 per square foot. Again, the rates bookend the median and averages for the neighborhood. The indication from the analysis is that the presence of a cell tower posing a higher level of visual impact with a light did not significantly impact the value of properties.

**Other Considerations**

Other potential impacts to the surrounding area include noise, traffic, and lighting. The operation of a cell tower is essentially silent and would not influence the surrounding developments. The additional traffic caused by the proposed development is nominal and would likely occur for routine maintenance. Any increases in traffic do not impact the contiguous properties. The tower will include a light atop the tower in accordance with FAA regulations. The examples provided include towers with a light atop the tower. The indication is that the requested variance for a taller tower will not impact surrounding property values.

**Conclusions**

The sparse market activity and towers in this portion of Oconee County indicates that the market is stable. The mixture of land uses is likely to continue for the foreseeable future. These uses are not impeded by the development of a cell tower. The results of studies including those included in this report show consistency between prices paid for land and single-family dwellings in rural areas where cell towers are present.



Therefore, I conclude that the proposed development of a cell tower will not be a detriment to property values in the area.

### Subject Neighborhood

In addition to the market activity for existing towers, we also consider the surrounding developments for the subject. The question posed for this study is “would the development of the telecommunications support structure warrant a downward adjustment to adjacent properties?”

When considering an adjustment in an appraisal, the appraiser must consider all factors that could contribute to an adjustment. The aesthetics and location of the proposed development as well as the existing developments are a factor in developing our opinion. The factors considered in developing our opinion include but are not necessarily limited to:

- The market has not shown a detrimental impact on development patterns in areas with visual influence from a tower.
- The existing infrastructure includes above ground electrical lines and a transmission corridor that pose a higher level of visual impact than the proposed tower despite its proposed height.
- The siting of the proposed tower in conjunction with the vegetative buffer will obscure most if not all the tower from nearby properties.

All these factors would contribute to the aesthetic appeal and a hypothetical valuation of properties in the neighborhood. The multitude of factors would indicate that multicollinearity for aesthetics exists for properties contiguous to the subject. Multicollinearity arises when multiple items correlate with each other. The multiple factors can cause a distortion of the impact of any of the factors individually without consideration for all the factors that contribute to the common issue.

In the case of the proposed development, all the residentially zoned properties include significant tree cover between the proposed tower and their respective improvements. To attribute any adjustment to the proposed development would be misleading and not result in a credible adjustment. In other words, any adjustment for the development of a tower on a nearby property without consideration of the numerous other aesthetic influences would not be credible.

The proposed development has siting and existing buffers to minimize to the extent possible the visual impact of the proposed tower. The development of telecommunications towers especially near schools is common even in rural areas. It is my opinion that the proposed development will not substantially detract from the aesthetics or character of the neighborhood because of its location, existing vegetative buffer, and existing external influences.



**Michael P. Berkowitz**

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**ADDENDA**

## **Certifications**



**CERTIFICATION OF THE ANALYST**

I, Michael P. Berkowitz, certify that, to the best of my knowledge and belief,

1. The statements of fact contained in this report are true and correct.
2. The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions.
3. I have no present or prospective interest in the property that is the subject of this report and no personal interest with respect to the parties involved.
4. I have performed no services, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.
5. I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
6. My engagement in this assignment was not contingent upon developing or reporting predetermined results.
7. My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this study.
8. The reported analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the *Uniform Standards of Professional Appraisal Practice*.
9. The use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representatives.
10. I have made a personal inspection of the property that is the subject of this report.
11. No one provided significant real property appraisal assistance to the person(s) signing this certification other than those individuals having signed the attached report.



A handwritten signature in black ink that reads "Michael P. Berkowitz".

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Michael P. Berkowitz  
 (NC State Certified General Real Estate Appraiser #A6169)  
 (SC State Certified General Real Estate Appraiser #CG6277)

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September 7, 2022

Date

(Rev: 06/18/12)

**ASSUMPTIONS AND LIMITING CONDITIONS**

## ASSUMPTIONS AND LIMITING CONDITIONS

### Limit of Liability

The liability of MPB REAL ESTATE, LLC and employees is limited to the client only and to the fee actually received by our firm. Further, there is no accountability, obligation, or liability to any third party. If this report is placed in the hands of anyone other than client, the client shall make such party aware of all limiting conditions and assumptions of the assignment and related discussions. Further, client will forever indemnify and hold MPB REAL ESTATE, LLC, its officers, and employees harmless from any claims by third parties related in any way to the appraisal or study which is the subject of the report. Third parties shall include limited partners of client if client is a partnership and stockholders of client if client is a corporation, and all lenders, tenants, past owners, successors, assigns, transferees, and spouses of client. MPB REAL ESTATE, LLC will not be responsible for any costs incurred to discover or correct any deficiencies of any type present in the property, physically, financially, and/or legally.

### Copies, Distribution, Use of Report

Possession of this report or any copy of this report does not carry with it the right of publication, nor may it be used for other than its intended use; the physical report remains the property of MPB REAL ESTATE, LLC for the use of the client, the fee being for the analytical services only.

The bylaws and regulations of the Appraisal Institute require each member and candidate to control the use and distribution of each report signed by such member or candidate; except, however, the client may distribute copies of this report in its entirety to such third parties as he may select; however, selected portions of this report shall not be given to third parties without the prior written consent of the signatories of this report. Neither all nor any part of this report shall be disseminated to the general public by the use of advertising media, public relations, news, sales or other media for public communication without the prior written consent of MPB REAL ESTATE, LLC.

### Confidentiality

This report is to be used only in its entirety and no part is to be used without the whole report. All conclusions and opinions concerning the analysis as set forth in the report were prepared by MPB REAL ESTATE, LLC whose signatures appear on the report. No change of any item in the report shall be made by anyone other than MPB REAL ESTATE, LLC. MPB REAL ESTATE, LLC shall have no responsibility if any such unauthorized change is made.

MPB REAL ESTATE, LLC may not divulge the material contents of the report, analytical findings or conclusions, or give a copy of the report to anyone other than the client or his designee as specified in writing except as may be required by the Appraisal Institute as they may request in confidence for ethics enforcement, or by a court of law or body with the power of subpoena.

### Trade Secrets

This report was obtained from MPB REAL ESTATE, LLC and consists of "trade secrets and commercial or financial information" which is privileged and confidential and exempted from disclosure under 5 U.S.C. 552 (b) (4) of the Uniform Commercial Code. MPB REAL ESTATE, LLC shall be notified of any request to reproduce this report in whole or in part.

