

K:\VTL\_Wireless\000\_Verizon\2014\_Sites\Sitton\CAD\CD\Rev3-2-16-17\_Sitton\_CD\_R3.dwg February 16, 2017 1:39 PM by: kerry.pierre



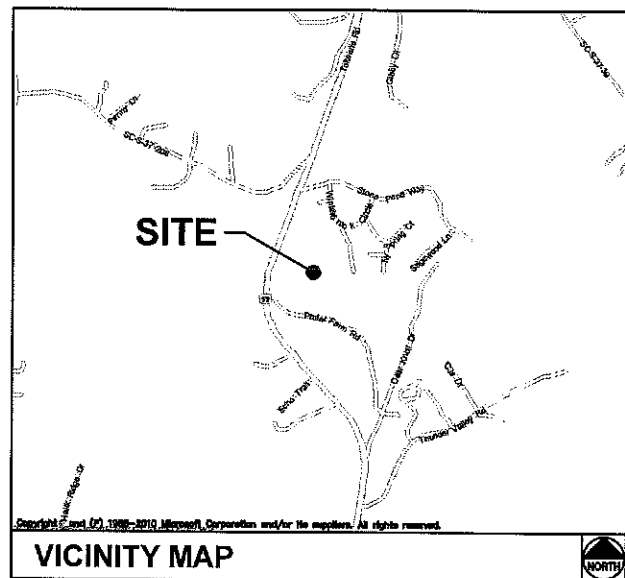
8921 RESEARCH DRIVE  
CHARLOTTE, NC 28262

## SITTON

### SITE ADDRESS

PRATER FARM ROAD  
SENECA, SC 28676  
OCONEE COUNTY

LATITUDE: 34° 36' 45.442" N  
LONGITUDE: 82° 58' 49.489" W  
TAX/PIN #: 2910002012  
ZONING: UNZONED



FROM CHARLOTTE OFFICE: START OUT GOING SOUTHWEST ON RESEARCH DRIVE TOWARDS HARRIS BLVD. FOR 0.4 MI; TURN LEFT ONTO W. WT HARRIS BLVD. / NC-24-E. FOR 0.3 MI; TURN RIGHT AND MERGE ON I-85 S. 140.3 MI; TAKE EXIT 11 AND TURN RIGHT ON SC-24 W. 10.0 MI; SLIGHT RIGHT ON CROSS ROADS DR. 0.5 MI; MERGE ON SC-59 N. 0.8 MI; TURN RIGHT ON PRATER FARM RD. 0.1 MI; DESTINATION ON THE LEFT.

### DRIVING DIRECTIONS

**MUNICIPALITY:**  
OCONEE COUNTY

**STATE:**  
SOUTH CAROLINA

**TOWER TYPE:**  
MONOPOLE TOWER

**TOWER HEIGHT:**  
165' (174' TO HIGHEST APPURTENANCE)

**NUMBER OF CARRIERS:**  
0 EXISTING, 1 PROPOSED

**USE:**  
PROPOSED TELECOMMUNICATIONS TOWER  
AND UNMANNED EQUIPMENT

**CONSULTANT**  
KIMLEY-HORN AND ASSOCIATES, INC.  
2 SUN COURT, SUITE 450  
PEACHTREE CORNERS, GEORGIA 30092  
PHONE: (678) 533-3928  
ATTN.: KEITH MARKLAND

### PROJECT SUMMARY

**DEVELOPER**  
VERIZON WIRELESS  
8921 RESEARCH DRIVE  
CHARLOTTE, NC 28262  
PHONE: (704) 577-8785  
ATTN: MICHAEL HAVEN

**POWER COMPANY**  
DUKE POWER  
PHONE: (800) 777-9898  
ATTN.: CUSTOMER SERVICE

**TELEPHONE COMPANY**  
AT&T  
PHONE: (336) 286-6000  
ATTN.: CUSTOMER SERVICE

**PROPERTY OR TOWER OWNER**  
KENNETH EARL PRATER  
8541 FRENEY VALLEY ROAD  
CADDO, OK 74729  
PHONE: (864) 972-9377  
ATTN.: DONALD PRATER

### CONTACTS

SHEET	DESCRIPTION	REV.
T1	COVER SHEET	3
--	SITE SURVEY (SHEET 1 OF 3)	4
--	SITE SURVEY (SHEET 2 OF 3)	4
--	SITE SURVEY (SHEET 3 OF 3)	4
N1	GENERAL NOTES	0
C1	OVERALL SITE PLAN	2
C2	SITE PLAN	2
C3	EQUIPMENT PAD LAYOUT	1
C4	EQUIPMENT PAD FOUNDATION SECTION DETAILS	1
C5	EQUIPMENT PAD FOUNDATION SECTION DETAILS	1
C6	FENCE, GATE, AND COMPOUND DETAILS	1
C7	GRADING AND EROSION CONTROL PLAN 1 OF 2	1
C8	GRADING AND EROSION CONTROL PLAN 2 OF 2	1
C9	GRADING AND EROSION CONTROL DETAILS	1
C10	ACCESS ROAD DETAILS	1
C11	SITE SIGNAGE DETAILS	1
C12	WAVEGUIDE BRIDGE DETAILS	1
C13	ANTENNA AND TOWER ELEVATION DETAILS	2
L1	LANDSCAPING PLAN AND NOTES	0
E0	NOTES AND SPECIFICATIONS	1
E1	BASIC SERVICE ROUTING PLAN	1
E2	GROUNDING PLAN	1
E3	SINGLE-LINE DIAGRAM	1
E4	ELECTRICAL DETAILS	1
E5	ELECTRICAL DETAILS	1
E6	ELECTRICAL DETAILS	1
E7	GROUNDING DETAILS	1
E8	ELECTRICAL DETAILS	1
E9	ELECTRICAL DETAILS	1
E10	ELECTRICAL DETAILS	1

### SHEET INDEX

OCONEE COUNTY COMMUNITY DEVELOPMENT DEPT.  
415 PINE ST.  
WALHALLA, SC 29691  
PHONE: (864) 638-4218  
ATTN.: ZONING

### PERMIT INFORMATION



### PROJECT INFORMATION:

VERIZON NAME: SITTON  
VERIZON No.: TBD

PRATER FARM ROAD  
SENECA, SC 28678  
OCONEE COUNTY

### CURRENT ISSUE DATE:

02/16/17

### ISSUED FOR:

CONSTRUCTION

### REV.: DATE: ISSUED FOR: BY:

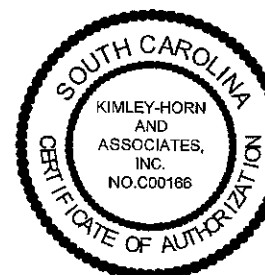
REV.	DATE	ISSUED FOR	BY
0	11/04/14	CONSTRUCTION	WCE
1	08/01/16	CONSTRUCTION	WCE
2	10/21/16	CONSTRUCTION	WCE
3	02/16/17	CONSTRUCTION	WCE

### CONSULTANT:



2 SUN COURT, SUITE 450  
PEACHTREE CORNERS, GA 30092  
PHONE: 770-825-0744  
WWW.KIMLEY-HORN.COM  
SC License C00166

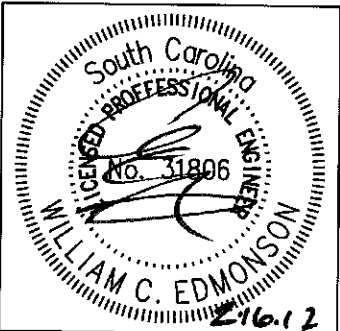
### CONSULTANT:



### DRAWN BY: CHK.: APV.:

KBB KRM WCE

### LICENSER:



### SHEET TITLE:

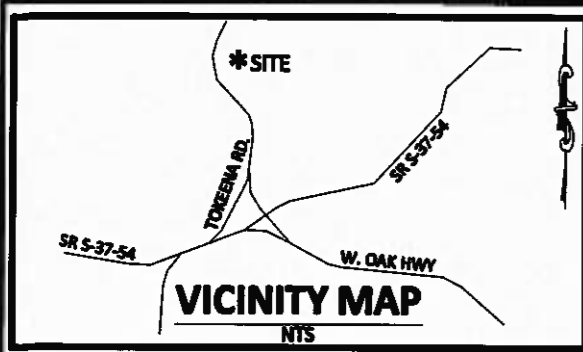
COVER SHEET

### SHEET NUMBER: REVISION:

T1

2

018985125



**LEGEND**

- EXIST. UTILITY POLE
- EXIST. TELE PED
- IRON PIPE FOUND
- IRON PIPE SET
- COMPUTED POINT
- AXEL FOUND

**GENERAL NOTES**

1. THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF JEFFREY L. BATEMAN, PLS.
2. THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.
3. THIS IS NOT A BOUNDARY SURVEY. PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT
4. VERTICAL DATUM IS ASSUMED. THE LATITUDE, LONGITUDE AND STATE PLANE COORDINATES, IF SHOWN, ARE GIVEN IN NORTH AMERICAN DATUM OF 1983 (NAD83).
5. FIELD EQUIPMENT USED: TOPCON TOTAL STATION, EPOCH 3S.
6. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE SOUTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS OTHERWISE SHOWN.
7. PROPERTY OWNER: KENNETH EARL PRATER
8. THIS MAP IS NOT A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.
9. ALL EQUIPMENT AND IMPROVEMENTS ARE LOCATED WITHIN THE LEASE AREA.
10. THE PROPERTY LIES IN ZONE "X", PER NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE PANEL 0430, RATE MAP 45073CD430C, DATED: SEPTEMBER 11, 2009.

N/F  
RONNIE BURNETTE  
PIN 381007694675  
DB 1730, PG 690  
USE: RESIDENCE

N/F  
CHARLES E. & WILLIAM D.  
CHILDS  
PARCEL# 2910002012  
DB 1070, PG 153  
USE: VACANT

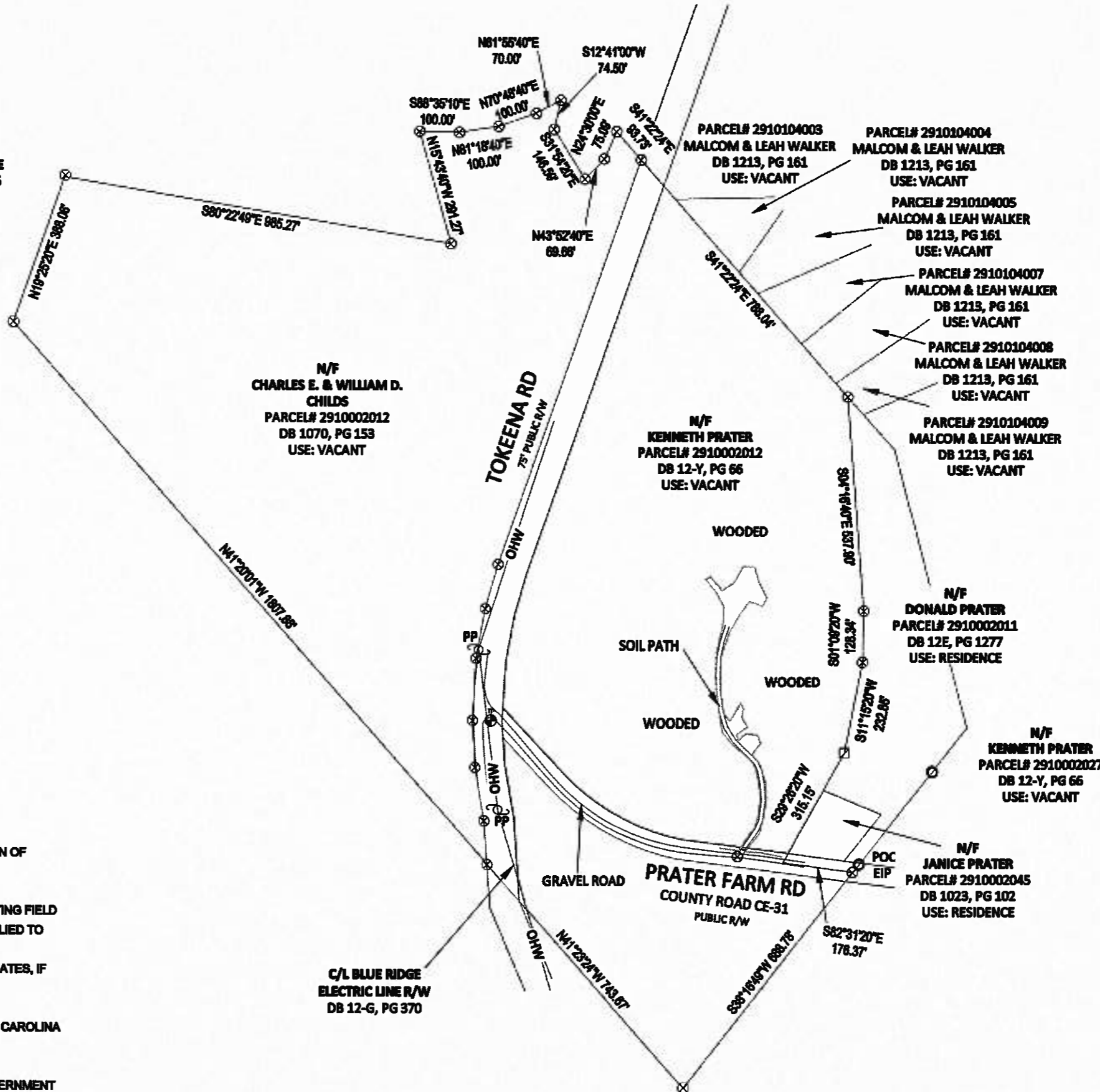
N/F  
KENNETH PRATER  
PARCEL# 2910002012  
DB 12-Y, PG 66  
USE: VACANT

N/F  
DONALD PRATER  
PARCEL# 2910002011  
DB 12E, PG 1277  
USE: RESIDENCE

N/F  
KENNETH PRATER  
PARCEL# 2910002027  
DB 12-Y, PG 66  
USE: VACANT

N/F  
JANICE PRATER  
PARCEL# 2910002045  
DB 1023, PG 102  
USE: RESIDENCE

C/L BLUE RIDGE  
ELECTRIC LINE R/W  
DB 12-G, PG 370



**BCSC**  
BATEMAN CIVIL SURVEY COMPANY

Bateman Civil Survey Co, PC  
200 N Main St, Holly Springs, NC 27540  
Phone: 919.877.1088 Fax: 919.877.1091  
NCOLS FORM 9-C-2275

**erizon wireless**

8821 RESEARCH DRIVE  
CHARLOTTE, NORTH CAROLINA 28262

**Kimley-Horn and Associates, Inc.**  
Post Office Box 33068  
Raleigh, North Carolina 27636

DRAWN BY: JCH  
CHECKED BY: JLB  
DRAWING DATE: 08/29/2014

JEFFREY L. BATEMAN, PLS.  
REGISTERED PROFESSIONAL SURVEYOR  
STATE OF NORTH CAROLINA  
REGISTRATION NUMBER AND EXPIRES: 11/11/2014  
PLS 17216

NO.	DATE	DESCRIPTION
1.	11/04/14	Issue Final Survey
2.	11/12/14	Revise 30' lessee language
3.	11/24/14	Address Title comments
4.	12/10/14	Issue Final Survey

**SITON**  
SITE# 303546  
PRATER FARM ROAD  
SENECA, SC, 29678  
OCONEE COUNTY

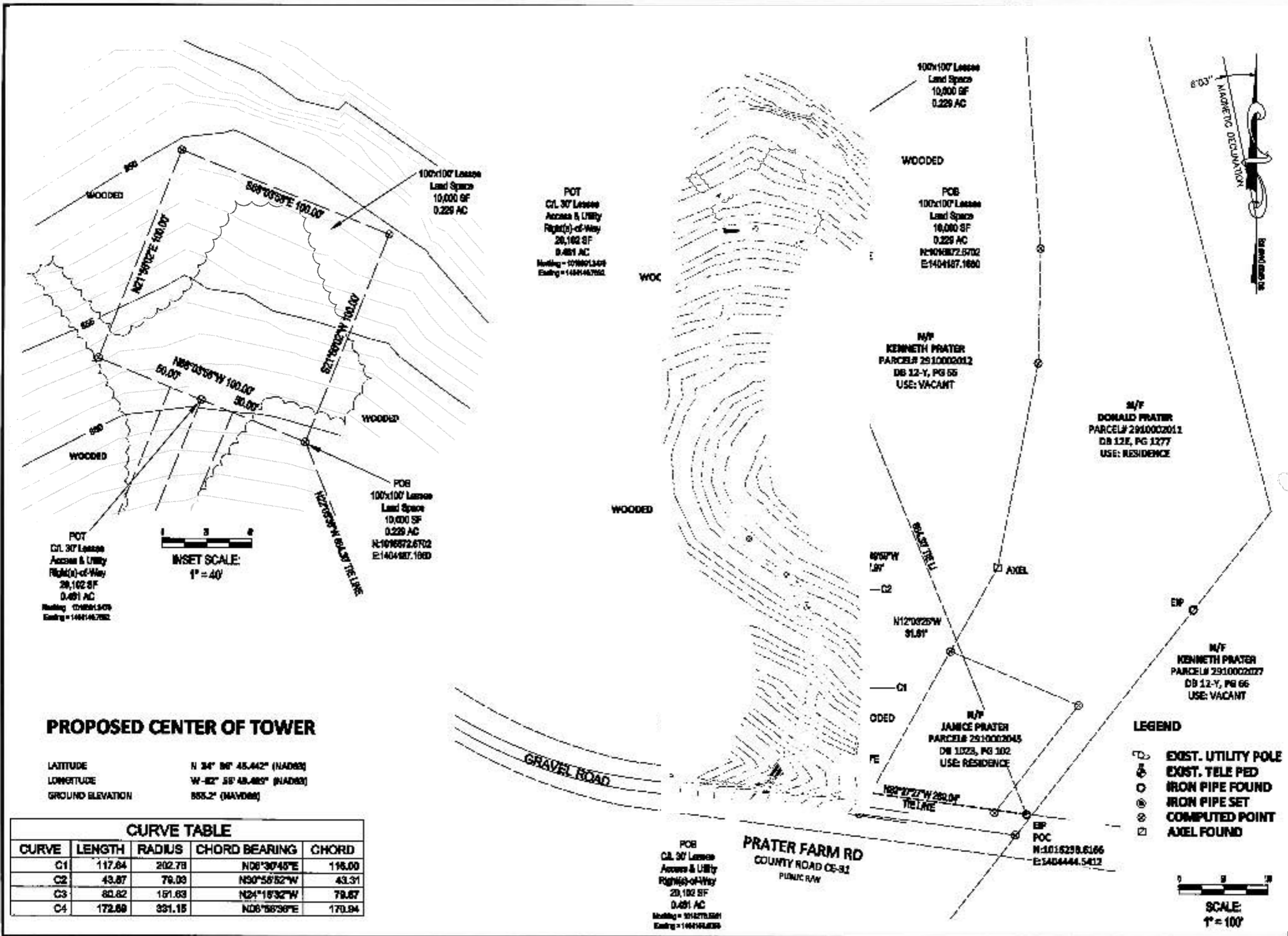
DATE OF SURVEY: 08-18-2014

BCSC JOB # 140448

SHEET TITLE: SURVEY

SHEET NUMBER 1 OF 3





**BCSC**  
 BUREAU OF CIVIL SURVEY COMPANY  
 William Chitt Survey Co, PC  
 220 W Main St, Holly Springs, NC 27540  
 Phone: 919.887.5888 Fax: 919.887.1994  
 MOLA PERM #0-0275

**erizon wireless**  
 2021 RESEARCH DRIVE  
 CHARLOTTE, NORTH CAROLINA 28268

**Kinley-Horn and Associates, Inc.**  
 Post Office Box 33068  
 Raleigh, North Carolina 27636

DRAWN BY: JCH  
 CHECKED BY: JLB  
 DRAWING DATE: 02/28/2014

I, JEFFREY L. HORN, A PROFESSIONAL SURVEYOR WITH THE STATE OF NORTH CAROLINA, DO HEREBY CERTIFY THAT I AM THE AUTHOR OF THIS SURVEY AND THAT I AM A LICENSED SURVEYOR IN THE STATE OF NORTH CAROLINA.

NO.	DATE	DESCRIPTION
1.	11/04/14	Issue Final Survey
2.	11/12/14	Revised 30' lease language
3.	11/24/14	Address Title comments
4.	12/10/14	Issue Final Survey

**SITTON**  
 SITES# 303646  
 PRATER FARM ROAD  
 SENECA, NC, 28079  
 DOONEE COUNTY

DATE OF SURVEY: 08-18-2014  
 BCSC JOB # 14096  
 SHEET TITLE: SURVEY  
 SHEET NUMBER: 2 OF 3

**C/L 30' LESSEE ACCESS & UTILITY RIGHT(S)-OF-WAY DESCRIPTION**

All that certain parcel of land, situated in Seneca, Oconee County, South Carolina, being on the lands of Kenneth Prater as described in DB 12-Y, PG 66, Oconee County Records, and being more particularly described as follows:

Commencing at the SouthEastern property corner of Donald Prater and NorthEastern property corner of Kenneth Prater, Oconee County Records, said corner also being on the Northern Right-of-Way of Prater Farm Road having State Plane Coordinates N:1016238.6168, E:1404444.5412, thence N82°27'27"W, 269.04' to a point, said point being the Point of Beginning of the C/L 30' Lessee Access & Utility Right(s)-of-Way, said point having State Plane Coordinates N:1016276.6581 and E:1404158.0058; thence N36°00'40"E, 83.75' to a point of curvature; thence along a curve to the Left having a radius of 202.76', a length of 117.64', a chord of N06°30'45"E, 116.00' to a point; thence N12°03'25"W, 31.61' to a point of curvature; thence along a curve to the Left having a radius of 79.03', a length of 43.87', a chord of N30°55'52"W, 43.31' to a point; thence N46°48'58"W, 57.87' to a point of curvature; thence along a curve to the Right having a radius of 151.63', a length of 80.82', a chord of N24°16'32"W, 78.87' to a point; thence N08°24'51"W, 44.28' to a point of curvature; thence along a curve to the Right having a radius of 331.15', a length of 172.86', a chord of N06°58'36"E, 170.94' to a point; thence N22°21'54"E, 64.41' to a point; said point being the Point of Terminus of the C/L 30' Lessee Access & Utility Right(s)-of-Way having State Plane Coordinates N 1016891.3470, E 1404140.7852 Said C/L 30' Lessee Access & Utility Right(s)-of-Way contains 20,102 square feet more or less.