**Information Used**

No responsibility is assumed for accuracy of information furnished by or work of others, the client, his designee, or public records. We are not liable for such information or the work of subcontractors. The comparable data relied upon in this report has been confirmed with one or more parties familiar with the transaction or from affidavit or other sources thought reasonable; all are considered appropriate for inclusion to the best of our factual judgment and knowledge. An impractical and uneconomic expenditure of time would be required in attempting to furnish unimpeachable verification in all instances, particularly as to engineering and market-related information. It is suggested that the client consider independent verification as a prerequisite to any transaction involving sale, lease, or other significant commitment of funds for the subject property.

**Financial Information**

Our value opinion(s) have been based on unaudited financials, and other data provided to us by management and/or owners. If these reports are found to be inaccurate, we reserve the right to revise our value opinion(s). It is noted we are depending on these accounting statements as being accurate and our interpretation of these statements as being accurate as well. If these assumptions later prove to be false, we reserve the right to amend our opinions of value.

**Testimony, Consultation, Completion of Contract for Report Services**

The contract for report, consultation, or analytical service is fulfilled and the total fee payable upon completion of the report, unless otherwise specified. MPB REAL ESTATE, LLC or those assisting in preparation of the report will not be asked or required to give testimony in court or hearing because of having made the report, in full or in part, nor engage in post report consultation with client or third parties except under separate and special arrangement and at an additional fee. If testimony or deposition is required because of any subpoena, the client shall be responsible for any additional time, fees, and charges, regardless of issuing party.

**Exhibits**

The illustrations and maps in this report are included to assist the reader in visualizing the property and are not necessarily to scale. Various photographs, if any, are included for the same purpose as of the date of the photographs. Site plans are not surveys unless so designated.

**Legal, Engineering, Financial, Structural or Mechanical Nature, Hidden Components, Soil**

No responsibility is assumed for matters legal in character or nature, nor matters of survey, nor of any architectural, structural, mechanical, or engineering nature. No opinion is rendered as to the title, which is presumed to be good and marketable. The property is appraised as if free and clear, unless otherwise stated in particular parts of the report. The legal description is assumed to be correct as used in this report as furnished by the client, his designee, or as derived by MPB REAL ESTATE, LLC.

MPB REAL ESTATE, LLC has inspected as far as possible, by observation, the land and the improvements; however, it was not possible to personally observe conditions beneath the soil, or hidden structural, mechanical or other components, and MPB REAL ESTATE, LLC shall not be responsible for defects in the property which may be related.

The report is based on there being no hidden, unapparent, or apparent conditions of the property site, subsoil or structures or toxic materials which would render it more or less valuable. No



responsibility is assumed for any such conditions or for any expertise or engineering to discover them. All mechanical components are assumed to be in operable condition and status standard for properties of the subject type. Conditions of heating, cooling, ventilation, electrical, and plumbing equipment are considered to be commensurate with the condition of the balance of the improvements unless otherwise stated. We are not experts in this area, and it is recommended, if appropriate, the client obtain an inspection of this equipment by a qualified professional.

If MPB REAL ESTATE, LLC has not been supplied with a termite inspection, survey or occupancy permit, no responsibility or representation is assumed or made for any costs associated with obtaining same or for any deficiencies discovered before or after they are obtained. No representation or warranties are made concerning obtaining the above-mentioned items.

MPB REAL ESTATE, LLC assumes no responsibility for any costs or consequences arising due to the need, or the lack of need, for flood hazard insurance. An agent for The Federal Flood Insurance Program should be contacted to determine the actual need for Flood Hazard Insurance.

### **Legality of Use**

The report is based on the premise that there is full compliance with all applicable federal, state and local environmental regulations and laws unless otherwise stated in the report; further, that all applicable zoning, building and use regulations, and restrictions of all types have been complied with unless otherwise stated in the report. Further, it is assumed that all required licenses, consents, permits, or other legislative or administrative authority, local, state, federal and/or private entity or organization have been or may be obtained or renewed for any use considered in the value estimate.

### **Component Values**

The distribution of the total valuation in this report between land and improvements applies only under the existing program of utilization. The separate valuations for land and building must not be used in conjunction with any other report and are invalid if so used.

### **Auxiliary and Related Studies**

No environmental or impact studies, special market study or analysis, highest and best use analysis, study or feasibility study has been required or made unless otherwise specified in an agreement for services or in the report.

### **Dollar Values, Purchasing Power**

The market value estimated, and the costs used are as of the date of the estimate of value, unless otherwise indicated. All dollar amounts are based on the purchasing power and price of the dollar as of the date of the value estimate.

### **Inclusions**

Furnishings and equipment or personal property or business operations, except as specifically indicated and typically considered as a part of real estate, have been disregarded with only the real estate being considered in the value estimate, unless otherwise stated. In some property types, business and real estate interests and values are combined.

**Proposed Improvements, Conditional Value**

Improvements proposed, if any, onsite or offsite, as well as any repairs required, are considered for purposes of this report to be completed in a timely, good and workmanlike manner, according to information submitted and/or considered by MPB REAL ESTATE, LLC. In cases of proposed construction, the report is subject to change upon inspection of property after construction is completed.

**Value Change, Dynamic Market, Influences, Alteration of Estimate**

The estimated value, which is defined in the report, is subject to change with market changes over time. Value is highly related to exposure, time, promotional effort, terms, motivation, and conditions surrounding the offering. The value estimate considers the productivity and relative attractiveness of the property physically and economically in the marketplace.

In cases of reports involving the capitalization of income benefits, the estimate of market value or investment value or value in use is a reflection of such benefits and MPB REAL ESTATE, LLC' interpretation of income and yields and other factors derived from general and specific client and market information. Such estimates are as of the date of the estimate of value; thus, they are subject to change as the market and value is naturally dynamic.

The “estimate of market value” in the report is not based in whole or in part upon the race, color, or national origin of the present owners or occupants of the properties in the vicinity of the property appraised.

**Report and Value Estimate**

Report and value estimate are subject to change if physical or legal entity or financing differ from that envisioned in this report.

**Management of the Property**

It is assumed that the property which is the subject of this report will be under prudent and competent ownership and management.

**Hazardous Materials**

Unless otherwise stated in this report, the existence of hazardous substances, including without limitation, asbestos, polychlorinated biphenyls, petroleum leakage, or agricultural chemicals, which may or may not be present on the property, or other environmental conditions, were not called to the attention of nor did MPB REAL ESTATE, LLC become aware of such during their inspection. MPB REAL ESTATE, LLC had no knowledge of the existence of such materials on or in the property unless otherwise stated. MPB REAL ESTATE, LLC, however, is not qualified to test such substances or conditions. If the presence of such substances such as asbestos, urea formaldehyde foam insulation, or other hazardous substances or environmental conditions, may affect the value of the property, the value estimate is predicated on the assumption that there is no such condition on or in the property or in the proximity that it would cause a loss in value. No responsibility is assumed for any such conditions, nor for any expertise or engineering knowledge required to discover them.

**Soil and Subsoil Conditions**

Unless otherwise stated in this report, MPB REAL ESTATE, LLC does not warrant the soil or subsoil conditions for toxic or hazardous waste materials. Where any suspected materials might

be present, we have indicated in the report; however, MPB REAL ESTATE, LLC are not experts in this field and recommend appropriate engineering studies to monitor the presence or absence of these materials.

**Americans with Disabilities Act (ADA)**

“MPB REAL ESTATE, LLC has not made a specific compliance survey and analysis of this property to determine whether or not it is in conformity with the various detailed requirements of the Americans with Disabilities Act (ADA), which became effective January 26, 1992. It is possible that a compliance survey of the property together with a detailed analysis of the requirements of the ADA could reveal that the property is not in compliance with one or more of the requirements of the Act. If so, this fact could have a negative effect upon the value of the property. Since MPB REAL ESTATE, LLC has no direct evidence relating to this issue, we did not consider possible non-compliance with the requirements of ADA in estimating the value of the property.”

## **Qualifications of the Analyst**



QUALIFICATIONS OF THE ANALYST

**Michael P. Berkowitz**

MPB Real Estate, LLC  
 1430 South Mint Street, Suite 102  
 Charlotte, North Carolina 28203  
 (704) 334-4686  
 FAX (704) 334-2759

---

**EDUCATION AND CREDENTIALS**

- **Duke University**  
 Major: Economics 1985-1989
  
- **Central Piedmont Community College**
  - R-1 - Introduction to Real Estate Appraisal, 2002
  - R-2 - Valuation Principles and Procedures, 2002
  - R-3 - Applied Residential Property Valuation, 2002
  - G-1 - Introduction to Income Property Appraisal, 2003
  
- **Bob Ipock and Associates**
  - G-2 - Advanced Income Capitalization Procedures, 2003
  - G-3 - Applied Property Income Valuation 2004
  
- **Appraisal Institute**
  - 520 Highest and Best Use and Market Analysis, 2004
  - Seminar Rates, Multipliers and Ratios 2005
  - 530 Advanced Sales Comparison and Cost Approaches 2006
  - Seminar Apartment Appraisal, Concepts & Applications 2009
  - Seminar Appraising Distresses Commercial Real Estate 2009
  - Seminar Appraising Convenience Stores 2011
  - Seminar Analyzing Operating Expenses 2011

**AFFILIATIONS AND ACTIVITIES**

- **Association Memberships**  
 North Carolina State Certified General Real Estate Appraiser, October 2006, Certificate No. A6169

**RELATED EXPERIENCE**

- Provided real estate consulting services for a variety of clients including real estate brokers, property owners and financial planners
- Performed financial feasibility studies for multiple property types including golf communities, and renovation projects.
- Developed plan for self-contained communities.
- Racetrack expertise

## **APPRAISAL EXPERIENCE**

A partial list of types of properties appraised include:  
Retail Properties, Single and Multi-Tenant, Proposed and Existing  
Office Single and Multi-Tenant Proposed and Existing  
Mixed-Use Properties, Proposed and Existing  
Industrial Properties, Warehouse, Flex and Manufacturing  
Vacant Land  
Condemnation  
C-Stores  
Racetracks

## **CLIENTELE**

Bank of America  
Transylvania County  
Cabarrus County  
Mecklenburg County  
City of Statesville  
NC Department of Transportation  
Henry County, GA  
Town of Loudon, NH  
First Citizens Bank  
RBC Centura Bank  
City of Charlotte  
City of Concord  
Union County  
BB & T  
Aegon USA Realty Advisors  
Sun Trust Bank  
First Charter Bank  
Regions Bank  
Charlotte Housing Authority  
Alliance Bank and Trust  
Broadway Bank  
Duke Energy Corporation  
Jim R. Funderburk, PLLC  
Hamilton, Fay, Moon, Stephens, Steele & Martin  
Senator Marshall A. Rauch  
Perry, Bundy, Plyler & Long, LLP  
Robinson, Bradshaw & Hinson  
CSX Real Property  
Baucom, Clayton, Burton, Morgan & Wood, PA  
City of Mount Holly  
Our Towns Habitat for Humanity  
Parker, Poe, Adams & Bernstein, LLP  
Central Carolina Bank