**LESSEE LAND SPACE DESCRIPTION**

All that certain parcel of land, situated in Seneca, Oconee County, South Carolina, being on the lands of Kenneth Prater as described in DB 12-Y, PG 66, Oconee County Records, and being more particularly described as follows:

Commencing at the SouthEastern property corner of Donald Prater and NorthEastern property corner of Kenneth Prater, Oconee County Records, said corner also being on the Northern Right-of-Way of Prater Farm Road having State Plane Coordinates N:1016238.6168, E:1404444.5412, thence N22°05'36"W, 684.30' to a point, the Point of Beginning of the Lessee Land Space; thence N68°03'58"W, 100.00' to a point; thence N21°56'02"E, 100.00' to a point; thence S68°03'58"E, 100.00' to a point; thence S21°56'02"W, 100.00' to a point; said point being the Point of Beginning of the Lessee Land Space. Said Lessee Land Space contains 10,000 square feet, more or less.

**REPORT OF TITLE**  
**FIDELITY NATIONAL TITLE INSURANCE COMPANY**  
**FILE # 1928821**  
**DATED 8/28/2014**  
**PROPOSED INSURED: VERIZON WIRELESS**  
**SCHEDULE B I**

1. Taxes calendar year:2013  
 Amount: \$324.01 annually  
 Parcel ID #: 291-00-02-012  
 Paid through: 2013  
 Assessment: \$1,370.00 (total = land and improvements, if any)  
 (Does Not Affect Verizon Wireless' Land Space or Rights of Way)
2. Plat recorded in Deed Book 40, Page 04.  
 (As shown on Survey)
3. Electric Line Right-of-Way Easement  
 In favor of: Blue Ridge Electric Cooperative, Inc.  
 Recorded on: 08/08/1979  
 Recorded In: Deed Book 12-G, Page 370  
 (Does Not Affect Verizon Wireless' Land Space or Rights of Way)



**BCSC**  
 BACHEMAN CIVIL SURVEY COMPANY

Bacheman Civil Survey Co, PC  
 300 N Main St, Holly Springs, NC 27540  
 Phone: 919.877.1080 Fax: 919.877.1081  
 NCOLA FORM # 0-2576




**erizon wireless**  
 8981 RESEARCH DRIVE  
 CHARLOTTE, NORTH CAROLINA 28262



**Kinley-Horn  
 and Associates, Inc.**  
 Post Office Box 33088  
 Raleigh, North Carolina 27636

DRAWN BY: JCH  
 CHECKED BY: JLS  
 DRAWING DATE: 08/28/2014

I, JEFFREY L. BACHEMAN, HEREBY CERTIFY THAT THIS MAP IS A CORRECT AND ACCURATE REPRODUCTION OF THE LAND PLANNING AND SURVEYING WORK PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND ETHICS OF THE SURVEYING PROFESSION.



JEFFREY L. BACHEMAN, No. 47216

NO.	DATE	DESCRIPTION
1.	11/04/14	Issue Final Survey
2.	11/12/14	Revise 30' lessee language
3.	11/24/14	Address Title comments
4.	12/10/14	Issue Final Survey

**SITTON**  
**SITE# 303546**  
**PRATER FARM ROAD**  
**SENECA, SC, 29678**  
**OCONEE COUNTY**

DATE OF SURVEY: 08-18-2014  
 BCSC JOB # 140448  
 SHEET TITLE: SURVEY  
 SHEET NUMBER 3 OF 3

K:\ATL\_Wireless\000\_Verizon\2014\_Sites\Sitton\CAD\CD\Rev1-11-16\Sitton\_CD\_R1.dwg August 1, 2016 9:04 AM by: kerry.pierre

**1.00 GENERAL NOTES**

- 1.01 ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE, LOCAL AND NATIONAL CODES, ORDINANCES AND OR REGULATIONS APPLICABLE TO THIS PROJECT.
- 1.02 THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE PROJECT MANAGER AND/OR ENGINEER AND BE RESOLVED BEFORE PROCEEDING WITH WORK. WHERE THERE IS A CONFLICT BETWEEN DRAWING AND VERIZON SPECIFICATIONS, THE VERIZON PROJECT ENGINEER SHOULD BE CONTACTED FOR CLARIFICATION.
- 1.03 ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE PROJECT MANAGER AND/OR ENGINEER SO THAT PROPER REVISIONS MAY BE MADE. MODIFICATION OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE PROJECT MANAGER AND/OR ENGINEER.
- 1.04 CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH SITE CONDITIONS AS SHOWN ON THE ATTACHED SITE PLAN AND/OR SURVEY DRAWINGS.
- 1.05 WAVEGUIDE BRIDGE AND EQUIPMENT CABINETS ARE SHOWN FOR REFERENCE ONLY. REFER TO SEPARATE DRAWINGS FOR SPECIFIC INFORMATION.
- 1.06 ALL FINISHED GRADES SHALL SLOPE MINIMUM 1/4 IN./FT. AWAY FROM EQUIPMENT IN ALL DIRECTIONS. CONTRACTOR SHALL SLOPE SWALES AS REQUIRED ALONG EXISTING TERRAIN TO DRAIN AWAY FROM COMPOUND AND ACCESS DRIVE.
- 1.07 THE PROPOSED TOWER AND TOWER FOUNDATIONS WERE DESIGNED BY OTHERS. TOWER INFORMATION PROVIDED ON THESE PLANS ARE PROVIDED FOR REFERENCE PURPOSES ONLY. NOTIFY ENGINEER OR PROJECT MANAGER OF ANY CONFLICTS OR DISCREPANCIES. CONTRACTOR TO OBTAIN COPY OF TOWER DESIGN DRAWINGS, IF AVAILABLE, FROM VERIZON PROJECT MANAGER TO CONFIRM COAX ROUTING AND ANTENNA MOUNT INFORMATION.
- 1.08 THE CONTRACTOR SHALL PROVIDE ADEQUATE EXCAVATION SLOPING, SHORING, BRACING, AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL SAFETY ORDINANCES.
- 1.09 UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE EXISTING ACCESS ROAD AND COMPOUND GRAVEL AREAS. ANY NEW FILL MATERIALS SHALL BE COMPACTED.
- 1.10 THE CONTRACTOR IS HEREBY NOTIFIED THAT PRIOR TO COMMENCING CONSTRUCTION, HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND SHALL REQUEST A VERIFICATION AT THE CONSTRUCTION SITE OF THE LOCATIONS OF THEIR UNDERGROUND UTILITIES AND WHERE THEY MAY POSSIBLY CONFLICT WITH THE PLACEMENT OF IMPROVEMENTS AS SHOWN ON THESE PLANS. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT WILL BE REQUIRED TO NOTIFY "SOUTH CAROLINA 811" 72 HOURS IN ADVANCE OF PERFORMING ANY WORK BY CALLING THE TOLL FREE NUMBER (888) 721-7877 (OR 811). ANY UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR, AT NO EXPENSE TO THE OWNER.
- 1.11 CONTRACTOR TO PROVIDE DUMPSTER AND PORTABLE TOILET FACILITY DURING CONSTRUCTION.
- 1.12 CONTRACTOR TO PROVIDE STYMIE LOCK OR EQUIVALENT AS APPROVED BY VERIZON PROJECT MANAGER.
- 1.13 CONTRACTOR TO PROVIDE ANY NECESSARY SIGNAGE PER VERIZON PROJECT MANAGER'S INSTRUCTIONS. SEE DETAIL ON SHEET C10.

**2.00 EQUIPMENT FOUNDATION NOTES**

- 2.01 FOUNDATIONS ARE DESIGNED FOR A PRESUMPTIVE ALLOWABLE SOIL BEARING CAPACITY OF 2,000 PSF. CONTRACTOR SHALL VERIFY SOIL CONDITIONS AND BEARING CAPACITY PRIOR TO CONSTRUCTION.
- 2.02 EXCAVATE A MINIMUM 18" BELOW PROPOSED EQUIPMENT FOUNDATIONS OF EXPANSIVE, ORGANIC, UNCONSOLIDATED OR OTHERWISE UNACCEPTABLE MATERIAL AND REPLACE WITH WELL-COMPACTED MATERIAL ACCEPTABLE TO VERIZON.
- 2.03 CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, PROTECTING, AND RELOCATING AS REQUIRED ALL SERVICE AND UTILITY LINES IN VICINITY OF THE WORK SITE. ALL EXCAVATIONS NEAR THESE LINES TO BE CARRIED OUT WITH EXTREME CAUTION. COORDINATE ALL RELOCATIONS WITH THE PROPERTY OWNER.
- 2.04 CONTRACTOR TO CUT/FILL EXISTING COMPOUND SUBSOIL TO PROVIDE AN AREA AS LEVEL AS POSSIBLE FOR THE EQUIPMENT FOUNDATIONS. ALL FILL AREAS ARE TO BE FILLED WITH SUITABLE MATERIALS. FILL MATERIALS ARE TO BE PLACED, COMPACTED, AND TESTED IN MAXIMUM LAYERS OF 8". COMPACTION OF ALL FILL MATERIAL SHALL ACHIEVE 95 PERCENT OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D 698. ALL TESTS MUST MEET THE MINIMUM SPECIFIED SOIL BEARING CAPACITY. COMPACTION TESTING IS BY THE GEOTECHNICAL TESTING COMPANY DESIGNATED FOR THE PROJECT. SCHEDULING AND COORDINATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. REPORTS OF ALL TESTING ARE TO BE PROMPTLY DELIVERED OR FAXED TO THE VERIZON WIRELESS PROJECT MANAGER.
- 2.05 CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION TO ACI-318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
- 2.06 CONCRETE SHALL HAVE A SLUMP BETWEEN 3" AND 6".
- 2.07 REINFORCING BARS SHALL CONFORM TO THE LATEST REVISION OF ASTM-A615 GRADE 60 SPECIFICATIONS AND BE DETAILED IN ACCORDANCE WITH THE LATEST REVISION TO ACI-318.
- 2.08 AT THE REQUEST OF THE VERIZON WIRELESS PROJECT MANAGER, TEST CYLINDERS SHALL BE MOLDED AND LABORATORY CURED IN ACCORDANCE WITH ASTM C31. THREE CYLINDERS SHALL BE TAKEN FOR EACH DAY'S CONCRETE PLACEMENT. CYLINDERS SHALL BE TESTED IN ACCORDANCE WITH THE LATEST REVISION TO ASTM C39.
- 2.09 CHAMFER ALL EXPOSED EXTERNAL CORNERS OF CONCRETE WITH 3/4" x 45' CHAMFER, UNLESS OTHERWISE NOTED.
- 2.10 CONCRETE FORMWORK IS TO BE STRIPPED WITHIN 48 HOURS. VIBRATION OF THE CONCRETE MUST ASSURE THAT HONEYCOMBING WILL BE AT A MINIMUM. MECHANICAL VIBRATION OF ALL CONCRETE IS REQUIRED UNLESS OTHERWISE DIRECTED BY VERIZON WIRELESS' PROJECT MANAGER. ABOVE GRADE CONCRETE IS TO BE RUBBED AND PATCHED TO ASSURE SMOOTH FINISH AT TIME OF FORMS REMOVAL. CONTRACTOR SHALL PROVIDE A BROOM FINISH ON THE TOP SURFACE OF THE EQUIPMENT FOUNDATION UNLESS OTHERWISE DIRECTED BY VERIZON WIRELESS' PROJECT MANAGER.
- 2.11 TOPS OF CONCRETE FOUNDATION MUST BE WITHIN 0.02' OF ELEVATION REQUIRED.
- 2.12 TOP OF FOUNDATION FINISH TO BE LEVEL  $\pm 1/8"$  IN 10'.
- 2.13 TOP OF FOUNDATION TO HAVE MEDIUM BROOM FINISH.
- 2.14 CONTRACTOR SHALL REFER TO DRAWINGS OF OTHER TRADES AND VENDOR DRAWINGS FOR EMBEDDED ITEMS AND RECESSES NOT SHOWN ON THE STRUCTURAL DRAWINGS. CONTRACTOR SHALL VERIFY PLACEMENT OF EQUIPMENT AND LOCATION OF CONDUIT FOR MANUFACTURER'S AND VENDORS SPECIFICATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL OPENINGS AND SLEEVES FOR PROPER DISTRIBUTION OF ALL UTILITIES.

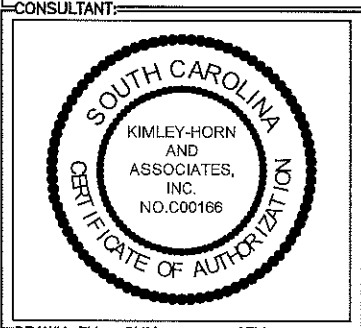


PROJECT INFORMATION:  
**VERIZON NAME: SITTON**  
**VERIZON No.: TBD**  
 PRATER FARM ROAD  
 SENECA, SC 28678  
 OCONEE COUNTY

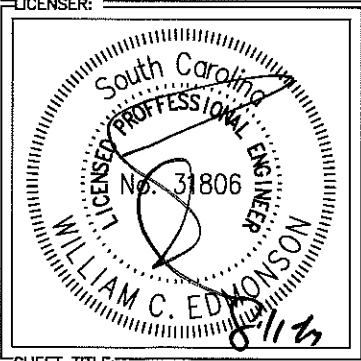
CURRENT ISSUE DATE:  
 08/01/16

ISSUED FOR:  
**CONSTRUCTION**

REV. DATE:	ISSUED FOR:	BY:
0 08/01/16	CONSTRUCTION	WCE



DRAWN BY: CHK.: APV.:  
 KBB KRM WCE



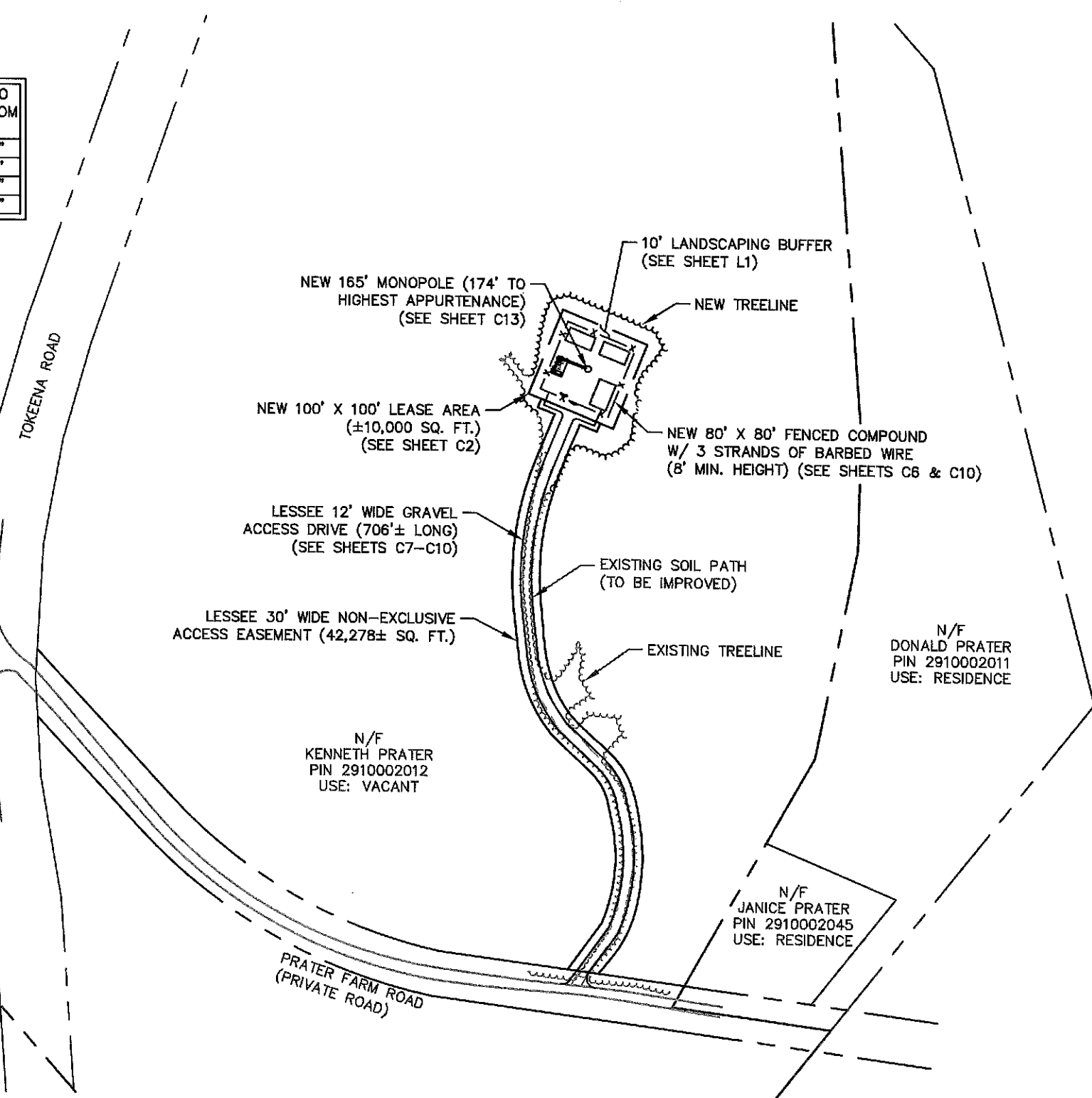
SHEET TITLE:  
**GENERAL NOTES**

SHEET NUMBER: REVISION:  
**N1** **0**  
 018985125

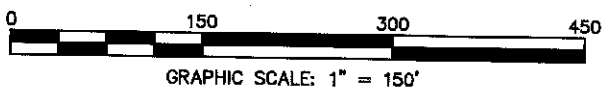
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TOWER SETBACKS TO PROPERTY LINES (FROM TOWER CENTER)	
NORTH	764'-3"
SOUTH	661'-5"
EAST	295'-5"
WEST	553'-9"



1 OVERALL SITE PLAN  
C1 SCALE: 1" = 150'



**SURVEY NOTE:**  
 1. VERIZON WIRELESS STAFF SHALL COORDINATE WITH THE PROPERTY OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.  
 2. PROPOSED COMPOUND LAYOUT BASED ON SURVEY PROVIDED BY BATEMAN CIVIL SURVEY CO. DATED 09/18/14 AND SITE VISIT ON 08/25/14.



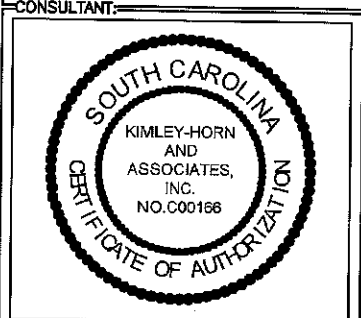
PROJECT INFORMATION:  
**VERIZON NAME: SITTON**  
**VERIZON No.: TBD**  
 PRATER FARM ROAD  
 SENECA, SC 28678  
 OCONEE COUNTY

CURRENT ISSUE DATE:  
**02/16/17**

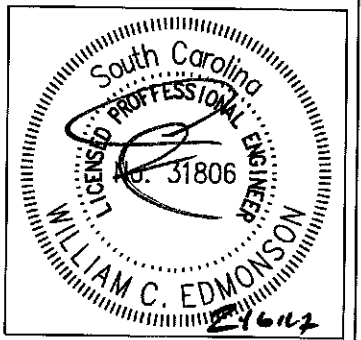
ISSUED FOR:  
**CONSTRUCTION**

REV.	DATE	ISSUED FOR	BY
0	11/04/14	CONSTRUCTION	WCE
1	08/01/16	CONSTRUCTION	WCE
2	02/16/17	CONSTRUCTION	WCE

CONSULTANT:  
**Kimley»Horn**  
 2 SUN COURT, SUITE 450  
 PEACHTREE CORNERS, GA 30092  
 PHONE: 770-825-0744  
 WWW.KIMLEY-HORN.COM  
 SC License C00166



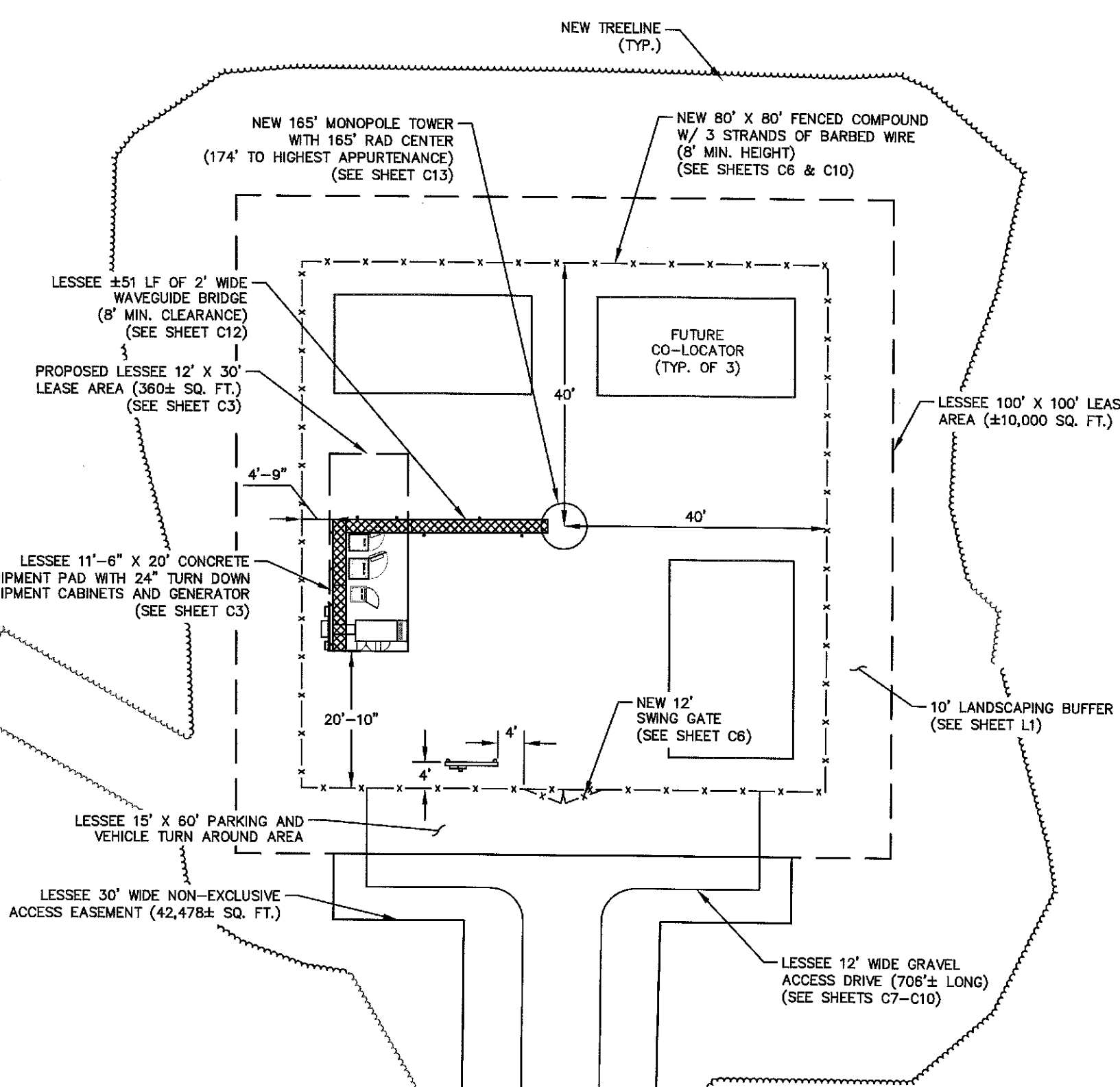
DRAWN BY: CHK.: APV.:  
 KBB KRM WCE



SHEET TITLE:  
**OVERALL SITE PLAN**

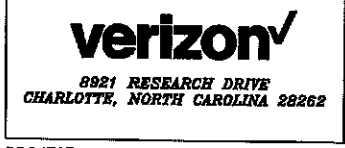
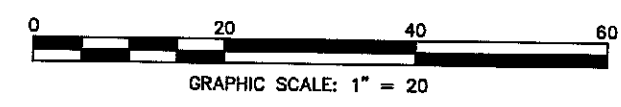
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**C1** **2**  
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1  
C2 SITE PLAN  
SCALE: 1" = 20'

- SITE NOTES:**
1. VERIZON WIRELESS STAFF SHALL COORDINATE WITH THE PROPERTY OWNER AND/OR TOWER OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
  2. PROPOSED COMPOUND LAYOUT BASED ON SURVEY PROVIDED BY BATEMAN CIVIL SURVEY CO. DATED 07/18/14 AND SITE VISIT ON 08/25/14.
  3. CONTRACTOR TO CONFIRM WITH VERIZON CONSTRUCTION MANAGER THAT THE EQUIPMENT SHOWN HAS BEEN ORDERED/SCHEDULED FOR DELIVERY TO THIS SITE.
  4. THE BASIS OF EQUIPMENT DESIGN INCLUDES ONE (1) COMMSCOPE RBA72-36 BATTERY CABINET, ONE (1) COMMSCOPE RBA72 RF CABINET, AND ONE (1) ERICSSON RBS 6120 RF CABINET.
  5. ROUTE COAX/FIBER UP TOWER PER STRUCTURAL ANALYSIS BY TOWER OWNER.



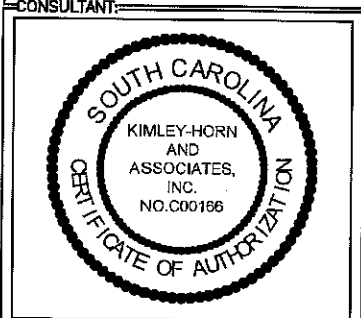
PROJECT INFORMATION:  
**VERIZON NAME: SITTON**  
**VERIZON No.: TBD**  
 PRATER FARM ROAD  
 SENECA, SC 28678  
 OCONEE COUNTY

CURRENT ISSUE DATE:  
 02/16/17

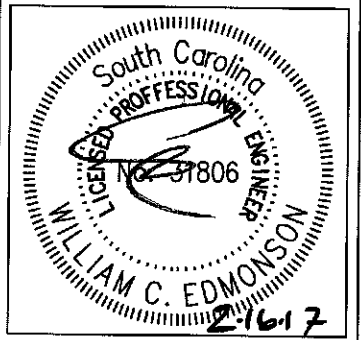
ISSUED FOR:  
 CONSTRUCTION

REV.	DATE	ISSUED FOR	BY
0	11/04/14	CONSTRUCTION	WCE
1	08/01/16	CONSTRUCTION	WCE
2	02/16/17	CONSTRUCTION	WCE

CONSULTANT:  
**Kimley»Horn**  
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 WWW.KIMLEY-HORN.COM  
 SC License C00168



DRAWN BY: CHK.: APV.:  
 KBB KRM WCE



SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER: **C2** REVISION: **2**  
 018985125

**verizon**

8921 RESEARCH DRIVE  
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

VERIZON NAME: SITTON  
VERIZON No.: TBD

PRATER FARM ROAD  
SENECA, SC 28678  
OCONEE COUNTY

CURRENT ISSUE DATE:

08/01/16

ISSUED FOR:

CONSTRUCTION

REV. DATE: ISSUED FOR: BY:

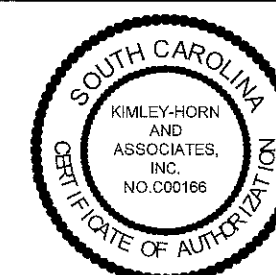
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1	08/01/16	CONSTRUCTION	WCE

CONSULTANT:

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2 SUN COURT, SUITE 450  
PEACHTREE CORNERS, GA 30092  
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WWW.KIMLEY-HORN.COM  
SC License C00166

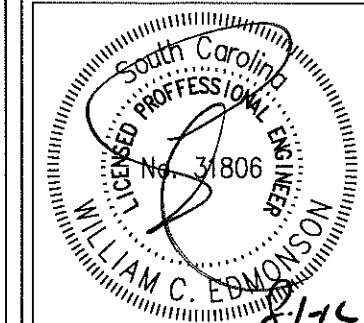
CONSULTANT:



DRAWN BY: CHK.: APV.:

KBB KRM WCE

LICENSER:



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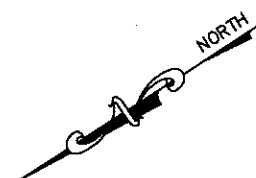
**EQUIPMENT  
PAD LAYOUT**

SHEET NUMBER: REVISION:

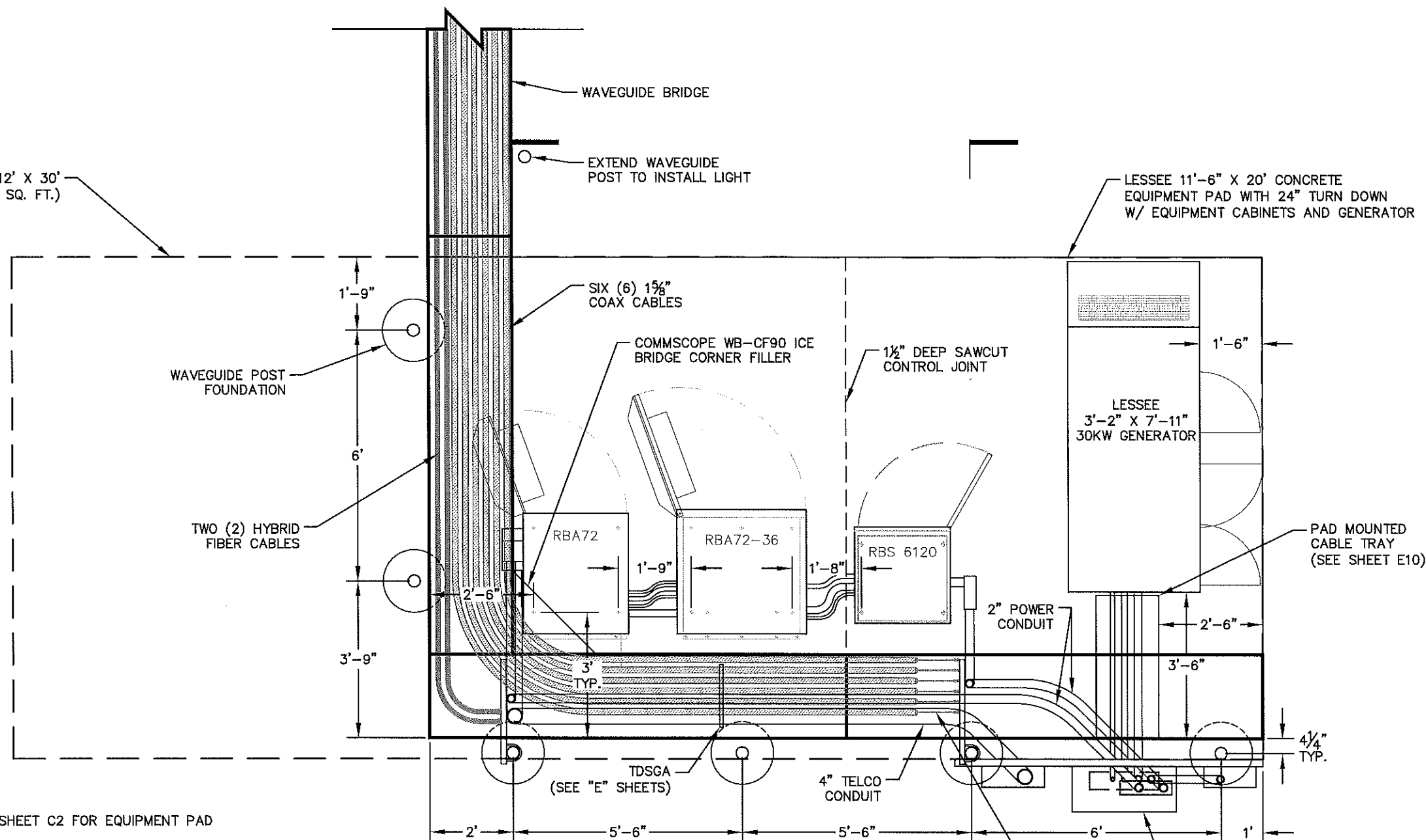
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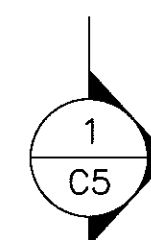
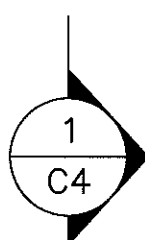


PROPOSED LESSEE 12' X 30'  
LEASE AREA (360± SQ. FT.)

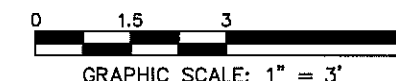


**EQUIPMENT PAD NOTES:**

- REFER TO THE SITE PLAN ON SHEET C2 FOR EQUIPMENT PAD LOCATION AND ORIENTATION.
- RUN 4" TELCO CONDUIT OVERHEAD ON WAVEGUIDE BRIDGE USING 16" RADIUS SWEEPS AT ALL BENDS. CONNECT TO 12X12X6 PVC NEMA BOX ON SIDE OF RBA72.
- RUN 2" POWER CONDUIT OVERHEAD ON WAVEGUIDE BRIDGE, SWEEP DOWN CABLE LADDER TO APPROX. 5' HIGH, THEN SWEEP OVER TO 6X6X6 PVC NEMA BOX ON SIDE OF RBA72.
- RUN 2" POWER CONDUIT OVERHEAD ON WAVEGUIDE BRIDGE, SWEEP DOWN CABLE LADDER TO APPROX. 6" HEIGHT, THEN ELBOW OVER TO LB FITTING ON SIDE OF PLINTH BELOW 6120 RF CABINET.
- RUN HYBRID CABLE OVERHEAD ON WAVEGUIDE BRIDGE, SWEEP DOWN CABLE LADDER TO APPROX. 18" HEIGHT, THEN SWEEP OVER TO PENETRATION IN DOGHOUSE ON BACK OF RBA72 RF CABINET.
- FASTEN CONDUITS TO UNISTRUT ON WAVEGUIDE BRIDGE AND CABLE LADDER WITH TWO PIECE HOT DIP GALVANIZED CONDUIT STRAPS.
- BOLT CABINETS AND GENERATOR TO SLAB USING FASTENERS SPECIFIED BY EQUIPMENT MANUFACTURER IN FACTORY PROVIDED MOUNTING HOLES.
- SAWCUT CONTROL JOINT TO BE TREATED WITH SIKADUR 51 SL SEALANT OR APPROVED EQUAL.



**1** EQUIPMENT PAD LAYOUT  
SCALE: 1" = 3'



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PROJECT INFORMATION:  
**VERIZON NAME: SITTON**  
**VERIZON No.: TBD**  
 PRATER FARM ROAD  
 SENECA, SC 28678  
 OCONEE COUNTY

CURRENT ISSUE DATE:  
**08/01/16**

ISSUED FOR:  
**CONSTRUCTION**

REV. DATE ISSUED FOR BY:

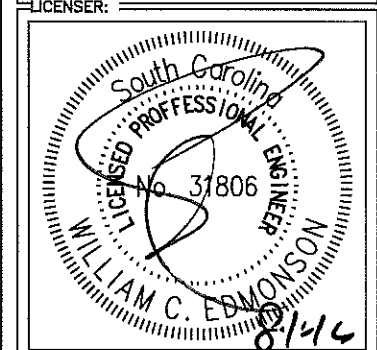
0	11/04/14	CONSTRUCTION	WCE
1	08/01/16	CONSTRUCTION	WCE

CONSULTANT:  
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 WWW.KIMLEY-HORN.COM  
 SC License C00166



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KBB	KRM	WCE
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SHEET TITLE:  
**EQUIPMENT PAD FOUNDATION SECTION**

SHEET NUMBER: **C4** REVISION: **1**  
 018985125

ALL OVERHEAD CONDUITS TO BE MOUNTED TO 7/8" P3300 UNISTRUT MOUNTED TO SIDE FLANGE OF WAVEGUIDE BRIDGE USING UNISTRUT P1498 FITTINGS. SUPPORT TELCO AND ELECTRICAL CONDUIT FROM UNISTRUT USING TWO PIECE HOT DIP GALVANIZED CONDUIT CLAMPS.

WAVEGUIDE BRIDGE KIT (PART #: WB-K210-B15 WITH MF-273 BURIAL POST OR APPROVED EQUIVALENT)

WAVEGUIDE POST (SEE SHEET C12)

VALMONT/SITE PRO SITE STRUT OR APPROVED EQUAL. FASTEN TO POST USING 1/2" GALVANIZED U-BOLT OR APPROVED EQUAL. COLD GALVANIZE ANY DRILLED HOLES IN SITE STRUT AND AT ANY CUT-OFF BOLT ENDS.

8' (MINIMUM CLEARANCE)

LESSEE 11'-6" X 20' CONCRETE EQUIPMENT PAD WITH 24" TURN DOWN WITH EQUIPMENT CABINETS AND GENERATOR

#4 @ 1'-0" (MAX.) E.W.

2" CLEAR (TYP. U.O.N.)

FINISH GRADE

4"

6"

1'-10"

1'-10"

1'-10"

1'-10"

1'-6"

4/4"

6" OF #57 STONE-MIN.

WELL COMPACTED FILL MATERIAL (18" MINIMUM)

STANDARD ACI HOOK

6-#4 LONG REINF.

#4 CLOSED STIRRUP @ 18" O.C.

COMPACTED CRUSHED AGGREGATE (6" MINIMUM)

18"Ø WAVEGUIDE BRIDGE POST FOOTING (SEE SHEET C12)

1  
C4

**EQUIPMENT PAD FOUNDATION SECTION**

SCALE: 1" = 2'



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ALL OVERHEAD CONDUITS TO BE MOUNTED TO 7/8" P3300 UNISTRUT MOUNTED TO SIDE FLANGE OF WAVEGUIDE BRIDGE USING UNISTRUT P1498 FITTINGS. SUPPORT TELCO AND ELECTRICAL CONDUIT FROM UNISTRUT USING TWO PIECE HOT DIP GALVANIZED CONDUIT CLAMPS.

WAVEGUIDE BRIDGE KIT (PART #: WB-K210-B15 WITH MF-273 BURIAL POST OR APPROVED EQUIVALENT)

WAVEGUIDE POST (SEE SHEET C12)

SITE STRUTS TO SUPPORT DIPLEXERS. INSTALLED AS REQUIRED.

VALMONT/SITE PRO SITE STRUT OR APPROVED EQUAL. FASTEN TO POST USING 1/2" GALVANIZED U-BOLT OR APPROVED EQUAL. COLD GALVANIZE ANY DRILLED HOLES IN SITE STRUT AND AT ANY CUT-OFF BOLT ENDS.

8' (MINIMUM CLEARANCE)

LESSEE 11'-6" X 20' CONCRETE EQUIPMENT PAD WITH 24" TURN DOWN WITH EQUIPMENT CABINETS AND GENERATOR

#4 @ 1'-0" (MAX.) E.W.

2" CLEAR (TYP. U.O.N.)

FINISH GRADE

6" OF #57 STONE-MIN.

WELL COMPACTED FILL MATERIAL (18" MINIMUM)

COMPACTED CRUSHED AGGREGATE (6" MINIMUM)

STANDARD ACI HOOK

6-#4 LONG REINF.

#4 CLOSED STIRRUP @ 18" O.C.

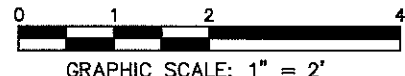
4 1/4"

18" WAVEGUIDE BRIDGE POST FOOTING (SEE SHEET C12)

1  
C5

EQUIPMENT PAD FOUNDATION SECTION

SCALE: 1" = 2'



NOTE:  
IF DIPLEXERS ARE NOT INSTALLED UPON INITIAL CONSTRUCTION, THE LAYOUT ON DETAIL 1/C4 SHALL BE USED.



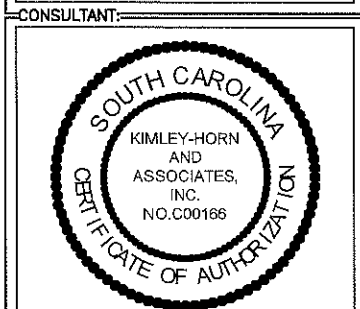
PROJECT INFORMATION:  
**VERIZON NAME: SITTON**  
**VERIZON No.: TBD**  
PRATER FARM ROAD  
SENECA, SC 29678  
OCONEE COUNTY

CURRENT ISSUE DATE:  
08/01/16

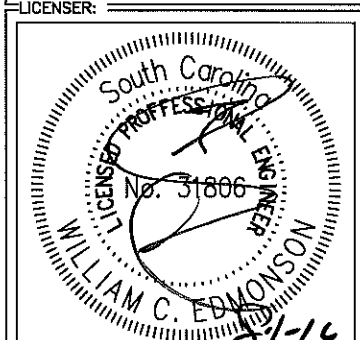
ISSUED FOR:  
**CONSTRUCTION**

REV.	DATE	ISSUED FOR:	BY:
0	11/04/14	CONSTRUCTION	WCE
1	08/01/16	CONSTRUCTION	WCE

CONSULTANT:  
**Kimley»Horn**  
2 SUN COURT, SUITE 450  
PEACHTREE CORNERS, GA 30092  
PHONE: 770-825-0744  
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SC License C00166



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KBB KRM WCE

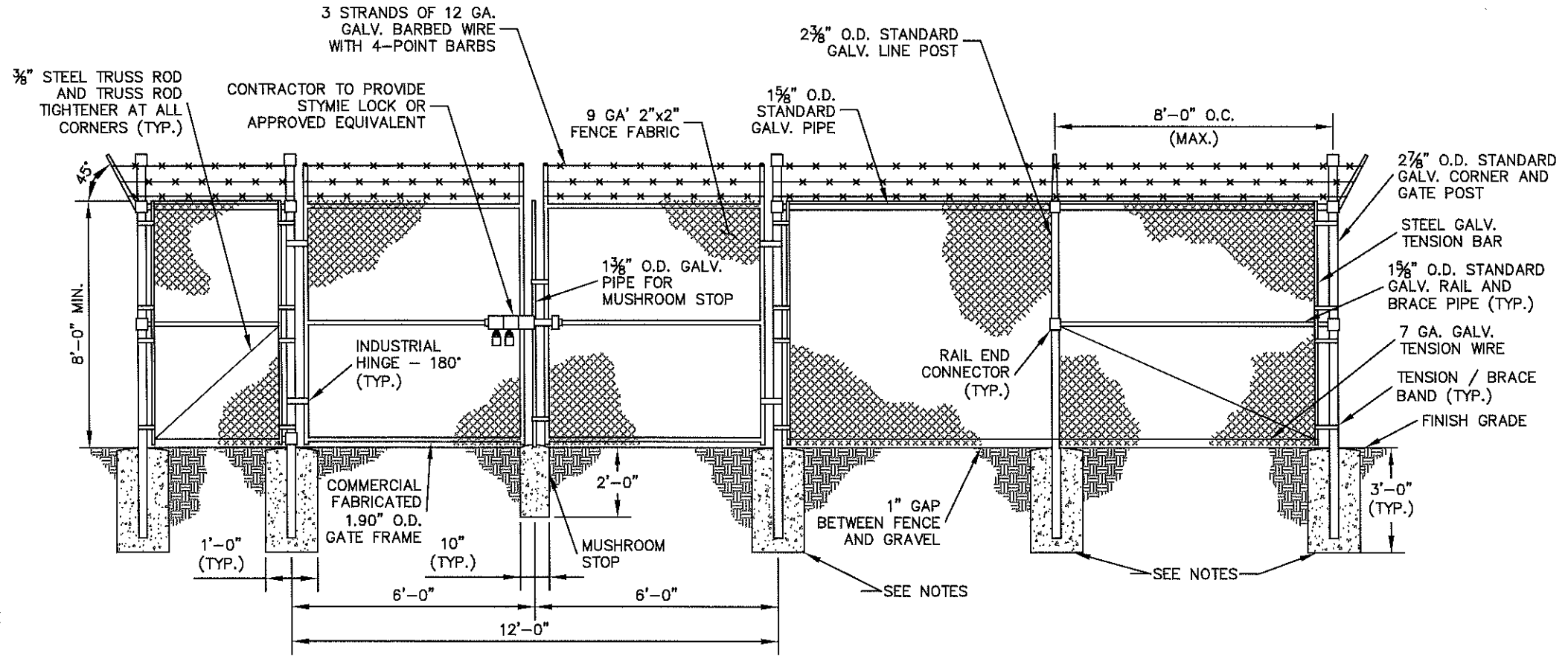


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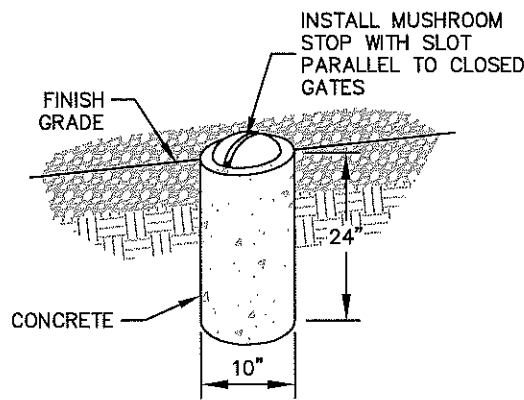
SHEET NUMBER: **C5** REVISION: **1**  
018985125