Southern Community Bank and Trust





**EXHIBIT M**

**Application for Special Exception (proposed communication tower)**

**Parcel ID: 235-00-02-030; PeakNet (applicant)**

Proposed PeakNet “Westminster” Tower

AT&T Site 016-237

FA 15535664

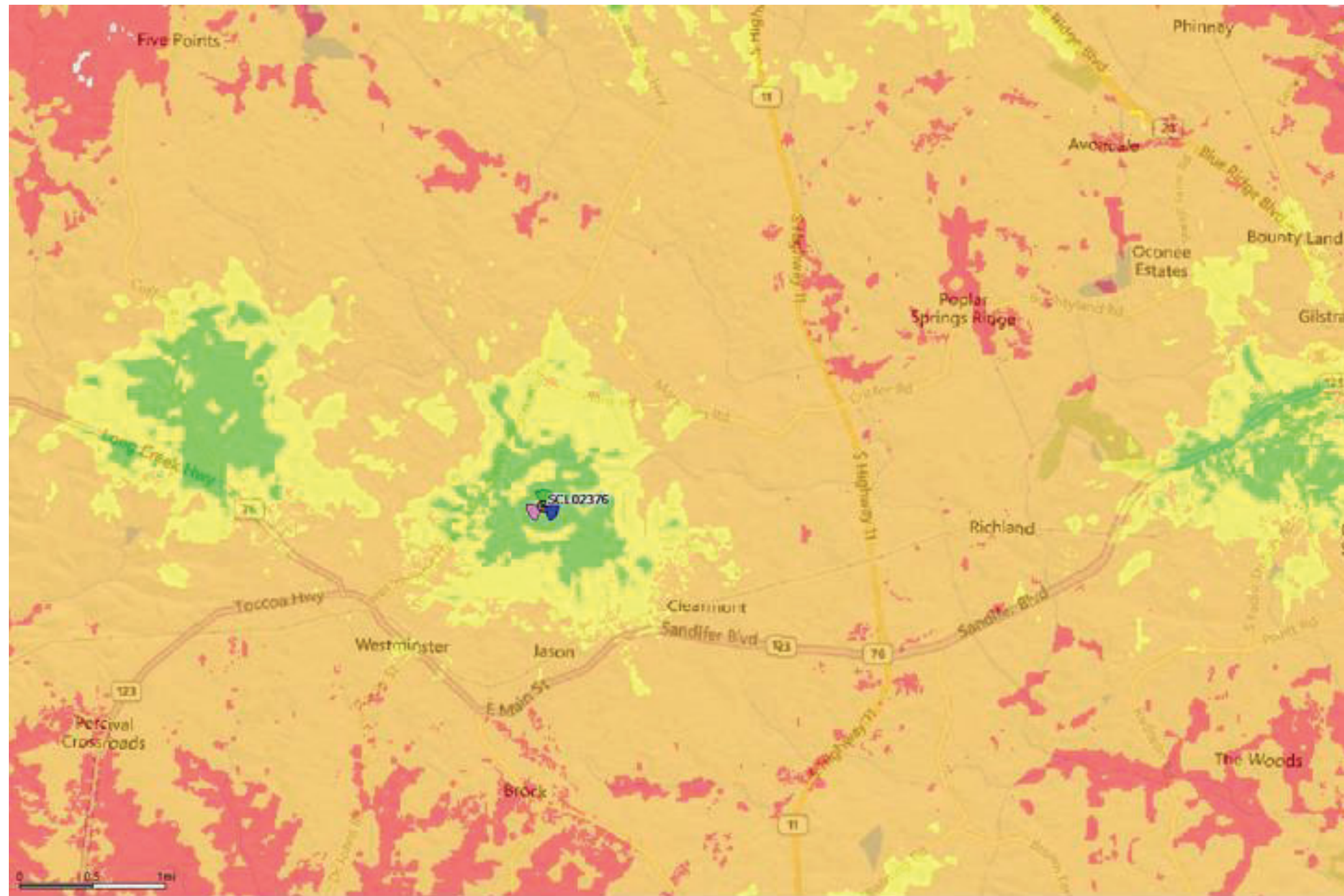
Coverage Maps

290 ft Antenna Centerline

vs

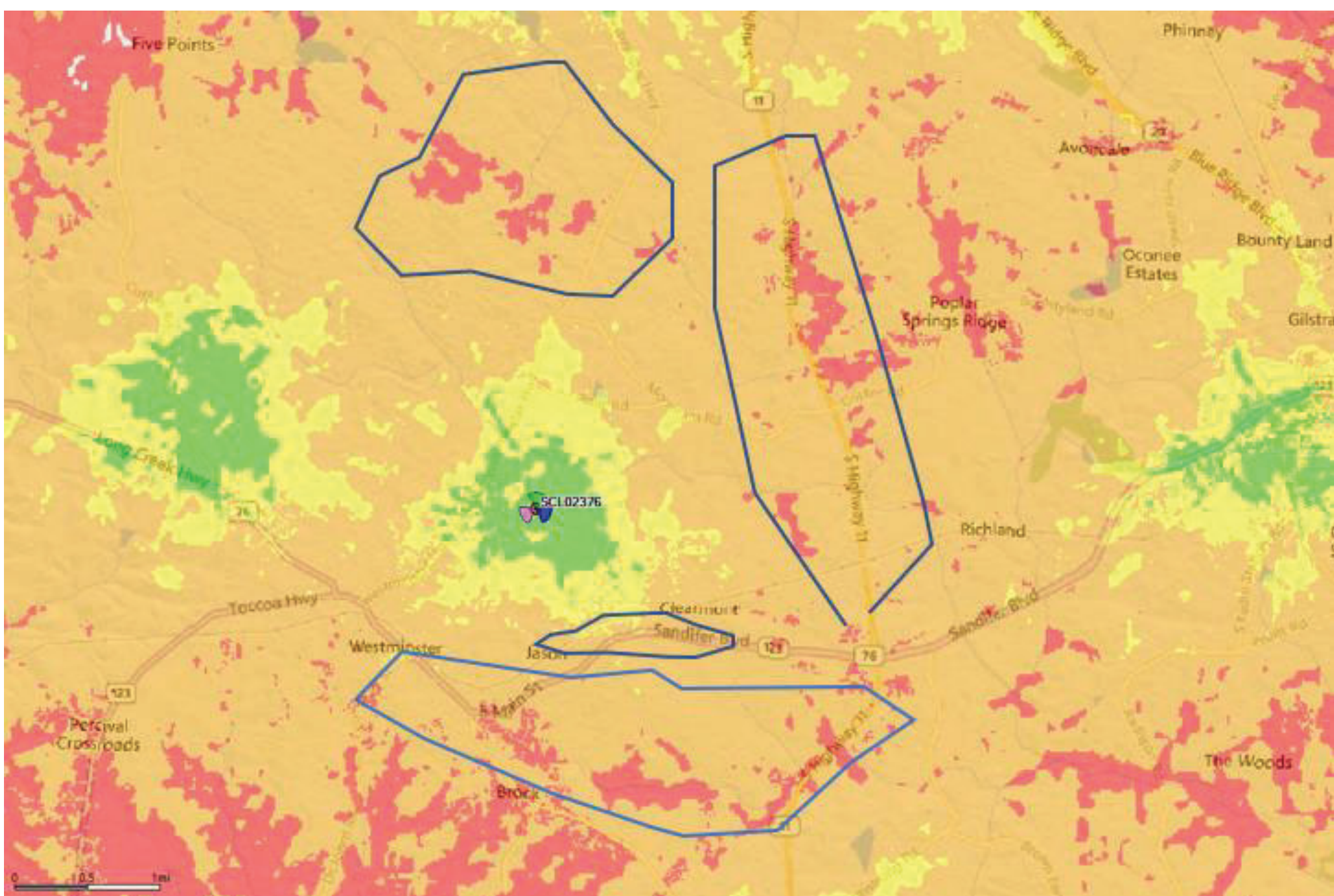
240 ft Antenna Centerline

Date 9/27/2022



290 Ft Antenna Centerline Coverage Map





240 Ft Antenna Centerline Coverage Map

## Coverage Map Assessment of 290ft vs. 240ft (Circled Areas See Slide 3)

- To the North, Service degrades from good to marginal, and from marginal to poor along various portions of Highway 183 / Westminster and Coneross Creek area.
- To the South, Service degrades from good to marginal, and from marginal to poor along various portions of Route 123/Route 76, Sandifer Blvd. Including portions between Highway 11 / Cherokee Foothills Scenic Hwy and Highway 24, West Oak Highway.
- To the East, Service degrades from good to marginal, and from marginal to poor along various portions of Highway 11 / Cherokee Foothills Scenic Hwy near Oconee Campus Tri County Technical College

## **EXHIBIT N**

Application for Special Exception (proposed communication tower)  
Parcel ID: 235-00-02-030; PeakNet (applicant)

# **BALLOON PHOTO PRESENTATION**

## ***PeakNet***

### ***Wireless Communications Facility Balloon Tether Documentation***

*The proposed 300.0' AGL Telecommunications Facility is to be located at or near Hall Rd, Westminster, SC 29693, Oconee County. The site coordinates are N 34° 40' 43.028 W 83° 4' 50.779". The site elevation is 872.6 feet AMSL. The balloon is approximately 5 feet in diameter. The balloon as pictured is tethered at the centerline at the proposed tower coordinates. The top of the balloon is 300 feet AGL.*

*The pictures that follow are taken with a 20.0 mega pixel digital camera with the lens set at 18 mm to represent a "normal (un-zoomed) view" that is representative of what a person would see at ground level if viewing the balloon at similar and representative distances. The photos used were taken August 4, 2022 between 1 PM and 3 PM.*

*The self-support style tower as simulated is at Three Hundred Feet (300 feet in height/altitude) plus a 4 foot lightning rod at top. The overall height above ground at the centerline of the proposed tower facility location is Three Hundred and Four feet (304 feet in height/altitude).*

-

**MICHAEL SAMPAIR TECHNICAL SERVICES**  
**PROVIDING PROFESSIONAL SPECIALTY SERVICES TO THE TELECOMMUNICATIONS INDUSTRY**



The photography for this document was shot between the hours of 1:00PM and 3:00PM. The winds during this time were variable from 3 to 6 mph. The balloon was mostly stable and vertical over the proposed tower location. Below are wind observations that describe the wind direction and speed during the balloon tether.

## WESTMINSTER, SC 29693

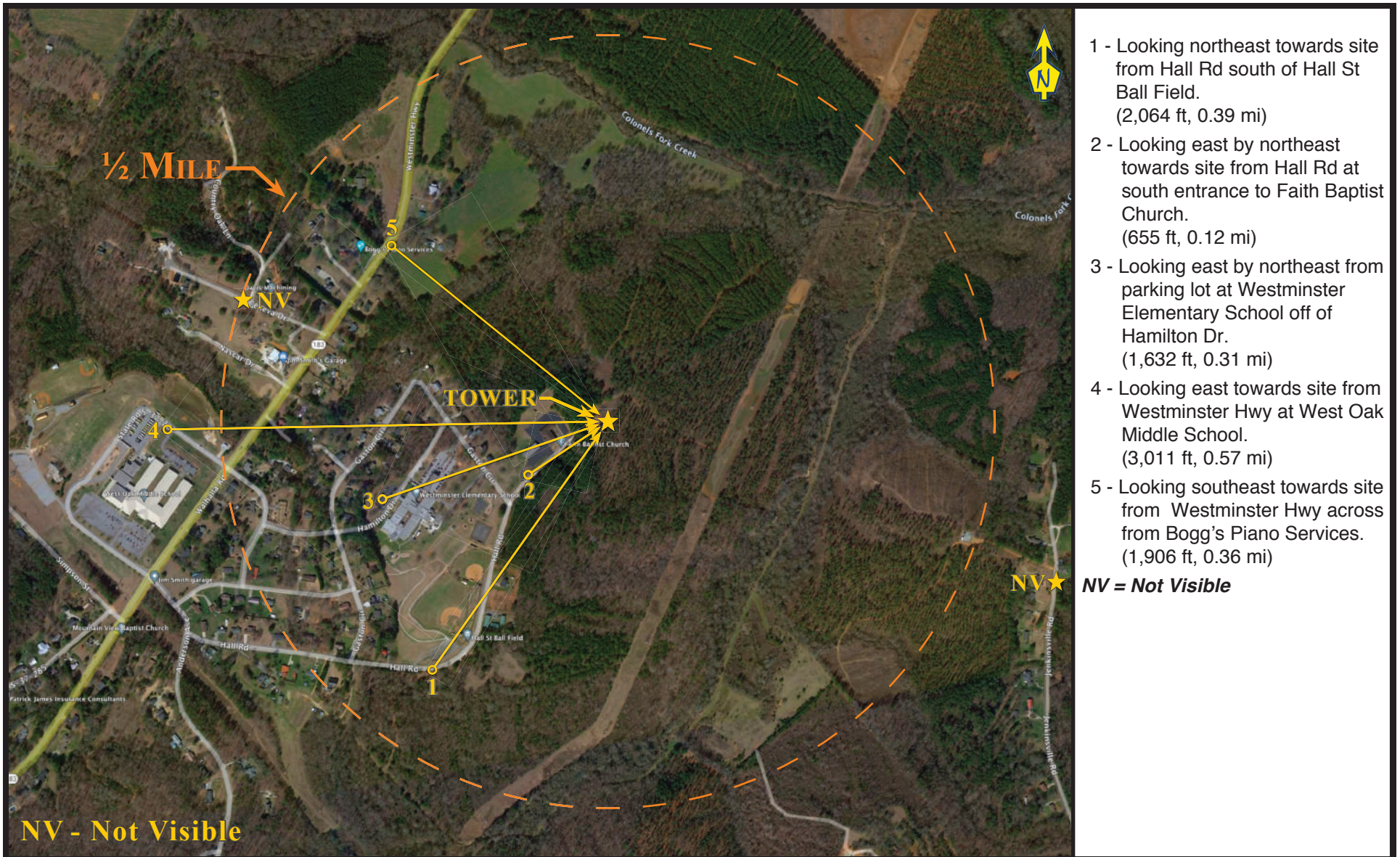