**FENCE NOTES:**

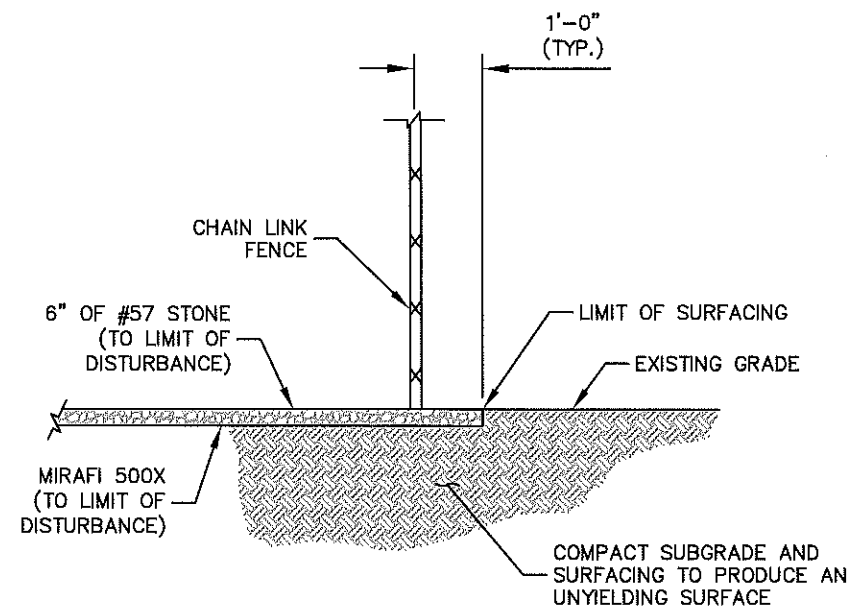
1. USE 3,000-PSI CONCRETE, FULLY CONSOLIDATED AROUND THE POST.
2. WHERE THE POST IS SET IN ROCK OR CONCRETE, CORE A HOLE 12" DEEP AND 1" LARGER IN DIAMETER THAN THE POST. SET THE POST AND GROUT IN PLACE USING NON-SHRINK GROUT.
3. ALL POSTS MUST BE PLUMB AND ALIGNED WITH ONE ANOTHER IN BOTH HORIZONTAL AND VERTICAL PLANES.
4. CORNERS AND GATEPOSTS FOR CHAIN LINK FENCES SHALL EXTEND ABOVE THE TOP STRAND OF BARBED WIRE TO PROVIDE TENSIONING FOR THE BARBED WIRE.
5. PROVIDE MIDRAILS AND BRACING AT ALL CORNER POSTS WHERE THE FENCE CHANGES DIRECTION BY MORE THAN 30 DEGREES.
6. THE GRADE OF THE SITE AND INSTALLATION OF THE FENCE SHALL PROVIDE FOR NO MORE THAN A 1" GAP BETWEEN THE BOTTOM OF THE FENCE MATERIAL AND FINISH GRADE.
7. CONTRACTOR SHALL PROVIDE HOLD OPEN DEVICES FOR ALL GATES AT THE SPECIFIED OPEN POSITIONS, DRIVEN PIPE TYPE RECEIVERS ARE NOT AUTHORIZED.
8. CONTRACTOR SHALL ALSO PROVIDE A MUSHROOM TYPE RECEIVER AT THE CLOSE POSITION.



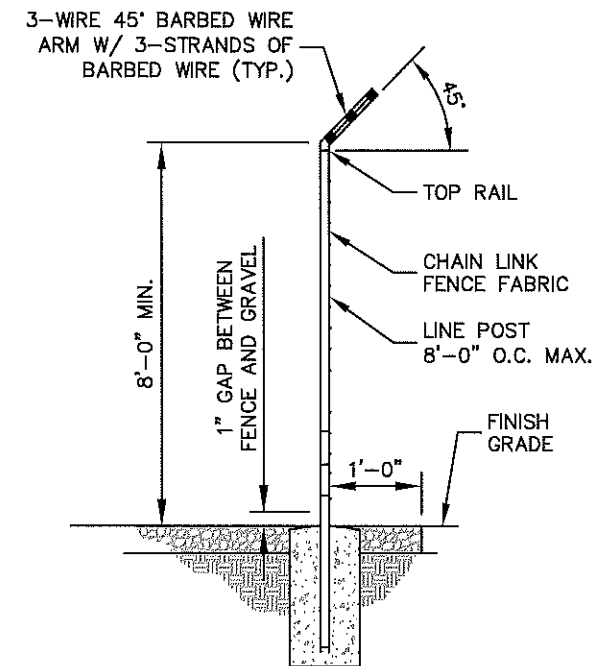
**1 CHAIN LINK FENCE AND GATE ELEVATION**  
C6 NOT TO SCALE



**2 MUSHROOM STOP**  
C6



**3 SITE COMPOUND SURFACE DETAIL**  
C6



**4 SECTION @ FENCE**  
C6



8921 RESEARCH DRIVE  
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

VERIZON NAME: SITTON  
VERIZON No.: TBD

PRATER FARM ROAD  
SENECA, SC 28678  
OCONEE COUNTY

CURRENT ISSUE DATE:

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ISSUED FOR:

CONSTRUCTION

REV. DATE: ISSUED FOR: BY:

REV.	DATE	ISSUED FOR	BY
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1	08/01/16	CONSTRUCTION	WCE

CONSULTANT:



2 SUN COURT, SUITE 450  
PEACHTREE CORNERS, GA 30092  
PHONE: 770-825-0744  
WWW.KIMLEY-HORN.COM  
SC License C00166

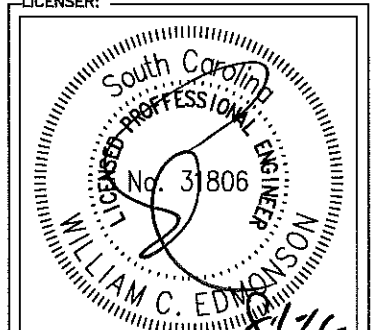
CONSULTANT:



DRAWN BY: CHK.: APV.:

KBB KRM WCE

LICENSER:



SHEET TITLE:

**FENCE, GATE,  
AND COMPOUND  
DETAILS**

SHEET NUMBER: REVISION:

**C6** 1

018985125

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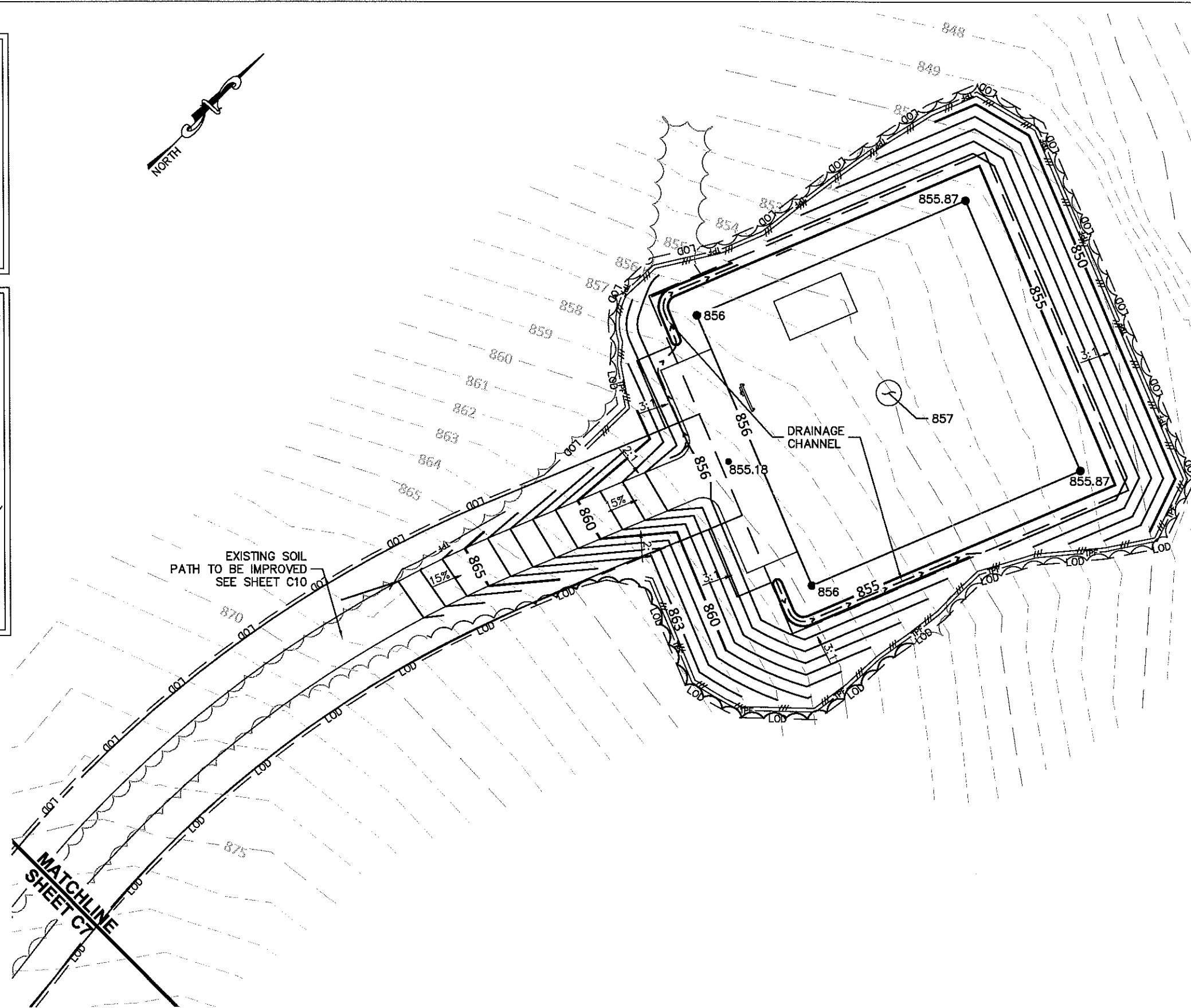
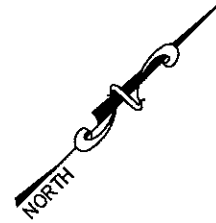
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**NOTE:**  
 CURRENT DESIGN ANTICIPATES APPROXIMATELY 39,272± SQ. FT. (0.90 ACRES) OF CLEARING AND GRADING FOR THE PROPOSED PROJECT. IF ADDITIONAL CLEARING IS REQUIRED BEYOND WHAT IS SHOWN IN THE PLANS THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND/OR PROJECT MANAGER. IF DURING THE BID WALK OR CONSTRUCTION IT IS DETERMINED THAT MORE THAN (1) ACRE OF LAND IS TO BE DISTURBED FOR CONSTRUCTION AN EROSION AND SEDIMENTATION CONTROL PLAN MUST BE FILED 30 DAYS PRIOR TO CONSTRUCTION.

- GRADING NOTES:**
1. THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE PROJECT GEOTECHNICAL ENGINEERS SPECIFICATIONS. FILL MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
  2. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES.
  3. CONTRACTOR SHALL BLEND EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
  4. PORTIONS OF THE SITE NOT SPECIFICALLY MENTIONED WITHIN THE GEOTECHNICAL REPORT SHALL BE COMPACTED TO 95 PERCENT OF THE MATERIALS MAXIMUM DRY DENSITY WITHIN 3 PERCENT OF OPTIMUM MOISTURE CONTENT.
  5. FILL SHALL BE PLACED IN MAXIMUM 8 INCH LOOSE LIFTS.
  6. UNDISTURBED AREAS WITHIN 30' INGRESS/EGRESS EASEMENT NOT NEEDED FOR UTILITY ROUTING TO BE LEFT UNDISTURBED.

**LEGEND**

EXISTING CONTOURS	---
PROPOSED CONTOURS	_____
SILT FENCE	///
LOD	LOD
TPF	TPF
EXISTING SPOT ELEVATION	x XXX
PROPOSED SPOT ELEVATION	• XXX



1  
C7

**GRADING & EROSION CONTROL PLAN**

SCALE : 1" = 30'



**verizon**

8921 RESEARCH DRIVE  
 CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

**VERIZON NAME: SITTON**  
**VERIZON No.: TBD**

PRATER FARM ROAD  
 SENECA, SC 28678  
 OCONEE COUNTY

CURRENT ISSUE DATE:

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CONSULTANT:

**Kimley»Horn**

2 SUN COURT, SUITE 450  
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 PHONE: 770-825-0744  
 WWW.KIMLEY-HORN.COM  
 SC License C00166

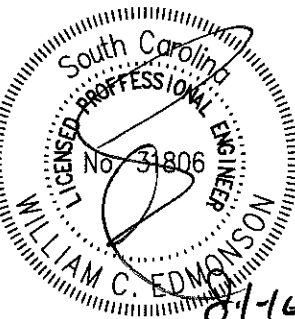
CONSULTANT:



DRAWN BY: CHK.: APV.:

KBB KRM WCE

LICENSER:



SHEET TITLE:

**GRADING & EROSION CONTROL PLAN 1 OF 2**

SHEET NUMBER: REVISION:

**C7**

**1**

018985125

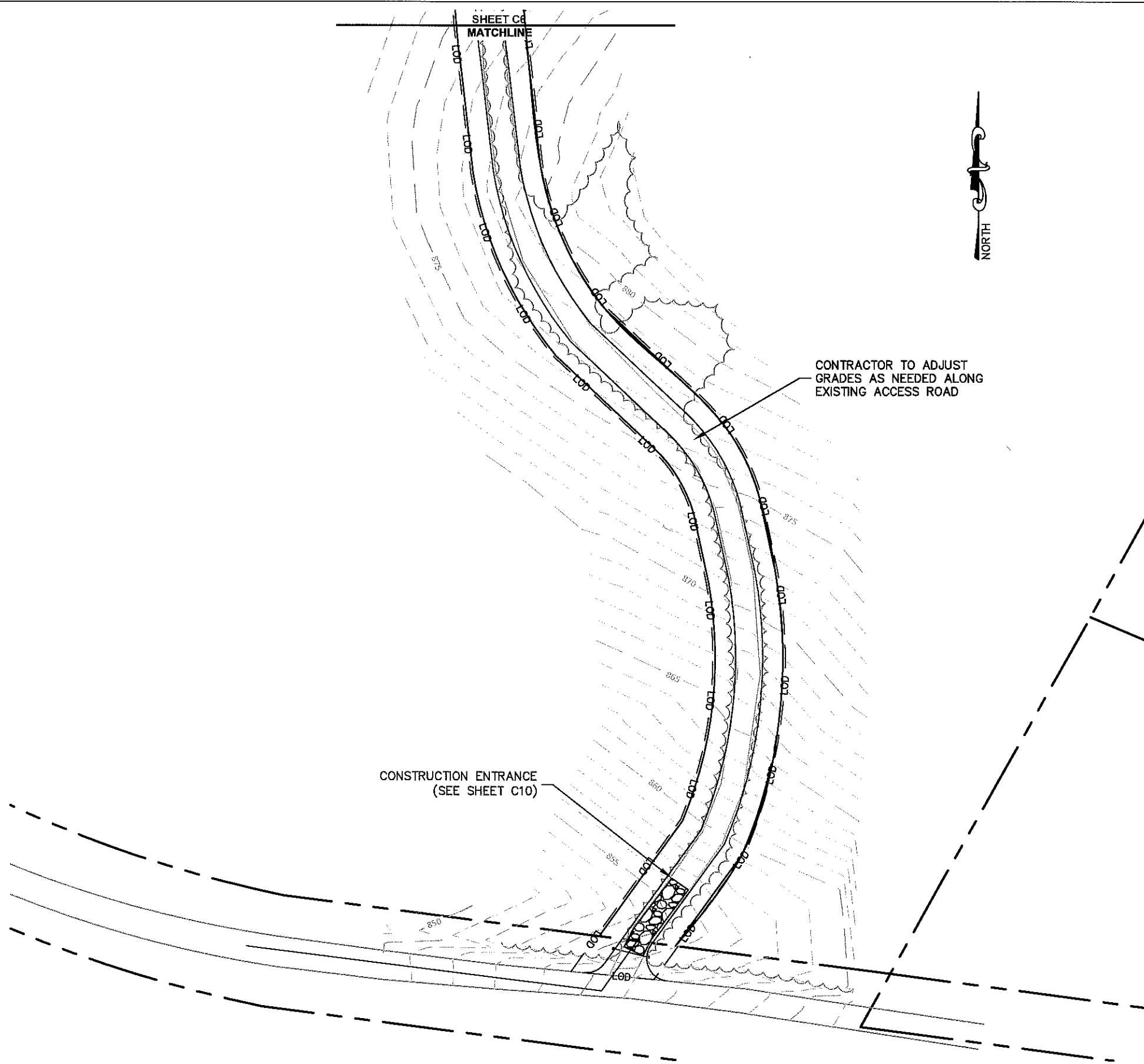
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**NOTE:**  
 CURRENT DESIGN ANTICIPATES APPROXIMATELY 39,272± SQ. FT. (0.90 ACRES) OF CLEARING AND GRADING FOR THE PROPOSED PROJECT. IF ADDITIONAL CLEARING IS REQUIRED BEYOND WHAT IS SHOWN IN THE PLANS THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND/OR PROJECT MANAGER. IF DURING THE BID WALK OR CONSTRUCTION IT IS DETERMINED THAT MORE THAN (1) ACRE OF LAND IS TO BE DISTURBED FOR CONSTRUCTION AN EROSION AND SEDIMENTATION CONTROL PLAN MUST BE FILED WITH NCDENR 30 DAYS PRIOR TO CONSTRUCTION.

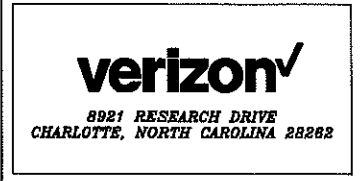
- GRADING NOTES:**
1. THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE PROJECT GEOTECHNICAL ENGINEERS SPECIFICATIONS. FILL MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
  2. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES.
  3. CONTRACTOR SHALL BLEND EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
  4. PORTIONS OF THE SITE NOT SPECIFICALLY MENTIONED WITHIN THE GEOTECHNICAL REPORT SHALL BE COMPACTED TO 95 PERCENT OF THE MATERIALS MAXIMUM DRY DENSITY WITHIN 3 PERCENT OF OPTIMUM MOISTURE CONTENT.
  5. FILL SHALL BE PLACED IN MAXIMUM 8 INCH LOOSE LIFTS.
  6. UNDISTURBED AREAS WITHIN 30' INGRESS/EGRESS EASEMENT NOT NEEDED FOR UTILITY ROUTING TO BE LEFT UNDISTURBED.