**Thursday, August 4, 2022**

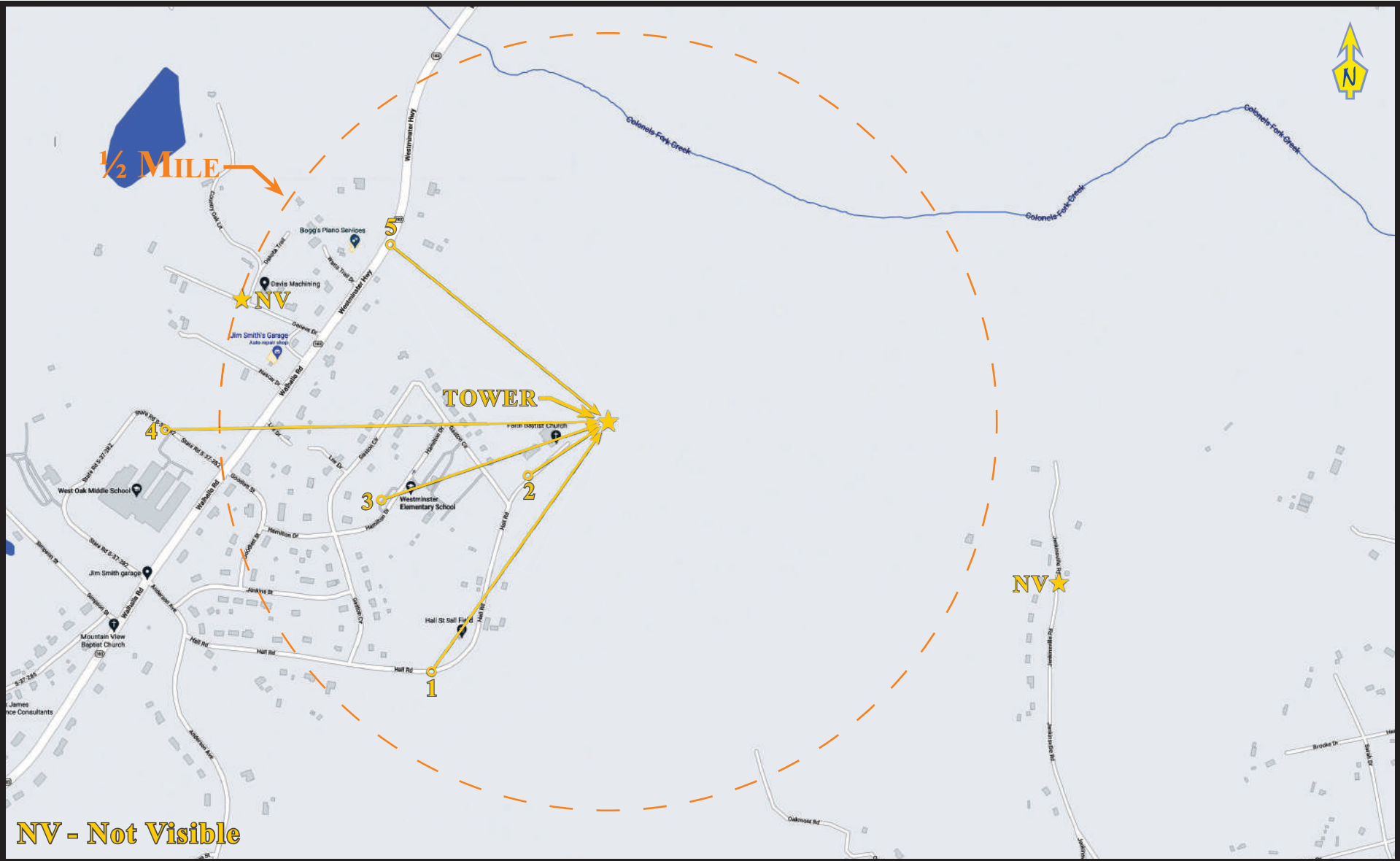
<b>Time (EDT)</b>	<b>Temp. (°f)</b>	<b>Hum. (%)</b>	<b>Dew Point (°f)</b>	<b>Bar. (inHG)</b>	<b>Wind Speed (mph)</b>	<b>Wind Direction</b>	<b>Wind Gust (mph)</b>
3:00 PM	87.8	55.4	69.8	30.13	3	S	-
2:55 PM	87.8	58.89	71.6	30.13	4	S	-
2:54 PM	87.08	59.16	71.06	30.13	5	-	-
2:50 PM	87.8	58.89	71.6	30.13	4	S	-
2:45 PM	87.8	58.89	71.6	30.13	-	-	-
2:40 PM	87.8	58.89	71.6	30.13	-	-	-
2:35 PM	87.8	58.89	71.6	30.14	3	WSW	-
2:30 PM	87.8	58.89	71.6	30.14	3	WSW	-
2:15 PM	87.8	62.58	73.4	30.14	-	-	-
2:10 PM	86	62.35	71.6	30.15	-	-	-
2:05 PM	86	62.35	71.6	30.15	4	E	-
2:00 PM	84.2	66.04	71.6	30.15	6	E	-
1:55 PM	84.2	66.04	71.6	30.15	-	-	-
1:54 PM	84.92	65.33	71.96	30.15	-	-	-
1:50 PM	84.2	70.17	73.4	30.16	3	SE	-
1:45 PM	84.2	66.04	71.6	30.16	-	-	-
1:40 PM	84.2	66.04	71.6	30.16	3	SE	-
1:35 PM	84.2	66.04	71.6	30.16	3	NE	-
1:30 PM	84.2	70.17	73.4	30.16	5	NE	-
1:15 PM	84.2	66.04	71.6	30.17	4	NE	-
1:10 PM	84.2	70.17	73.4	30.17	3	NE	-
1:05 PM	82.4	69.98	71.6	30.17	-	-	-
1:00 PM	82.4	69.98	71.6	30.17	-	-	-