**LEGEND**

EXISTING CONTOURS	---
PROPOSED CONTOURS	—
SILT FENCE	— / / /
LOD	— LOD — LOD
TPF	— TPF — TPF
EXISTING SPOT ELEVATION	x XXX
PROPOSED SPOT ELEVATION	● XXX



**1** GRADING & EROSION CONTROL PLAN  
 C8 SCALE : 1" = 50'  
 GRAPHIC SCALE: 1" = 50'



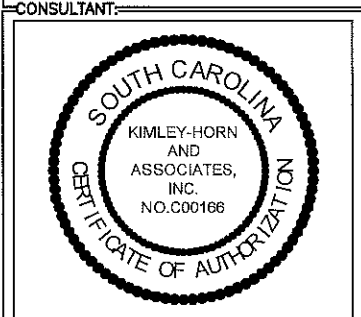
PROJECT INFORMATION:  
**VERIZON NAME: SITTON**  
**VERIZON No.: TBD**  
 PRATER FARM ROAD  
 SENECA, SC 28678  
 OCONEE COUNTY

CURRENT ISSUE DATE:  
 08/01/16

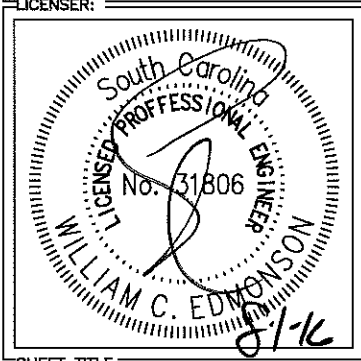
ISSUED FOR:  
**CONSTRUCTION**

REV.	DATE	ISSUED FOR	BY
0	11/04/14	CONSTRUCTION	WCE
1	08/01/16	CONSTRUCTION	WCE

CONSULTANT:  
**Kimley»Horn**  
 2 SUN COURT, SUITE 450  
 PEACHTREE CORNERS, GA 30092  
 PHONE: 770-825-0744  
 WWW.KIMLEY-HORN.COM  
 SC License C00166



DRAWN BY: KBB  
 CHK: KRM  
 APV: WCE



SHEET TITLE:  
**GRADING & EROSION CONTROL PLAN 2 OF 2**

SHEET NUMBER: **C8**  
 REVISION: **1**  
 018985125

PROJECT INFORMATION:

VERIZON NAME: SITTON  
VERIZON No.: TBD

PRATER FARM ROAD  
SENECA, SC 28678  
OCONEE COUNTY

CURRENT ISSUE DATE:

08/01/16

ISSUED FOR:

CONSTRUCTION

REV. DATE ISSUED FOR BY:

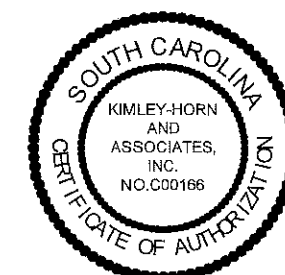
0	11/04/14	CONSTRUCTION	WCE
1	08/01/16	CONSTRUCTION	WCE

CONSULTANT:

**Kimley»Horn**

2 SUN COURT, SUITE 450  
PEACHTREE CORNERS, GA 30092  
PHONE: 770-825-0744  
WWW.KIMLEY-HORN.COM  
SC License C00166

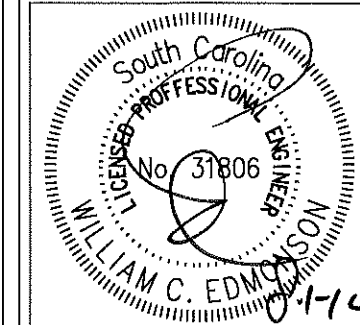
CONSULTANT:



DRAWN BY: CHK.: APV.:

KBB KRM WCE

LICENSER:



SHEET TITLE:

**GRADING &  
EROSION CONTROL  
DETAILS**

SHEET NUMBER: REVISION:

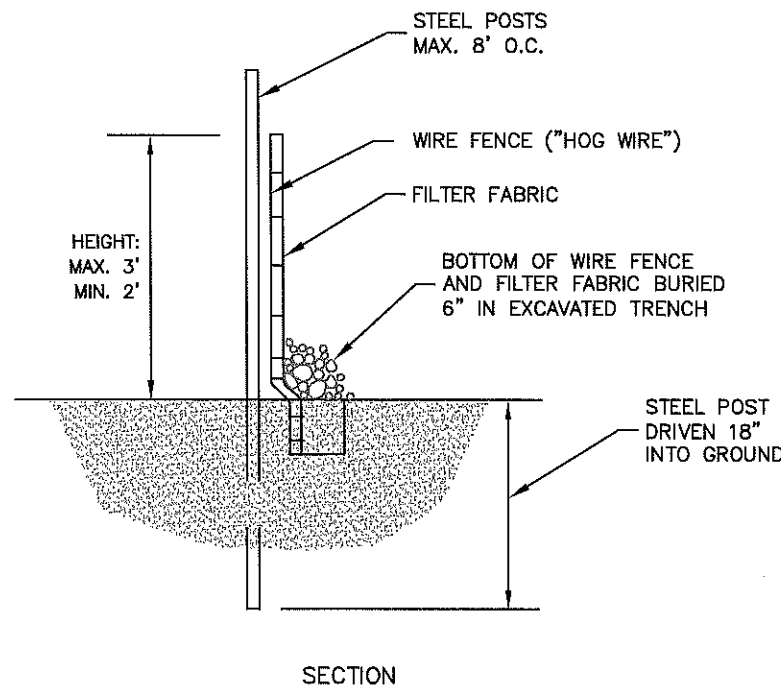
C9

1

018985125

**EROSION CONTROL NOTES:**

1. EROSION CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE.
2. ALL EXCAVATED SOILS NOT NEEDED ON SITE FOR BACKFILL OPERATIONS SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE TAKEN OFF SITE AND LEGALLY DISPOSED OF.
3. SOIL REMAINING ON SITE SHALL HAVE SILT FENCE TIGHTLY PLACED AROUND THE ENTIRE CIRCUMFERENCE OF THE PILE.
4. PROVIDE EROSION CONTROLS AS NECESSARY TO PREVENT EXISTING SOILS FROM DRAINING OFF SITE OR INTO EXISTING DRAINAGE STRUCTURES.
5. ERECTION OF EROSION CONTROLS SHALL BE IN ACCORDANCE WITH STATE AND LOCAL EROSION CONTROL REGULATIONS.



1  
C9  
**SEDIMENT FENCE (SILT FENCE)**  
NOT TO SCALE

**SEEDING SCHEDULE FOR WINTER / SPRING  
CONSTRUCTION ACTIVITIES**

**SEEDING MIXTURE**

Species	Rate (lb/acre)
Rye (grain)	120
Annual lespedeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains)	50

Omit annual lespedeza when duration of temporary cover is not to extend beyond June.

**SEEDING DATES**

Mountains-- Above 2500 ft: Feb 15 - May 15  
Below 2500 ft.: feb. 1 - May 1  
Piedmont--Jan. 1 - May 1  
Coastal Plain--Dec. 1 - Apr. 15

**SOIL AMENDMENTS**

Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.

**MULCH**

Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

**MAINTENANCE**

Refertilize if growth is not fully adequate. Reseed, refertilize and mulch immediately following erosion or other damage.

**SEEDING SCHEDULE FOR SUMMER  
CONSTRUCTION ACTIVITIES**

**SEEDING MIXTURE**

Species	Rate (lb/acre)
Common Bermudagrass	40-80 (1-2 lb/1,000 sq. ft.)

**SEEDING DATES**

Coastal Plain--Apr. 1 - July  
Piedmont--Apr. 15 - June 30

**SOIL AMENDMENTS**

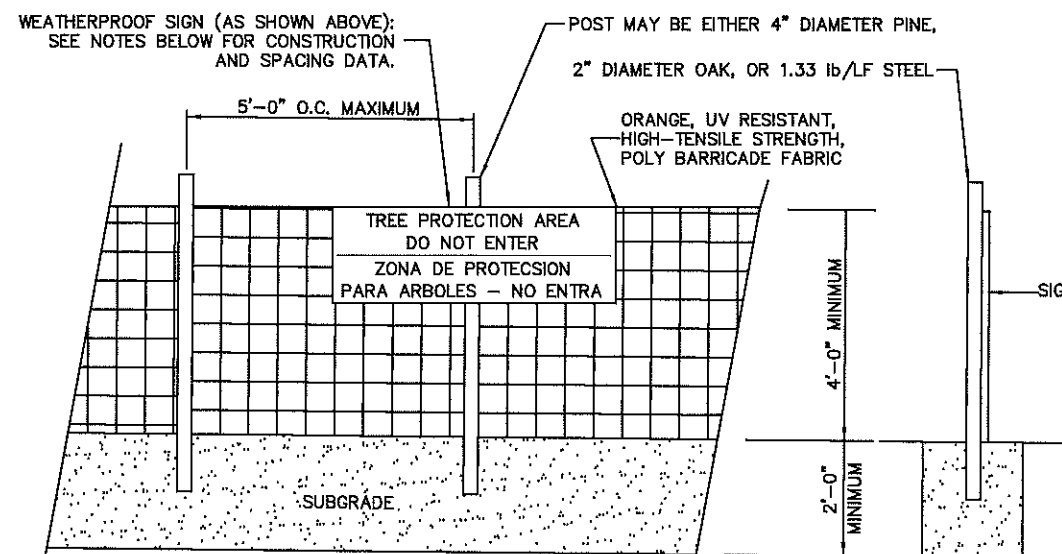
Apply lime and fertilizer according to soil tests, or apply 3,000 lb/acre ground agricultural limestone and 500 lb/acre 10-10-10 fertilizer.

**MULCH**

Use jute, excelsior matting, or other effective channel lining material to cover the bottom of channels and ditches. The lining should extend above the highest calculated depth of flow. On channel side slopes above this height, and in drainages not requiring temporary lining, apply 4,000 lb/acre grain straw and anchor straw by stapling netting over the top.

**MAINTENANCE**

A minimum of 3 weeks is required for establishment. Inspect and repair mulch frequently. Refertilize the following Apr. with 50 lb/acre nitrogen.

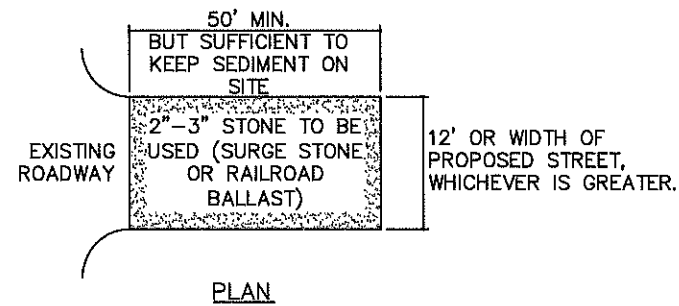


**NOTES**

INSTALL TREE PROTECTION FENCE AND SIGNAGE PRIOR TO CALLING FOR SITE INSPECTION. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT. ADDITIONAL SIGNS MAY BE REQUIRED BASED ON ACTUAL FIELD CONDITIONS.

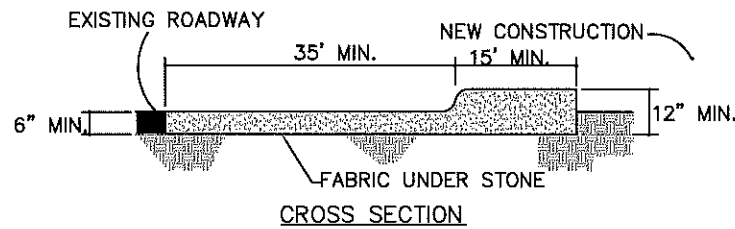
3  
C9  
**TREE PROTECTION FENCE**  
NOT TO SCALE

K:\ATL\_Wireless\000\_Verizon\2014\_Sites\Sifton\CAD\Rev1-07-11-16\Sifton\_CD\_R1.dwg August 1, 2016 9:04 AM by: kerry.pierre

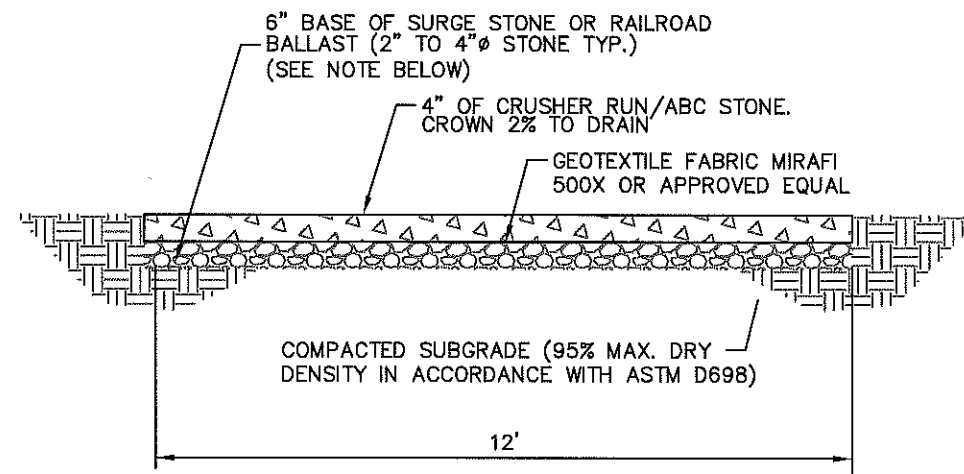


**NOTES:**

1. PUT SILT FENCE OR TREE PROTECTION FENCE UP TO ENSURE CONSTRUCTION ENTRANCE IS USED.
2. IF CONSTRUCTION ON THE SITES ARE SUCH THAT THE MUD IS NOT REMOVED BY THE VEHICLE TRAVEL-ING OVER THE STONE, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING THE PUBLIC ROAD.
3. IF A PROJECT CONTINUES TO PULL MUD AND DEBRIS ON TO THE PUBLIC ROAD, THE GOVERNING AUTHORITY WILL CLEAN THE AREA AND INVOICE THE FINANCIALLY RESPONSIBLE PERSON AS INDICATED ON THE FINANCIAL RESPONSIBILITY FORM.



**1** CONSTRUCTION ENTRANCE  
C10 NOT TO SCALE



**NOTE:**  
IF DETERMINED NECESSARY DURING GRADING AND CONSTRUCTION OF THE ACCESS ROAD BY THE VERIZON WIRELESS PROJECT MANAGER, THE CONTRACTOR SHALL INSTALL 6" BASE OF SURGE STONE OR RAILROAD BALLAST (2" TO 4"Ø STONE TYP.)

**2** STANDARD ACCESS ROAD DETAIL  
C10 NOT TO SCALE



8921 RESEARCH DRIVE  
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

VERIZON NAME: SITTON  
VERIZON No.: TBD

PRATER FARM ROAD  
SENECA, SC 28678  
OCONEE COUNTY

CURRENT ISSUE DATE:

08/01/16

ISSUED FOR:

CONSTRUCTION

REV. DATE ISSUED FOR BY:

REV.	DATE	ISSUED FOR	BY
0	11/04/14	CONSTRUCTION	WCE
1	08/01/16	CONSTRUCTION	WCE

CONSULTANT:



2 SUN COURT, SUITE 450  
PEACHTREE CORNERS, GA 30092  
PHONE: 770-825-0744  
WWW.KIMLEY-HORN.COM  
SC License C00166

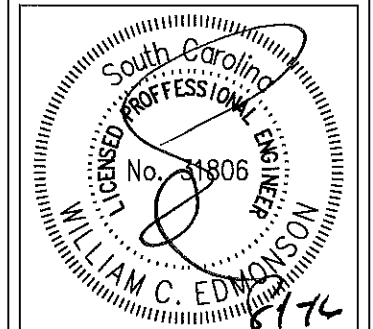
CONSULTANT:



DRAWN BY: CHK.: APV.:

KBB KRM WCE

LICENSER:



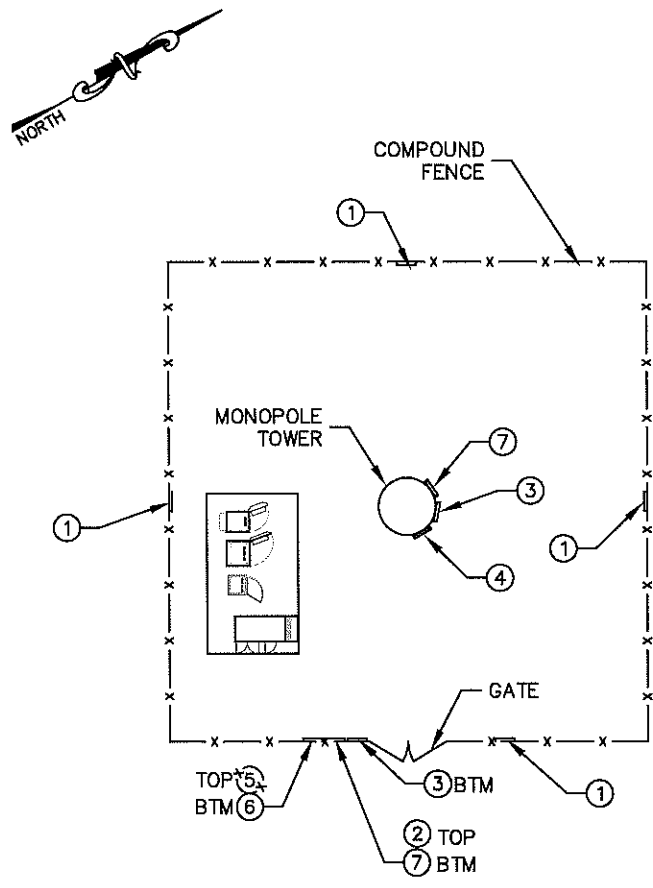
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ACCESS ROAD  
DETAILS

SHEET NUMBER: REVISION:

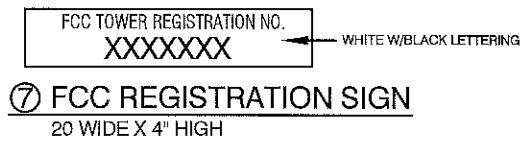
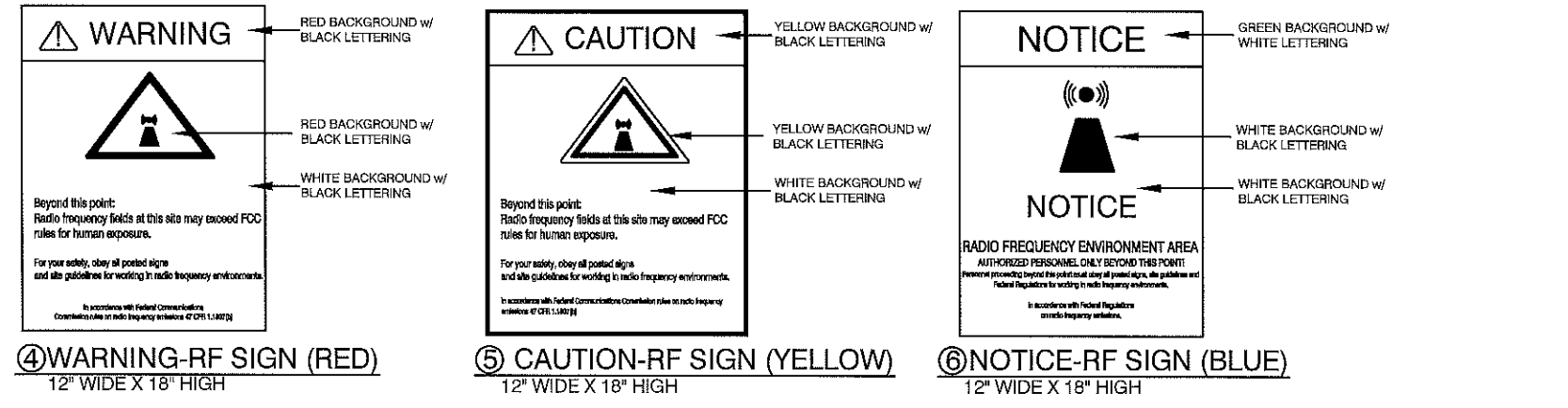
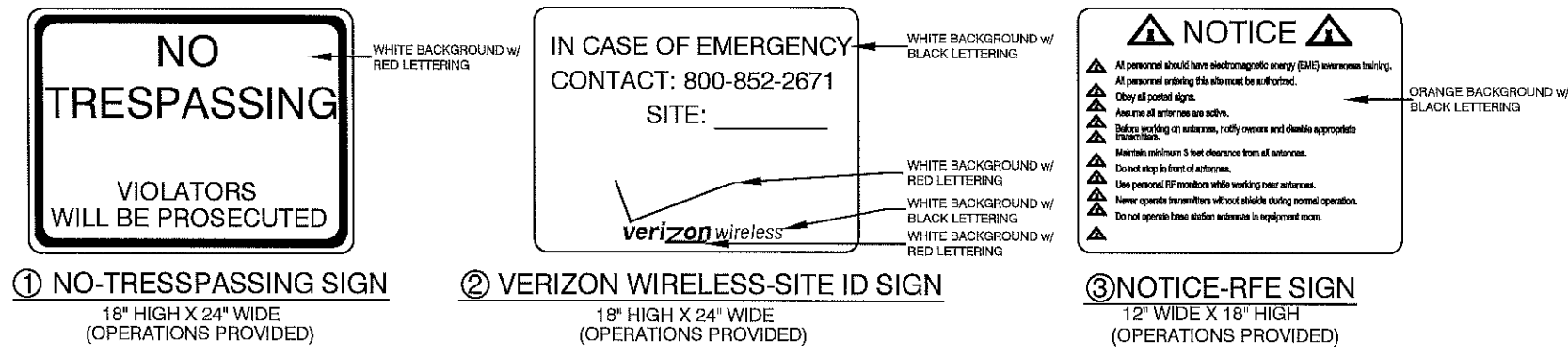
C10 1  
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K:\ATL\_Wireless\000\_Verizon\2014\_Sites\Sifton\CAD\CD\Rev1-07-11-16\Sifton\_CD\_R1.dwg August 1, 2016 9:04 AM by: kerry.pierre

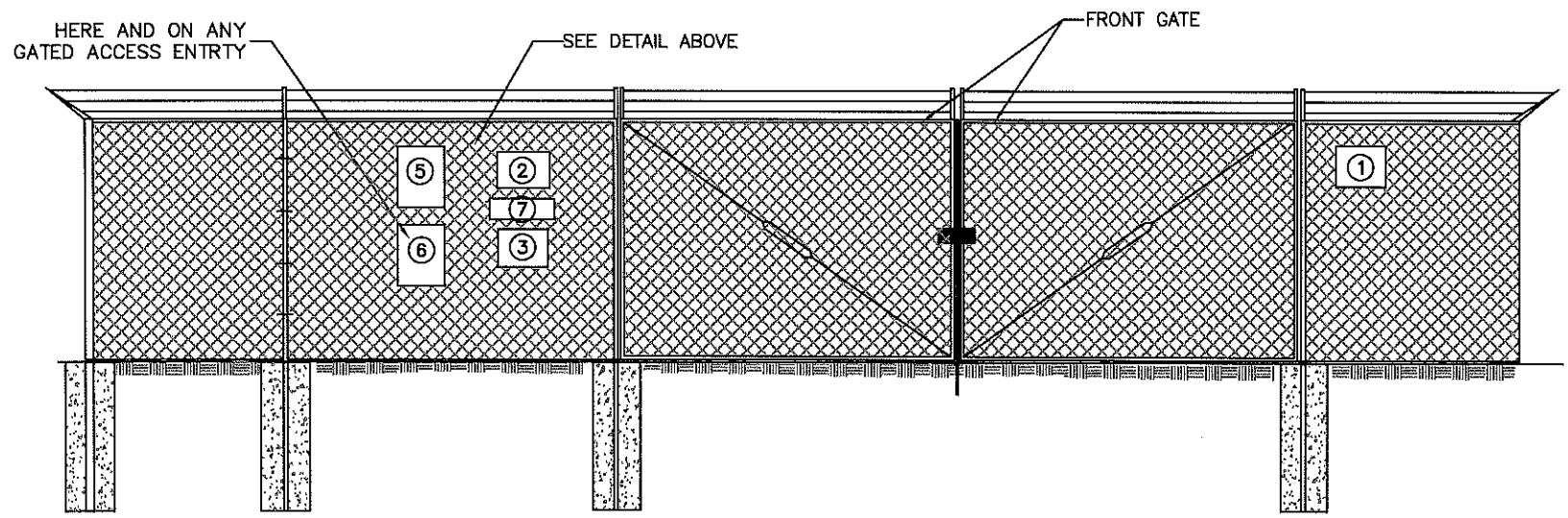


NOTE: SEE TYPICAL SIGNS AND SPECIFICATIONS DETAIL ON THIS SHEET FOR SIGN DESIGNATIONS.