**VIEW FROM LOCATION 1**





**SIMULATED VIEW FROM LOCATION 1**





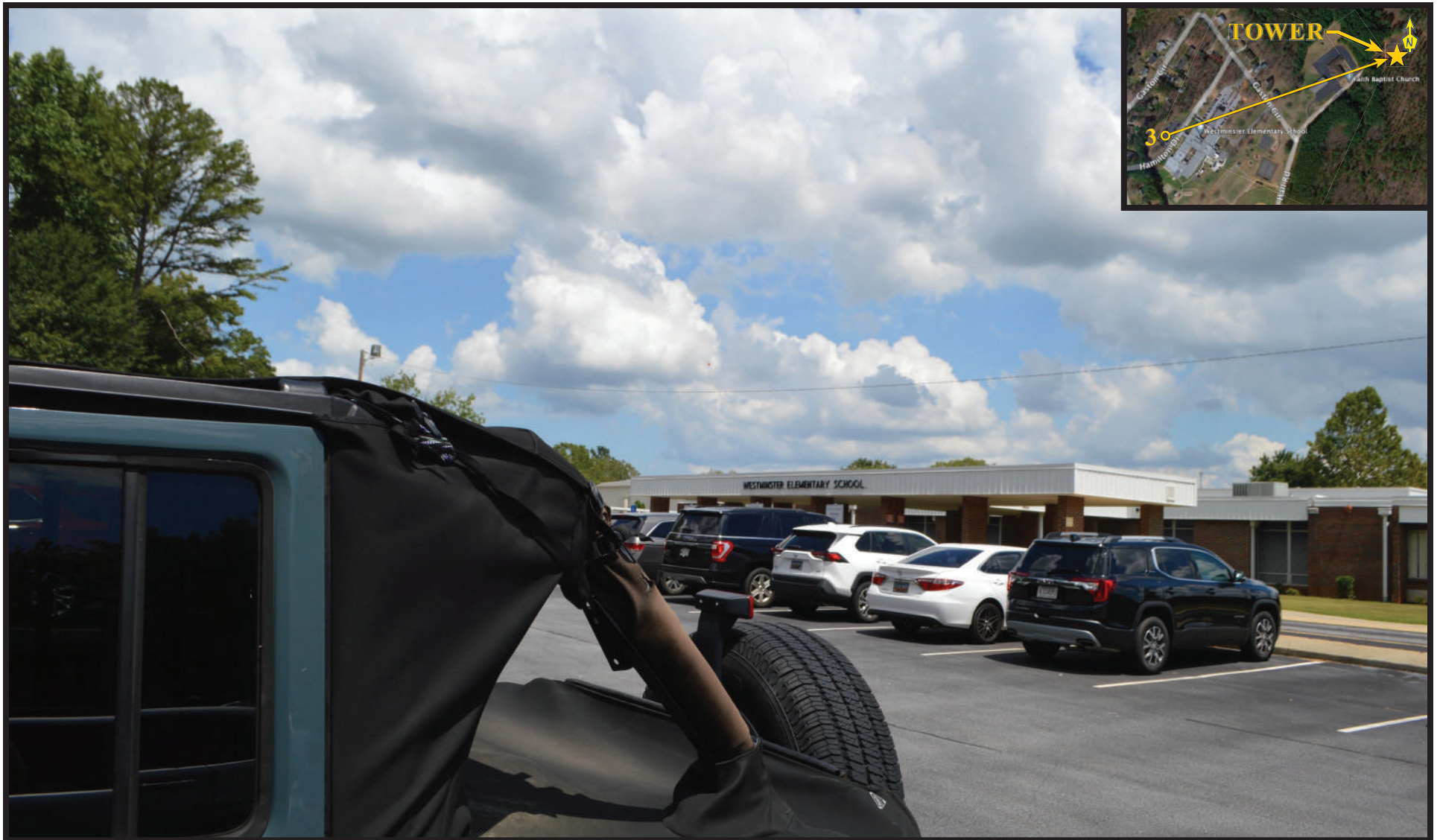
**VIEW FROM LOCATION 2**





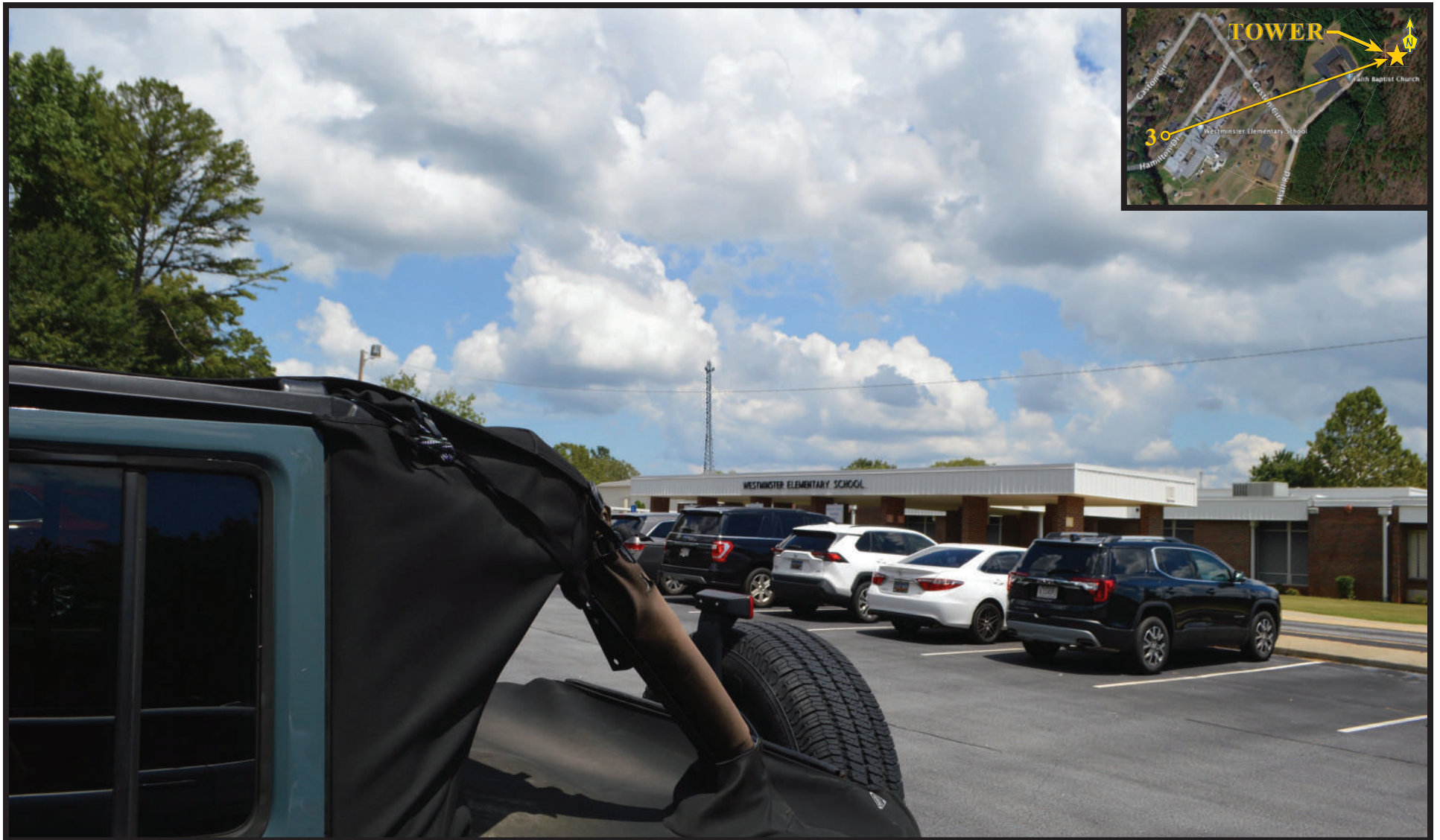
**SIMULATED VIEW FROM LOCATION 2**





**VIEW FROM LOCATION 3**





**SIMULATED VIEW FROM LOCATION 3**





**VIEW FROM LOCATION 4**





**SIMULATED VIEW FROM LOCATION 4**





**VIEW FROM LOCATION 5**





**SIMULATED VIEW FROM LOCATION 5**



## EXHIBIT O

Application for Special Exception (proposed communication tower)  
Parcel ID: 235-00-02-030; PeakNet (applicant)



October 19, 2022

Tim Scott  
Peaknet  
9887 Fourth Street North, Suite 100  
St. Petersburg, FL 33702

RE: Proposed 300' Sabre Self-Supporting Tower for Westminster, SC

Dear Mr. Scott,

Upon receipt of order, we propose to design a tower for the above referenced project for a Basic Wind Speed of 107 mph and 30 mph with 1.5" radial ice, Risk Category II, "Site-Specific" Exposure Category, and Topographic Category 1 in accordance with the Telecommunications Industry Association Standard ANSI/TIA-222-H, "Structural Standard for Antenna Supporting Structures and Antennas".