**1**  
OVERALL SIGN PLACEMENT PLAN VIEW  
C11 NOT TO SCALE



**2**  
TYPICAL SIGNS AND SPECIFICATIONS  
C11 NOT TO SCALE



**3**  
SITE SIGNAGE FRONT GATE VIEW  
C11 NOT TO SCALE

**SIGNAGE NOTES:**  
 1. SIGNS SHALL BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL, AND PAINTED WITH LONG LASTING UV RESISTANT COATINGS.  
 2. SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE, AND FENCE USING A MINIMUM OF 9 GAUGE ALUMINUM WIRE, HOG RINGS (AS UTILIZED IN FENCE INSTALLATIONS) OR BRACKETS WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.  
 3. ONE VERIZON SITE ID SIGN SHALL BE MOUNTED ON RIGHT DOOR OF THE SHELTER. TWO-SIDED TAPE SHALL BE UTILIZED AT EACH CORNER ON THE BACKSIDE TO AID PLACEMENT UNTIL ADHESIVE SETS.

**verizon**  
 8821 RESEARCH DRIVE  
 CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:  
**VERIZON NAME: SITTON**  
**VERIZON No.: TBD**  
 PRATER FARM ROAD  
 SENECA, SC 28678  
 OCONEE COUNTY

CURRENT ISSUE DATE:  
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**CONSTRUCTION**

REV. DATE ISSUED FOR BY:

0	11/04/14	CONSTRUCTION	WCE
1	08/01/16	CONSTRUCTION	WCE

CONSULTANT:  
**Kimley»Horn**  
 2 SUN COURT, SUITE 450  
 PEACHTREE CORNERS, GA 30092  
 PHONE: 770-825-0744  
 WWW.KIMLEY-HORN.COM  
 SC License C00166

CONSULTANT:  
  
 SOUTH CAROLINA  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 NO. C00166  
 CERTIFICATE OF AUTHORIZATION

DRAWN BY: CHK.: APV.:  
 KBB KRM WCE

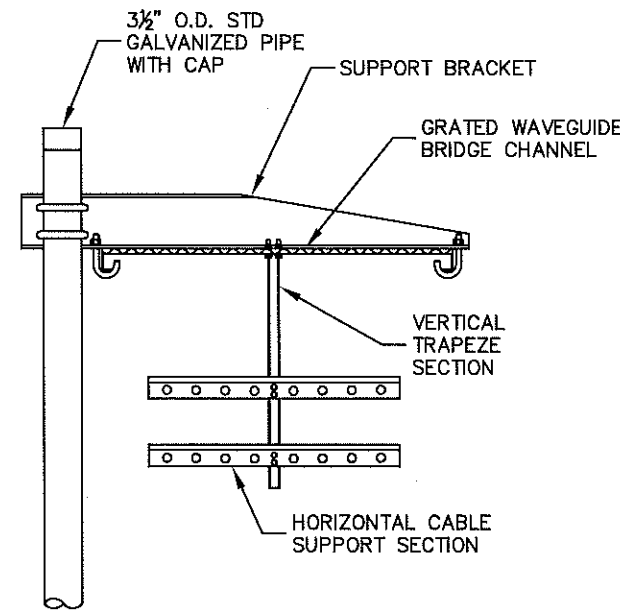
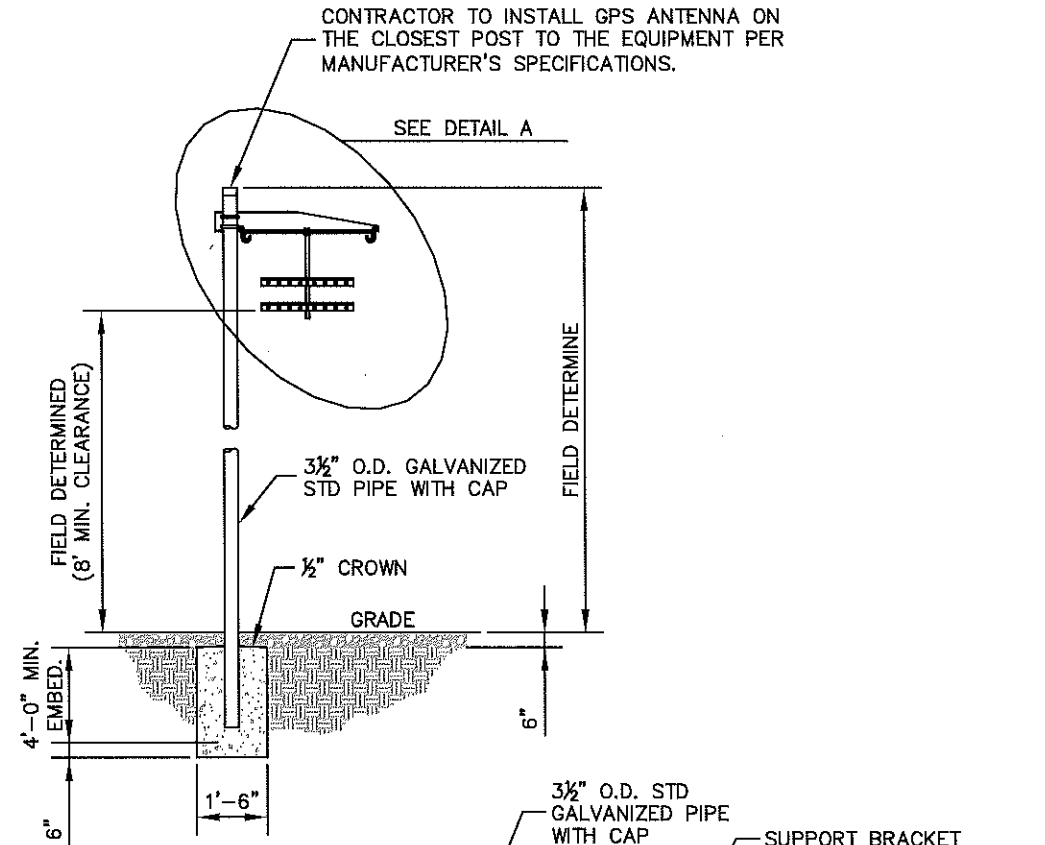
LICENSER:  
  
 SOUTH CAROLINA  
 LICENSED PROFESSIONAL ENGINEER  
 No. 31806  
 WILLIAM C. EDWARDS  
 8/1/16

SHEET TITLE:  
**SITE SIGNAGE DETAILS**

SHEET NUMBER: REVISION:  
**C11** **1**  
 018985125



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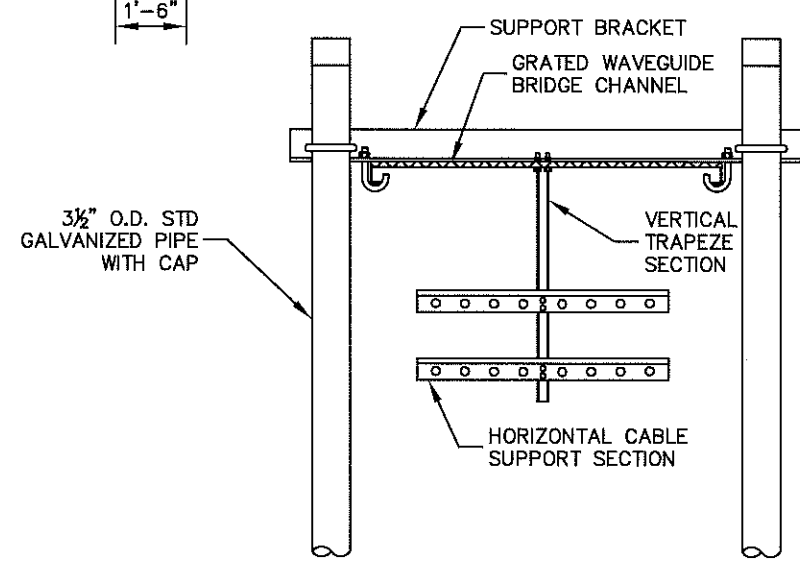
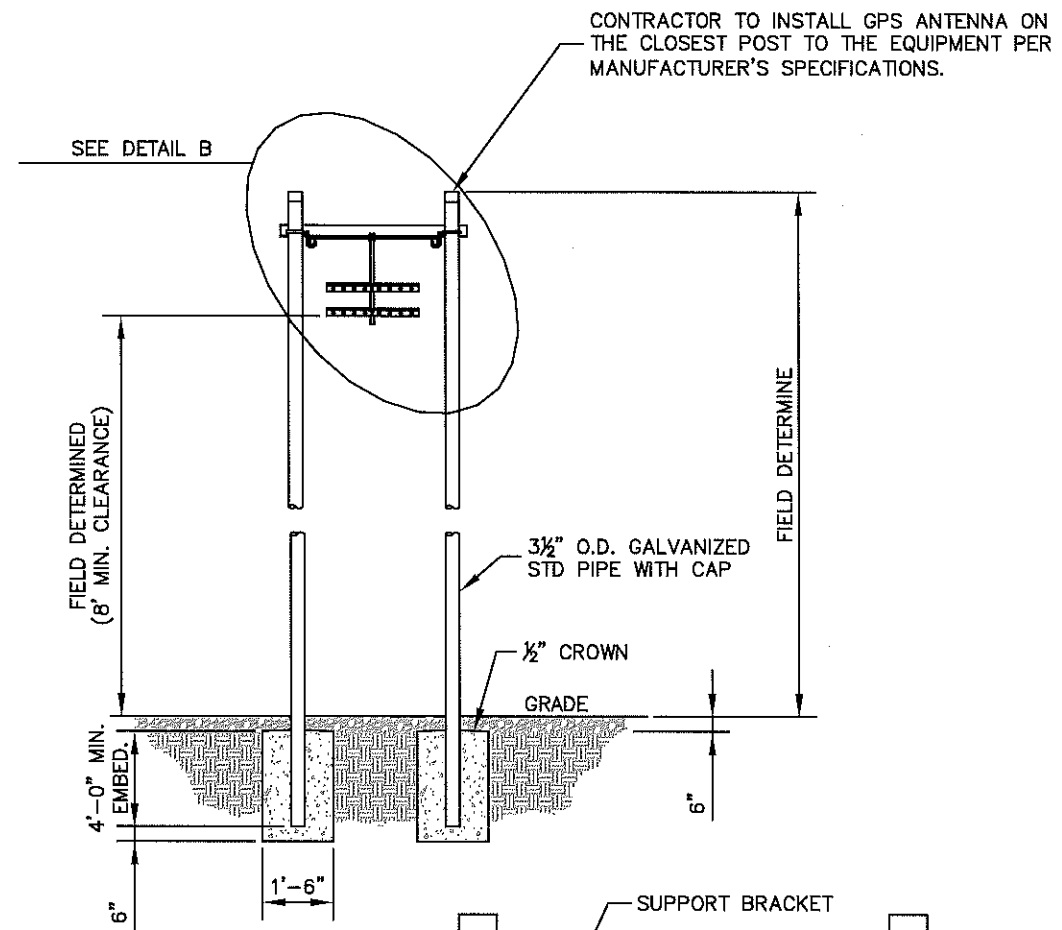


**DETAIL A**

ANDREW 1 POST WAVEGUIDE BRIDGE KIT (PART # WB-K210-B15, OR APPROVED EQUIVALENT)

**NOTE:**  
1. ALL MATERIALS FURNISHED BY CONTRACTOR UNLESS OTHERWISE NOTED.

**1** WAVEGUIDE BRIDGE DETAIL  
C12 NOT TO SCALE



**DETAIL B**

ANDREW 2 POST WAVEGUIDE BRIDGE KIT (PART # WB-K410-B15, OR APPROVED EQUIVALENT)

**NOTE:**  
1. ALL MATERIALS FURNISHED BY CONTRACTOR UNLESS OTHERWISE NOTED.

**2** WAVEGUIDE BRIDGE DETAIL  
C12 (ALTERNATIVE DESIGN WITH 2 PIPE COLUMNS) NOT TO SCALE



8821 RESEARCH DRIVE  
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

VERIZON NAME: SITTON  
VERIZON No.: TBD

PRATER FARM ROAD  
SENECA, SC 28678  
OCONEE COUNTY

CURRENT ISSUE DATE:

08/01/16

ISSUED FOR:

CONSTRUCTION

REV.-DATE: ISSUED FOR: BY:

0	11/04/14	CONSTRUCTION	WCE
1	08/01/16	CONSTRUCTION	WCE

CONSULTANT:



2 SUN COURT, SUITE 450  
PEACHTREE CORNERS, GA 30092  
PHONE: 770-825-0744  
WWW.KIMLEY-HORN.COM  
SC License C00166

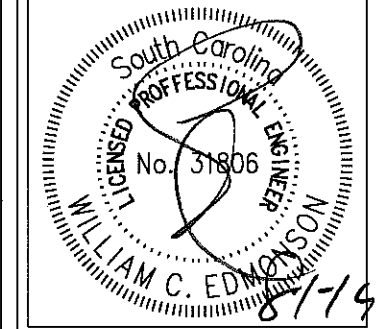
CONSULTANT:



DRAWN BY: CHK.: APV.:

KBB KRM WCE

LICENSER:



SHEET TITLE:

WAVEGUIDE BRIDGE DETAILS

SHEET NUMBER: REVISION:

**C12** 1  
018985125



8921 RESEARCH DRIVE  
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

VERIZON NAME: SITTON  
VERIZON No.: TBD

PRATER FARM ROAD  
SENECA, SC 28678  
OCONEE COUNTY

CURRENT ISSUE DATE:

10/21/16

ISSUED FOR:

CONSTRUCTION

REV.: DATE: ISSUED FOR: BY:

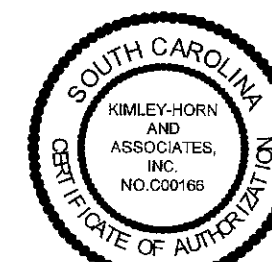
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1	08/01/16	CONSTRUCTION	WCE
2	10/21/16	CONSTRUCTION	WCE

CONSULTANT:



2 SUN COURT, SUITE 450  
PEACHTREE CORNERS, GA 30092  
PHONE: 770-825-0744  
WWW.KIMLEY-HORN.COM  
SC License C00165

CONSULTANT:



DRAWN BY: CHK.: APV.:

KBB KRM WCE

LICENSER:

FOR ILLUSTRATIVE PURPOSES ONLY - NO SIGNATURE REQUIRED

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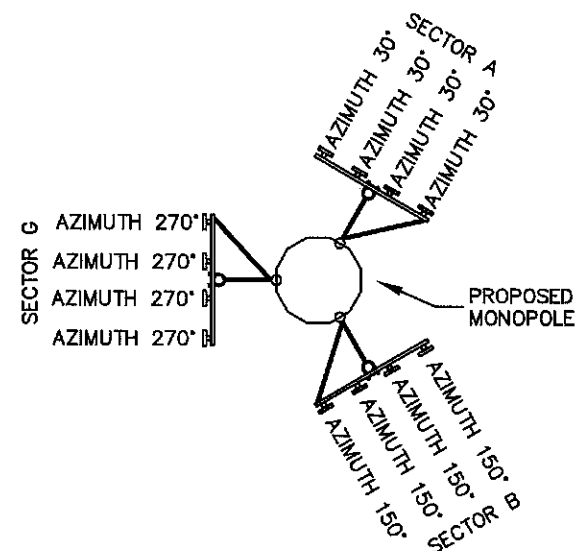
ANTENNA AND TOWER ELEVATION DETAILS

SHEET NUMBER: REVISION:

C13

2

018985125



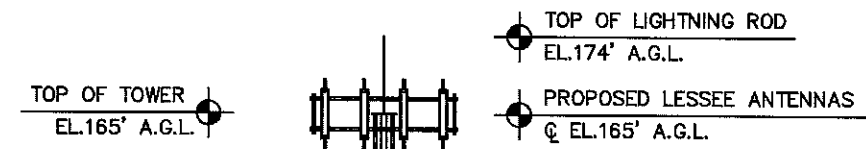
**1 ANTENNA ORIENTATION PLAN**

(NOT TO SCALE, FOR ILLUSTRATIVE PURPOSES ONLY, SEE STRUCTURAL ANALYSIS BY OTHERS TO CONFIRM ANTENNA MOUNT TYPE)

ANTENNA SECTOR	AZIMUTH IN DEGREES	MECHANICAL DOWN TILT	LICENSED FREQUENCY	ANTENNA* (QTY) MAKE/MODEL	REMOTE RADIO UNIT	COMPOSITION CABLES		
						LENGTH	COAX QTY	COAX SIZE
SECTOR A	30°	0°	850	-	-	404'±	-	-
	30°	0°	1900	(0) ANDREW/SBNHH-1D65C	RRUS32	404'±	-	-
	30°	0°	2100	(0) ANDREW/SBNHH-1D65C	RRUS32	404'±	-	-
	30°	0°	700	(2) ANDREW/SBNHH-1D65C	RRUSB13/A2	404'±	2	1-5/8"φ
SECTOR B	150°	0°	850	-	-	404'±	-	-
	150°	0°	1900	(0) ANDREW/SBNHH-1D65C	RRUS32	404'±	-	-
	150°	0°	2100	(0) ANDREW/SBNHH-1D65C	RRUS32	404'±	-	-
	150°	0°	700	(2) ANDREW/SBNHH-1D65C	RRUSB13/A2	404'±	2	1-5/8"φ
SECTOR G	270°	0°	850	-	-	404'±	-	-
	270°	0°	1900	(0) ANDREW/SBNHH-1D65C	RRUS32	404'±	-	-
	270°	0°	2100	(0) ANDREW/SBNHH-1D65C	RRUS32	404'±	-	-
	270°	0°	700	(2) ANDREW/SBNHH-1D65C	RRUSB13/A2	404'±	2	1-5/8"φ

\* CONTRACTOR TO INSTALL ANY RAYCAP BOXES AS NECESSARY. FOR TOWER DESIGN, ANALYSIS, OR LEASING PURPOSES, SIX (6) FUTURE 1 5/8" COAX CABLES SHALL BE CONSIDERED. VERIFY WITH VERIZON WIRELESS PROJECT MANAGER PRIOR TO CONSTRUCTION.

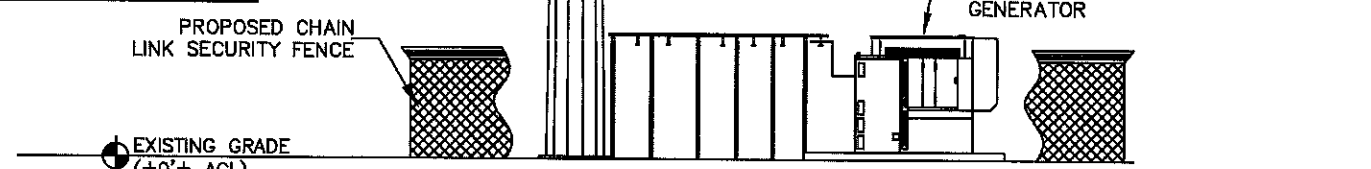
**NOTES:**  
1. ALL INFORMATION ON THIS PAGE IS PROVIDED BY VERIZON WIRELESS AND/OR OTHERS AND IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL CONTACT THE VERIZON WIRELESS CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION FOR ALL DETAILED ANTENNA, AND COAX CABLE INFORMATION.  
2. REFER TO STRUCTURAL ANALYSIS BY TOWER OWNER FOR ANALYSIS OF PROPOSED TOWER.  
3. IT IS UNDERSTOOD THAT KIMLEY-HORN MAKES NO WARRANTY, EITHER EXPRESSED OR IMPLIED, FINDINGS, DESIGNS, RECOMMENDATIONS, SPECIFICATIONS, OPINION, OR PROFESSIONAL ADVICE RELATING TO THE STRUCTURAL ADEQUACY OF THE PROPOSED TOWER OR ATTACHMENT OF ANTENNAS OR OTHER APPURTENANCES.



**2 MONOPOLE TOWER ELEVATION - NORTHEAST VIEW**

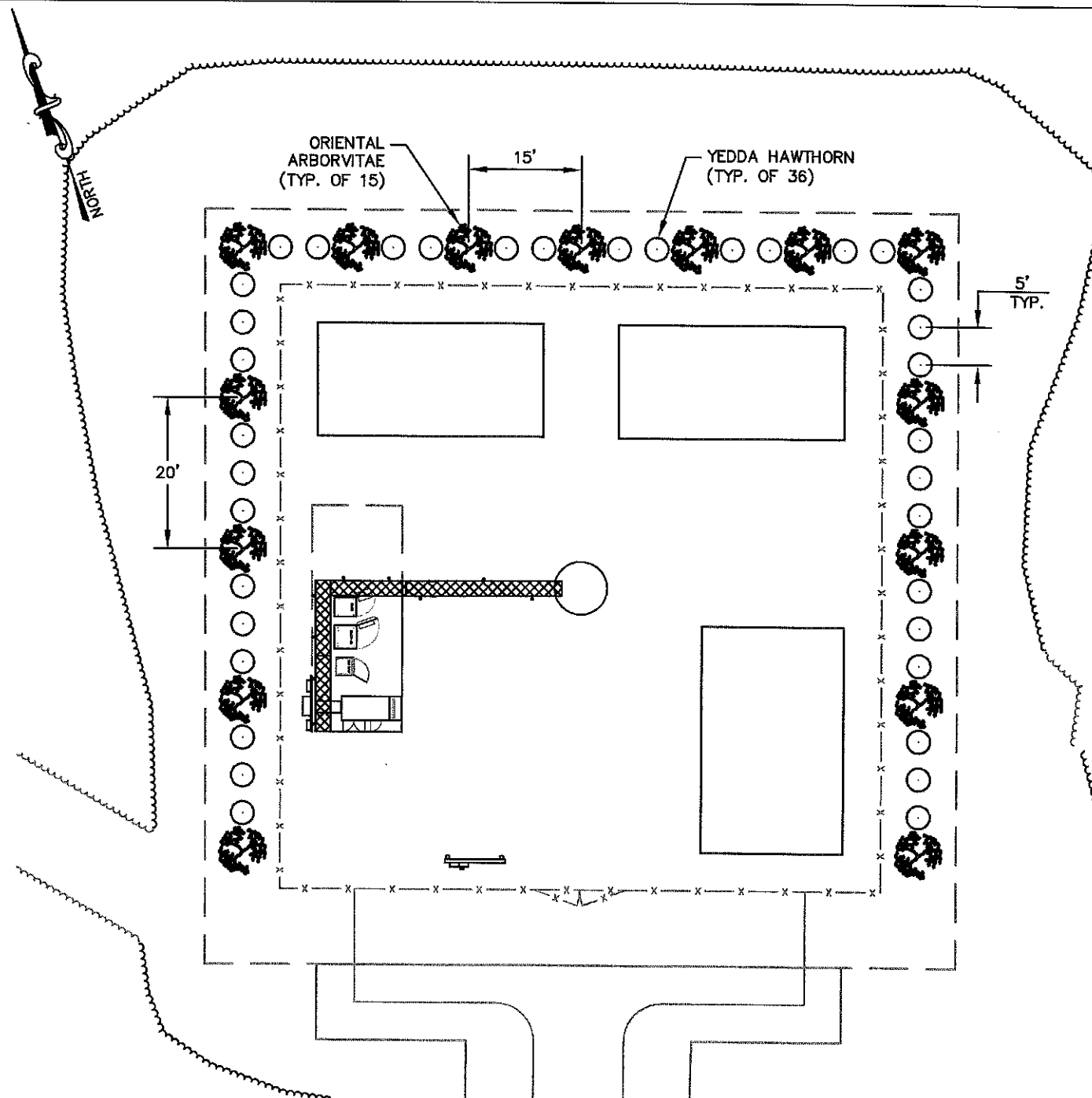
(FACING SOUTHWEST) NOT TO SCALE

- NOTES:
1. ALL PROPOSED ATTACHMENTS TO TOWER BASED ON TOWER DESIGN DRAWINGS BY OTHERS (SEE GENERAL NOTE 1.07, SHEET N1).
  2. THE TOWER ELEVATION SHOWN IS FOR REFERENCE ONLY.
  3. COAX CABLE LENGTHS ARE APPROXIMATE. CONTRACTOR TO VERIFY CORRECT LENGTH IN FIELD AT TIME OF CONSTRUCTION.
  4. PROPOSED TOWER WILL BE GALVANIZED STEEL-GRAY IN COLOR.
  5. PROPOSED ANTENNAS WILL BE LIGHT GRAY IN COLOR.

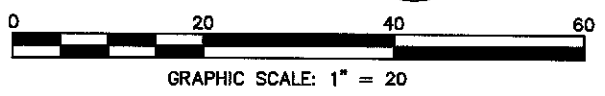


K:\ATL\_Wireless\000\_Verizon\2014\_Sites\Sitton\CAD\CAD\_Rev2-10-21-16\Sitton\_CD\_R2.dwg October 21, 2016 10:09 AM by: william.hooks

K:\ATL\_Wireless\Verizon\2014 Sites\Sitton\CAD\Rev3-2-16-17\Sitton\_CD\_R3.dwg February 16, 2017 1:30 PM by: kerry.pierre



1 LANDSCAPING PLAN  
L1 SCALE : 1" = 20'



LEGEND	
	YEDDA HAWTHORN
	ORIENTAL ARBORVITAE

**GENERAL LANDSCAPE NOTES:**

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF HIS WORK WITH THAT OF ALL OTHER CONTRACTORS. THIS PLAN DOES NOT GUARANTEE THE EXISTENCE OR NON-EXISTENCE OF ANY UTILITIES. PRIOR TO COMMENCEMENT OF ANY WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE GROUND AND UNDERGROUND UTILITIES.
2. THE QUALITY AND SIZE OF ALL PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT STANDARDS AS SET FORTH IN ANSI Z60.180 - AMERICAN STANDARD FOR NURSERY STOCK.
3. ALL DISTURBED AREAS NOT COVERED BY HARDSCAPE OR PLANT MATERIALS SHALL BE COVERED WITH SEED AND STRAW.
4. PLANT SUBSTITUTION MAY BE PERMITTED ONLY AFTER PROOF THAT SPECIFIED PLANTS ARE UNAVAILABLE AND THE REQUEST HAS BEEN SUBMITTED TO THE OWNER OR LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL PROVIDE THE NEAREST EQUIVALENT OBTAINABLE SIZE AND VARIETY OF THE PLANT HAVING THE SAME ESSENTIAL CHARACTERISTICS AS THE PLANT SPECIFIED
5. MINOR PLANT LOCATION ADJUSTMENTS MAY BE MADE IN THE FIELD TO ENSURE ACCESS TO UTILITY JUNCTION BOXES, FREE SITE LIGHTING OF FUTURE TREE CANOPY INTERFERENCE AND ALLOW UNINHIBITED PEDESTRIAN / VEHICULAR CIRCULATION ON ALL PAVEMENTS OR FOUNDATIONS.
6. ALL SHRUB MASSES OF TWO OR MORE SHALL BE EDGED INTO A PLANTING BED AND MULCHED PER DETAIL. ALL INDIVIDUAL TREES AND SHRUBS SHALL HAVE A MULCH SAUCER EQUAL IN DIAMETER TO THE PLANTING PIT DIAMETER AND SHALL BE MULCHED AS SHOWN ON THE DETAILS. UNLESS OTHERWISE INDICATED, ALL BED EDGES SHALL BE A DEEP CUT CLEAN SPADE EDGE.
7. THE CONTRACTOR SHALL VERIFY THAT EACH TREE OR SHRUB PIT WILL DRAIN BEFORE INSTALLING PLANT MATERIAL. HE SHALL FILL THE HOLE WITH SIX INCHES (6") OF WATER THAT SHOULD PERCOLATE OUT WITHIN TWENTY-FOUR HOURS. SHOULD ANY AREA NOT DRAIN PROPERLY, A PERFORATED DRAIN LINE SHALL BE INSTALLED, OR THE PLANTS RELOCATED.
8. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY IF HE ENCOUNTERS ANY UNSUITABLE SURFACE OR SUBSURFACE DRAINAGE CONDITIONS, SOIL DEPTH, LATENT SOILS, HARD PAN, UTILITY LINES, OR OTHER CONDITIONS THAT WILL JEOPARDIZE THE HEALTH AND VIGOR OF THE PLANTS. SHOULD THE CONTRACTOR NOT NOTIFY THE OWNER OF A PROBLEM AREA, HE WARRANTS THAT THE AREAS ARE SUITABLE FOR PROPER GROWTH AND DEVELOPMENT OF ALL PLANTS INSTALLED.
9. THE CONTRACTOR SHOULD VERIFY LANDSCAPING/TREE PLANTING LOCATIONS WITH THE PUBLIC UTILITIES DEPARTMENT TO AVOID CONFLICTS WITH WATER, SEWER, AND GAS LINES.
10. PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLE SUPERIOR IN FORM, COMPACTNESS AND SYMMETRY. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECT ADULT EGGS, PUPAE OR LARVAE. THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH.
11. THERE SHALL BE NO CIRCLING OR GIRDLING ROOTS. CIRCLING ROOTS SHOULD BE CUT IN AT LEAST ONE PLACE.
12. THERE SHOULD BE ONE DOMINANT LEADER TO THE TOP OF THE TREE WITH THE LARGEST BRANCHES SPACED AT LEAST 6 INCHES APART. THERE CAN BE TWO LEADERS IN THE TOP 10% OF THE TREE IF IT IS OTHERWISE OF GOOD QUALITY.
13. THE TREE CANOPY SHOULD BE SYMMETRICAL AND FREE OF LARGE VOIDS. CLEAR TRUNK SHOULD BE NO MORE THAN 40% OF TREE HEIGHT UNLESS OTHERWISE SPECIFIED IN THE PLANTING SPECIFICATIONS. CLEAR TRUNK SHALL BE OF SUFFICIENT HEIGHT TO CLEAR SURROUNDING USES THAT MAY BE IMPACTED BY THE FUTURE GROWTH OF THE TREE.
14. OPEN TRUNK AND BRANCH WOUNDS SHALL BE LESS THAN 10% OF THE CIRCUMFERENCE AT THE WOUND AND NO MORE THAN 2 INCHES TALL. PROPERLY MADE PRUNING CUTS ARE NOT CONSIDERED OPEN TRUNK WOUNDS. THERE SHOULD BE NO CONKS OR BLEEDING, AND THERE SHOULD BE NO SIGNS OF INSECTS OR DISEASE ON MORE THAN 5% OF THE TREE.
15. IF ANY OF THE ABOVE CONDITIONS ARE NOT MET, TREES MAY BE REJECTED.
16. TREE PROTECTION DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY CLEARING, GRUBBING, OR GRADING OF THE SITE BY THE LOCAL ARBORIST.

PLANTING LIST							
SYM./KEY	QTY.	BOTANICAL NAME	COMMON NAME	SPECIFICATION			
				PLANTING HEIGHT	ROOT	CALIPER/ SIZE	SPACING
YH	36	PHAPHIOLEPIS UMBELLATA	YEDDA HAWTHORN	5'-6'	B&B	5/8"	5' O.C.
OA	15	THUJA ORENTALIS	ORIENTAL ARBORVITAE	10'-12'	B&B	1 3/4"	SEE PLAN

8921 RESEARCH DRIVE  
CHARLOTTE, NORTH CAROLINA 28262

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PROJECT INFORMATION:

**VERIZON NAME: SITTON**  
**VERIZON No.: TBD**

PRATER FARM ROAD  
SENECA, SC 28678  
OCONEE COUNTY

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CURRENT ISSUE DATE:

02/16/17

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ISSUED FOR:

CONSTRUCTION

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REV.:	DATE:	ISSUED FOR:	BY:
0	02/16/17	CONSTRUCTION	WCE

---

CONSULTANT:

2 SUN COURT, SUITE 450  
PEACHTREE CORNERS, GA 30092  
PHONE: 770-825-0744  
WWW.KIMLEY-HORN.COM  
SC License C00166

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CONSULTANT:

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DRAWN BY:	CHK.:	APV.:
KBB	KRM	WCE

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LICENSER:

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SHEET TITLE:

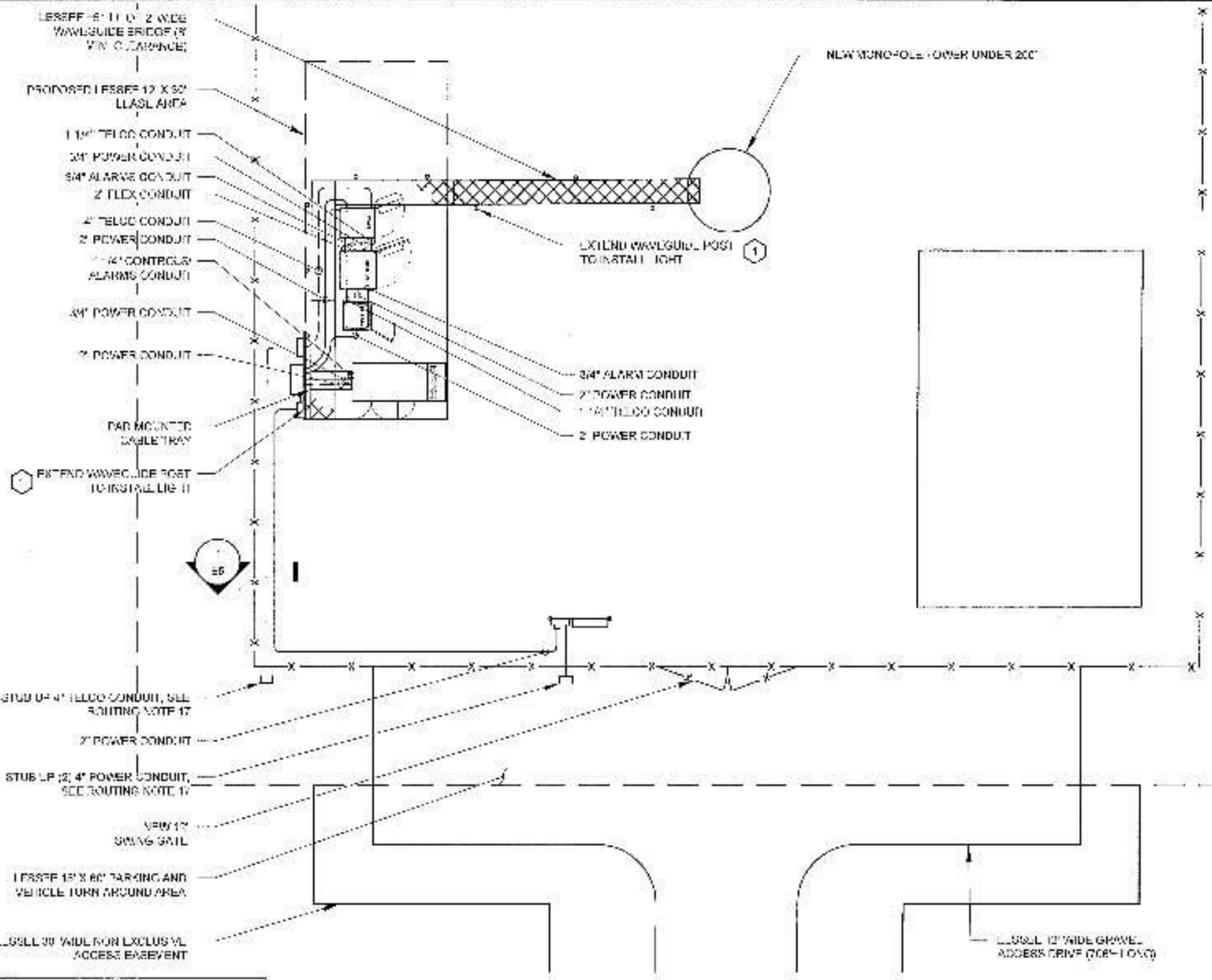
**LANDSCAPING PLAN AND NOTES**

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SHEET NUMBER:	REVISION:
L1	0

018985125

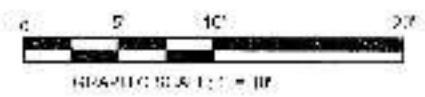




**KEY NOTES**

- 1 AREA LIGHT LITHONIA HTS FROM SCWA DNA LPM CONTROL VIA CONTRACTOR PROVIDED MANUAL TRIP SWITCH (MFT-HRDR007)

**1**  
**E1** **BASIC SERVICE ROUTING PLAN**  
SCALE: 1" = 10'

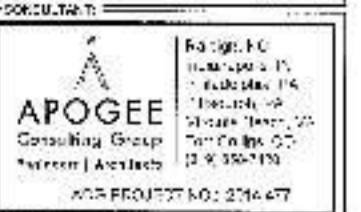


VERIZON NAME: BITTON  
VERIZON No.: T80  
1501 CHERRY ROAD  
FARMER, NORTH CAROLINA  
COOKE COUNTY

7/29/16

**CONSTRUCTION**

NO.	DATE	DESCRIPTION	BY
1	7/29/16	CONSTRUCTION	COO

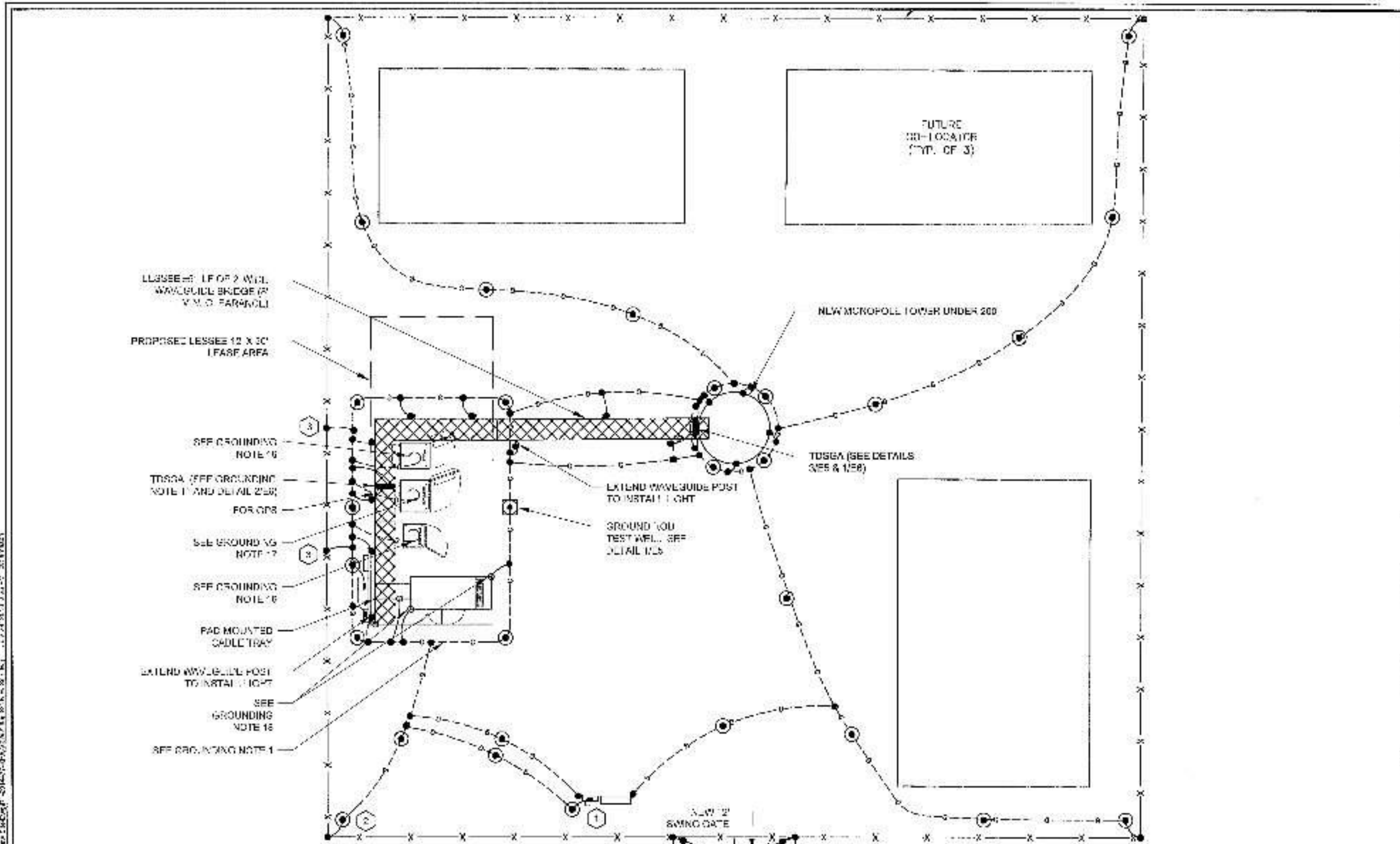


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**BASIC SERVICE ROUTING PLAN**

**E1** **1**  
E1/28/16



**KEY NOTES**

1. DEDICATED GROUND ROD PLACEMENT FOR ELECTRICAL EQUIPMENT AT WATER STATION SHOULD BE AS PER NCC MUNICIPAL AND UTILITY CO. REQUIREMENTS.
2. GROUND ROD TO BE WITHIN 2' OF BASEL PORT (TYPICAL OF 4)
3. BOND EACH FENCE POST ADJACENT TO EQUIPMENT PAD TO GROUND RING.