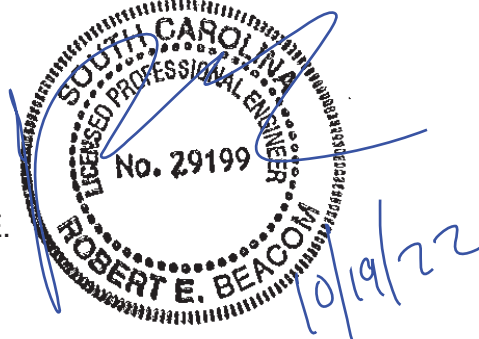
When designed according to this standard, the wind pressures and steel strength capacities include several safety factors. Therefore, it is highly unlikely that the tower will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors.

Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within one or more of the tower members in the upper portion. This would result in a buckling failure mode, where the loaded member would bend beyond its elastic limit (beyond the point where the member would return to its original shape upon removal of the wind load).

Therefore, it is likely that the overall effect of such an extreme wind event would be localized buckling of a tower section. Assuming that the wind pressure profile is similar to that used to design the tower, the tower is most likely to buckle at the location of the highest combined stress ratio in the upper portion of the tower. This would result in the portion of the tower above the failure location "folding over" onto the portion of the tower below the failure location. *Please note that this letter only applies to the above referenced tower designed and manufactured by Sabre Towers & Poles.* In the unlikely event of total separation, this would result in a fall radius equal to 100' at ground level.

Sincerely,

Robert E. Beacom, P.E., S.E.  
Engineering Manager



OCONEE COUNTY BOARD OF ZONING APPEALS

415 South Pine Street –Walhalla, SC



Tel: (864)638-4218 FAX (864) 638-4168

APPLICATION FOR SPECIAL EXCEPTION

OCONEE COUNTY, SC

APPLICANT: Thomas H. Johnson, Jr. (attorney)/Williams Mullen, on behalf of PeakNet  
Name Title/Organization

MAILING ADDRESS: 301 Fayetteville Street, Suite 1700  
(if different from owner) Raleigh, NC 27601

PHONE (if different from owner): cell: 910.616.3100

email: tjohnson@williamsmullen.com

land line: 919.981.4006

PROPERTY OWNER MCCLURE WILLIAM T ETAL

MAILING ADDRESS: 781 Seed Farm Road  
Westminster, SC 29693

PHONE: cell: \_\_\_\_\_ email: \_\_\_\_\_

land line: \_\_\_\_\_

PROPERTY INFORMATION

STREET ADDRESS: unaddressed property off Hall Road

TAX PARCEL # 235-00-02-030 DEED BOOK/PAGE: 2700 / 1

ZONING DESIGNATION: Control Free District (CFD) ACREAGE: 101.6

REQUEST

CODE SECTION FROM WHICH A SPECIAL EXCEPTION IS REQUESTED: 32-139(a) and 32-133(b)

DESCRIPTION OF REQUEST:

Request for special exception to construct/operate a 300-foot-tall self-supporting communications tower on property located on Hall Road (Parcel ID: 235-00-02-030) and zoned Control Free District (CFD). As provided for under Code Sections 32-139(b) and 32-134(m) the applicant also requests, as part of the Board's consideration of application for special exception, a variance from the following Code Sections: 32-136 (max. height of freestanding communication tower); 32-134(m)(1) - min. setback from certain property lines; and 32-134(m)(3) - min. setback from properties containing church. See Exhibit B attached to this application for applicant's responses to the applicable review criteria in County Code of Ordinances for special exceptions and variances.

**Instructions:**

1. The applicant/owner must respond to the “findings” questions on page 3 of this application (you must answer “why” you believe the application meets the tests for the granting of a Special Exception). See also Section 38-7.2 for additional information. You may attach a separate sheet addressing these questions.
2. You must attach a scaled drawing of the property that reflects, at a minimum, the following:
  - (a) property lines, existing buildings, and other relevant site improvements; (b) the nature (and dimensions) of the requested variance; (c) existing buildings and other relevant improvements on adjacent properties; and, (d) topographic, natural features, etc. relevant to the requested variance.
3. Include additional documentation to support the request as necessary.
4. The Zoning Administrator will review the application for sufficiency prior to placing the application on the BZA agenda. If the application does not provide sufficient information, the administrator will contact the applicant to request that the applicant provide the required information. You are encouraged to schedule an application conference with a planner, who will review your application at the time it is submitted to insure the necessary materials is provided.
5. The applicant and/or property owner affirms that the applicant or someone acting on the applicant’s behalf has made a reasonable effort to determine whether a deed or other document places one or more restrictions on the property that preclude or impede the intended use and has found no record of such a restriction.

If the Community Development office by separate inquiry determines that such a restriction exists, it shall notify the applicant. If the applicant does not withdraw or modify the application in a timely manner, or at to have the restriction terminated or waived, then the Community Development office will indicate in its report to the Board of Zoning Appeals that granting the requested change would not likely result in the benefit the applicant seeks.

To that end, the applicant hereby affirms that the tract or parcel of land which is subject of the attached application is  is not  restricted by any recorded

covenant that is contrary to, conflicts with, or prohibits the requested activity.

\_\_\_\_\_  \_\_\_\_\_ Applicant Signature

\_\_\_\_\_ **October 19, 2022** \_\_\_\_\_ Date

\_\_\_\_\_ Property Owner Signature

\_\_\_\_\_ Date *(\* see Exhibit A attached to application for property owner signature/authorization).*



**APPLICANT RESPONSES TO  
SECTION 38-7.2  
(You may attach a separate sheet)**

1. The request is in accordance with the comprehensive plan and is consistent with the spirit, purposes, and the intent and specific requirements of this chapter, to include the definition and intent of the district in which the special exception is being requested.

See Exhibit B attached to application.

2. The request is in the best interests of the county, the convenience of the community and the public welfare.

See Exhibit B attached to application.

3. The request is suitable for the property in question, and designed, constructed, operated, and maintained so as to be in harmony with and appropriate in appearance to the existing or intended character of the general vicinity.

See Exhibit B attached to application.

4. The request is suitable in terms of effects on highway traffic, parking and safety with adequate access arrangements to protect streets from undue congestion and hazards.

See Exhibit B attached to application.

Amendment to the Board's Rules of Procedure:

Article III.

Section 1. Form of Appeal

Appeals from administrative decisions, applications for variances, and applications for special exceptions shall be filed on forms approved by the Board and provided to applicants by the secretary. [Additional written or other materials that the appellant, applicant, or other party in interest wishes the Board to consider shall be filed with the secretary no less than three (3) business days prior to the scheduled hearing. The Board Chairman may require or allow the submission of additional materials prior to or during the hearing, as deemed necessary and appropriate. The failure to timely submit adequate information may be grounds for dismissal or continuance.] An application filed by an agent shall be accompanied by written designation of the agent signed by the applicant or party in interest.

Article VII.

Section 2. Amendment **These rules may be amended at any regular meeting of the Board by majority vote of the members of the Board at least seven (7) days after the written amendment is delivered to all members.**