**1**  
**E2** **GROUNDING PLAN**  
SCALE: 1" = 10'  
GRAPHIC SCALE: 1" = 10'

**LEGEND:**

- GROUND ROD EXOTHERMICALLY WELDED TO GROUND RING (SEE DETAIL 4/ES)
- GROUND RING
- EXOTHERMIC WELD
- GROUND ROD TEST WELL (SEE DETAIL 1/ES)
- MECHANICAL CONNECTION



PROJECT INFORMATION  
 VERIZON NAME: SITTEN  
 VERIZON No.: TBD  
 TRAILER PARK ROAD  
 SE-1004, NC 28073  
 OCTOBER 2017

DATE: 7/29/16

CONSTRUCTION

NO.	DATE	DESCRIPTION	BY
1	11/27/14	CONSTRUCTION	TCM
1	7/20/16	CONSTRUCTION	COI



DATE	BY	NO.
08/11/16	COI	001



GROUNDING PLAN

**E2** 1  
 C 16055126

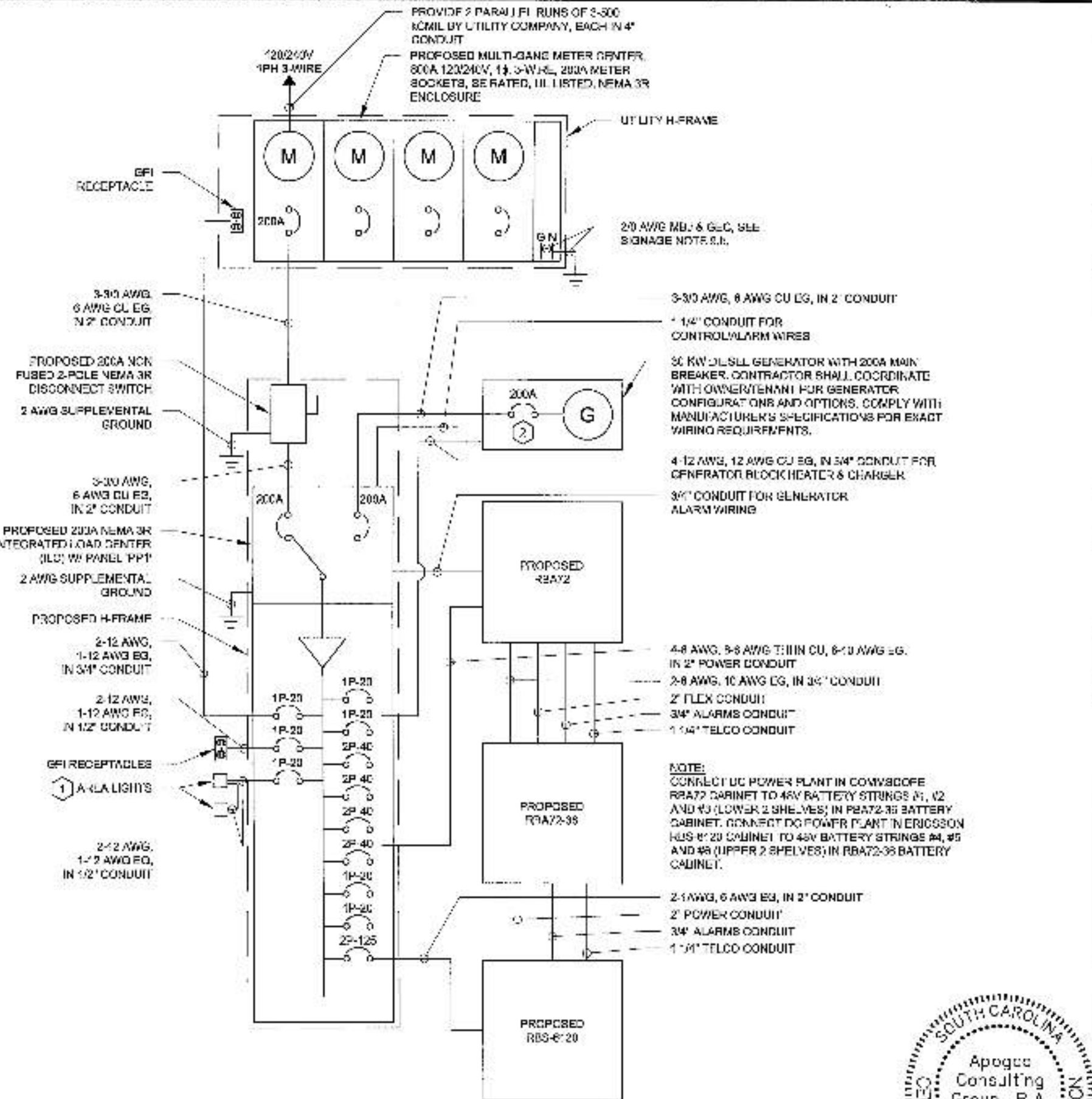
**SINGLE-LINE NOTES AND SPECIFICATIONS:**

- ELECTRIC UTILITY WILL PROVIDE METER AND INCOMING SERVICE LATERAL CONDUCTORS.
- ALL ELECTRICAL WORK SHALL COMPLY WITH NEC, STATE AND LOCAL CODES.
- CONTRACTOR SHALL OBTAIN OWNER/TENANT EQUIPMENT DRAWINGS AND REVIEW FOR ADDITIONAL DETAILS AND REQUIREMENTS THAT MAY NOT BE SHOWN IN THESE DRAWINGS. CONTRACTOR SHALL COMPLY WITH ANY ADDITIONAL OWNER/TENANT SPECIFICATIONS AND REQUIREMENTS THAT MAY BE ADDRESSED IN THE EQUIPMENT DRAWINGS.
- BEFORE PURCHASING EQUIPMENT THE CONTRACTOR SHALL CONTACT THE ELECTRIC UTILITY AND OBTAIN IN WRITING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE UTILITY SERVICE POINT. PROVIDE MAX. AFC SIGNAGE AS REQUIRED PER NEC 110.24. THE CONTRACTOR SHALL ENSURE ALL ELECTRICAL EQUIPMENT, CIRCUIT BREAKERS, DISCONNECTS, FUSES, AND PANEL BOARDS HAVE A FAULT CURRENT INTERRUPTING RATING GREATER THAN THE AVAILABLE FAULT CURRENT. IN NO CASE SHALL THE FAULT CURRENT INTERRUPTING RATING BE LESS THAN 6,000 AMPS.
- THE GROUNDED SERVICE CONDUCTOR (NEUTRAL CONDUCTOR) SHALL BE DISCONNECTED AT THE SERVICE DISCONNECT ONLY.
- ALL POWER CIRCUITS SHALL USE COPPER CONDUCTORS WITH THERMOPLASTIC INSULATION. ALL TERMINATIONS SHALL BE RATED FOR AT LEAST 75 DEGREES C.
- CONTRACTOR SHALL PROVIDE GROUND FAULT CIRCUIT INTERRUPTER (GFI) TYPE RECEPTABLES.
- CONTRACTOR SHALL ENSURE ALL NEUTRAL CONDUCTORS HAVE WHITE INSULATION AND EQUIPMENT GROUND CONDUCTORS HAVE GREEN INSULATION. COLOR LABEL IDENTIFICATION OF THESE CONDUCTORS IS NOT ALLOWED.
- PER NEC ART. 702 PROVIDE SIGNAGE AS FOLLOWS:  
 a. AT PANEL HPI AND DISCONNECT: EMERGENCY POWER IS SUPPLIED BY STANDBY GENERATOR OR LOCAL SOURCE ON OTHER SIDE OF PANEL.  
 b. AT SERVICE DISCONNECT:

**WARNING - SHOCK HAZARD EXISTS IF GROUNDING ILLUSTRATED CONDUCTOR OR BONDING JUMPER CONNECTION IN THIS EQUIPMENT IS REMOVED WHILE ALL OTHER SOURCES OF IS ENERGIZED. OPENING THE EQUIPMENT DISCONNECT WILL CAUSE THE EMERGENCY GENERATOR TO START TO REMOVE POWER ENTIRELY FROM THE EQUIPMENT. THE GENERATOR MUST BE TURNED OFF AND THE GENERATOR BREAKER MUST BE OPEN.**

**KEY NOTES**

- AREA LIGHT LITATION III R 200V, 300V, 500V, 600V, 120V CONTROL VIA CONTRACTOR PROVIDED MANUAL TIMER SWITCH (WEATHERPROOF).
- THE GENERATOR USED IN CONJUNCTION WITH A 3-POLE AUTOMATIC TRANSFER SWITCH WITH A SOLID NEUTRAL IS NOT A GENUINELY DERIVED SYSTEM. AS SUCH, DO NOT BOND THE NEUTRAL TO GROUND AT THE GENERATOR.



**1 SINGLE-LINE DIAGRAM**  
**E3 SCALE: NTS**



PROJECT INFORMATION:  
 VERIZON NAME: SITTON  
 VERIZON No.: TBD  
 DRAWN: 1/24/16  
 CHECKED: 2/2/16  
 DATE: 7/29/16

DATE: 7/29/16

CONSTRUCTION

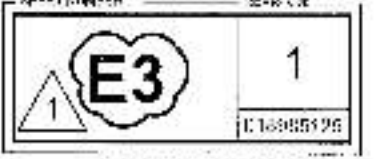
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1	7/29/16	CONSTRUCTION	CC



CREATED BY: CIB  
 DATE: 7/29/16



SINGLE-LINE DIAGRAM





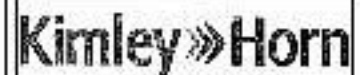
8871 RESEARCH DRIVE  
CHARLOTTE, NORTH CAROLINA 28262

VERIZON NAME: BITTON  
VERIZON No.: TBD  
NO. 2015 00000  
15-000 00000  
000 000 0000

7/29/16

CONSTRUCTION

NO.	DATE	DESCRIPTION	BY
1	7/29/16	CONSTRUCTION	COB



3 S.W. COURT, SUITE 450  
LAKELAND, FLORIDA 33902  
PHONE: 734 822 2144  
WWW.KIMLEY-HORN.COM

**APOGEE**  
Consulting Group  
Professional Engineers  
No. 31981  
400 PROJECT 401 2014 477

DATE: 7/29/16  
BY: [Signature]  
TITLE: [Signature]



ELECTRICAL  
DETAILS

**E4** 1  
01/05/16

LOAD SERVED	KVA / Phase		CIR BKSR	CIR NO	CIR NO	CIR NO	CIR NO	KVA / Phase		LOAD SERVED
	A	B						A	B	
GEN BLOCK HEAD ER	0.00	—	1P-20	1	2	2P-40	2.04	—	HBA 72	
AREA LIGHTS	—	0.00	1P-20	3	4	—	—	2.94	—	
GFCI RECEPTAC F	0.18	—	1P-20	5	6	2P-40	2.94	—	RDA 72	
GFCI RECEPTAC L	—	0.18	1P-20	7	8	—	—	2.94	—	
GEN CHARGER	0.10	—	1P-20	9	10	2P-40	2.94	—	HBA 72	
SPARE	—	0.00	1P-20	11	12	—	—	2.94	—	
SPARE	0.00	—	1P-20	13	14	2P-40	0.00	—	RDA 72 (FUTURE)	
SPARE	—	0.00	1P-20	15	16	—	—	0.00	—	
SPARE	0.00	—	1P-20	17	18	1P-20	0.18	—	GFCI RECEPTACLE	
SPARE	—	0.00	1P-20	19	20	1P-20	0.18	—	GFCI RECEPTACLE	
SPARE	0.00	—	1P-20	21	22	2P-125	2.95	—	RBS 6-20 (RFS J6)	
SPARE	—	0.00	1P-20	23	24	—	—	3.95	—	
SPARE	0.00	—	1P-20	25	26	1P-20	0.00	—	SPARE	
SPARE	—	0.00	1P-20	27	28	1P-20	—	0.00	SPARE	
SPARE	0.00	—	1P-20	29	30	1P-20	0.00	—	SPARE	
SPARE	—	0.00	1P-20	31	32	1P-20	—	0.00	SPARE	
SPARE	0.00	—	1P-20	33	34	1P-20	0.00	—	SPARE	
SPARE	—	0.00	1P-20	35	36	1P-20	—	0.00	SPARE	
SPARE	0.00	—	1P-20	37	38	1P-20	0.00	—	SPARE	
INSTR	—	0.00	2P-50	39	40	1P-20	—	0.00	SPARE	
INSTR	—	0.00	2P-50	41	42	1P-20	—	0.00	SPARE	
SUB TOTAL	0.78	0.78					10.65	10.65	SUBS TOTAL	
							15.43	15.43	TOTAL	

LOAD TYPE	CONTRIBUTOR KVA		DEMAND FACTOR	DEMAND KVA	
	A	B		A	B
GENERAL LIGHTING	0.00	0.00	125%	0.00	0.75
GENERAL USE RECEPT	0.00	0.00	100%	0.00	0.00
MOTORS AND EQUIPMENT	0.00	0.00	125%	0.00	0.00
EXTERIOR LIGHTING	0.00	0.00	125%	0.00	0.00
DEDICATED RECEPT	0.00	0.00	125%	0.00	0.00
SIGN	0.00	0.00	125%	0.00	0.00
FIRE FIGHT SPACE HEAT	0.00	0.00	125%	0.00	0.00
TOTAL KVA PER PHASE	15.43	15.43		14.47	14.97
TOTAL DEMAND AMPERES PER PHASE				120	121

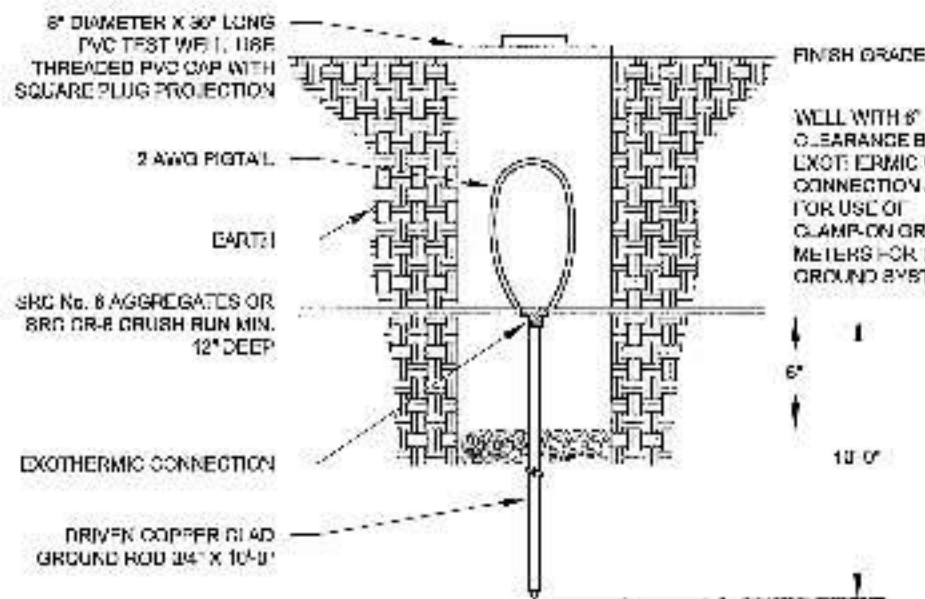
  

PANEL 'PP1' (PROPOSED ILC)	PANEL FEEDER TOTAL KVA:	20.55
	TOTAL KVA X 1000 = TOTAL AMPS VOLTS	17

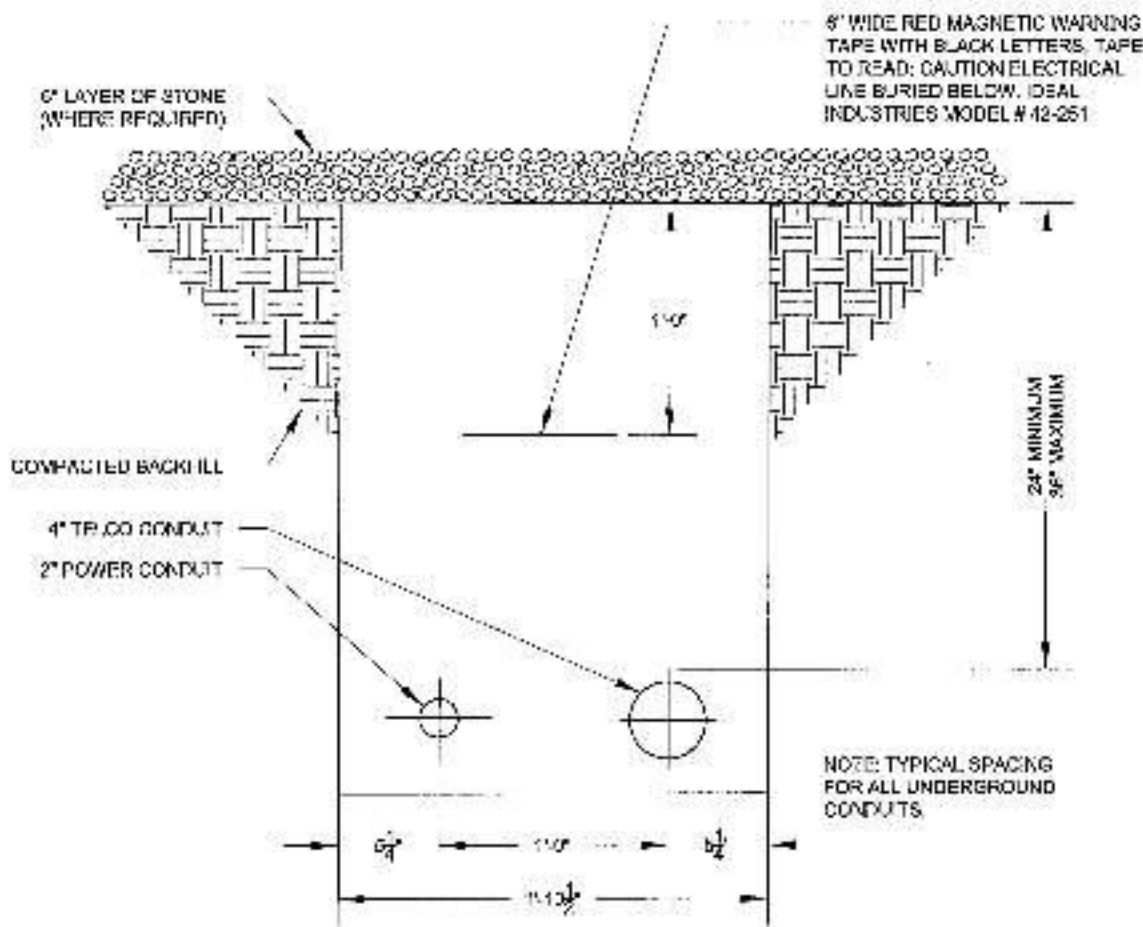
**1**  
**E4** PANEL SCHEDULE  
SCALE: N/T'S



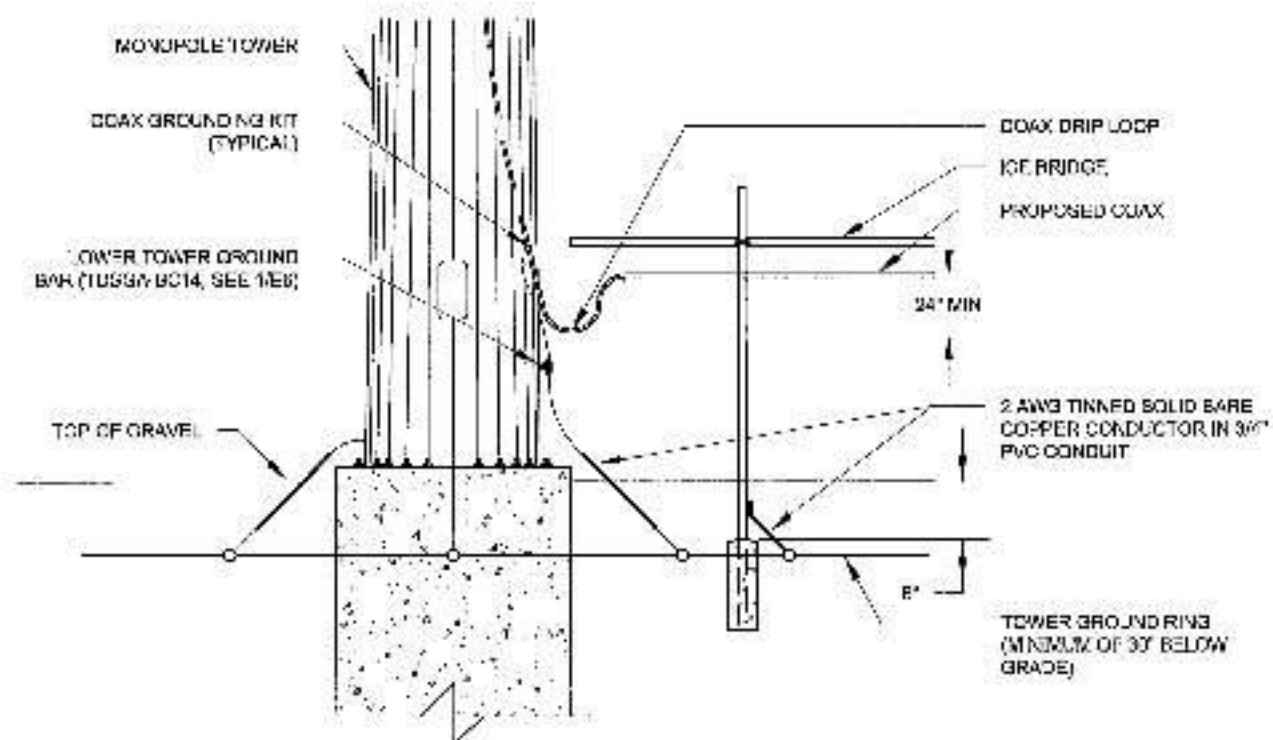




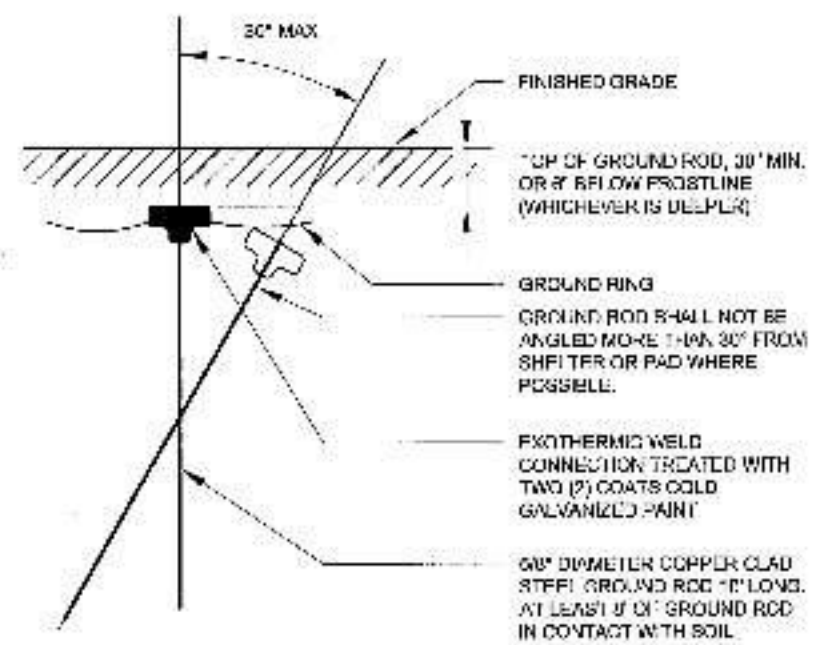
**1**  
**E5** **GROUND ROD TEST WELL**  
SCALE: NOT TO SCALE



**2**  
**E5** **UTILITY TRENCH DETAIL (TYP.)**  
SCALE: NOT TO SCALE



**3**  
**E5** **DRIP LOOP DETAIL**  
SCALE: NOT TO SCALE



**4**  
**E5** **GROUND ROD DETAIL**  
SCALE: NOT TO SCALE



PROJECT INFORMATION:  
**VERIZON NAME: BITTON**  
**VERIZON NO: TBD**  
 PROJECT NAME: 2046  
 COORD. TO: 2046  
 COORD. TO: 2046

DATE: 7/29/16

CONSTRUCTION

NO.	DESCRIPTION	DATE	BY
1	ISSUE FOR CONSTRUCTION		COE



**APOGEE**  
 Consulting Group  
 1000 N. W. 10TH ST., SUITE 200  
 MIAMI, FL 33136  
 PHONE: 305.575.2344  
 WWW.APOGEE-CONSULTING.COM

PROJECT NO: 2116-07



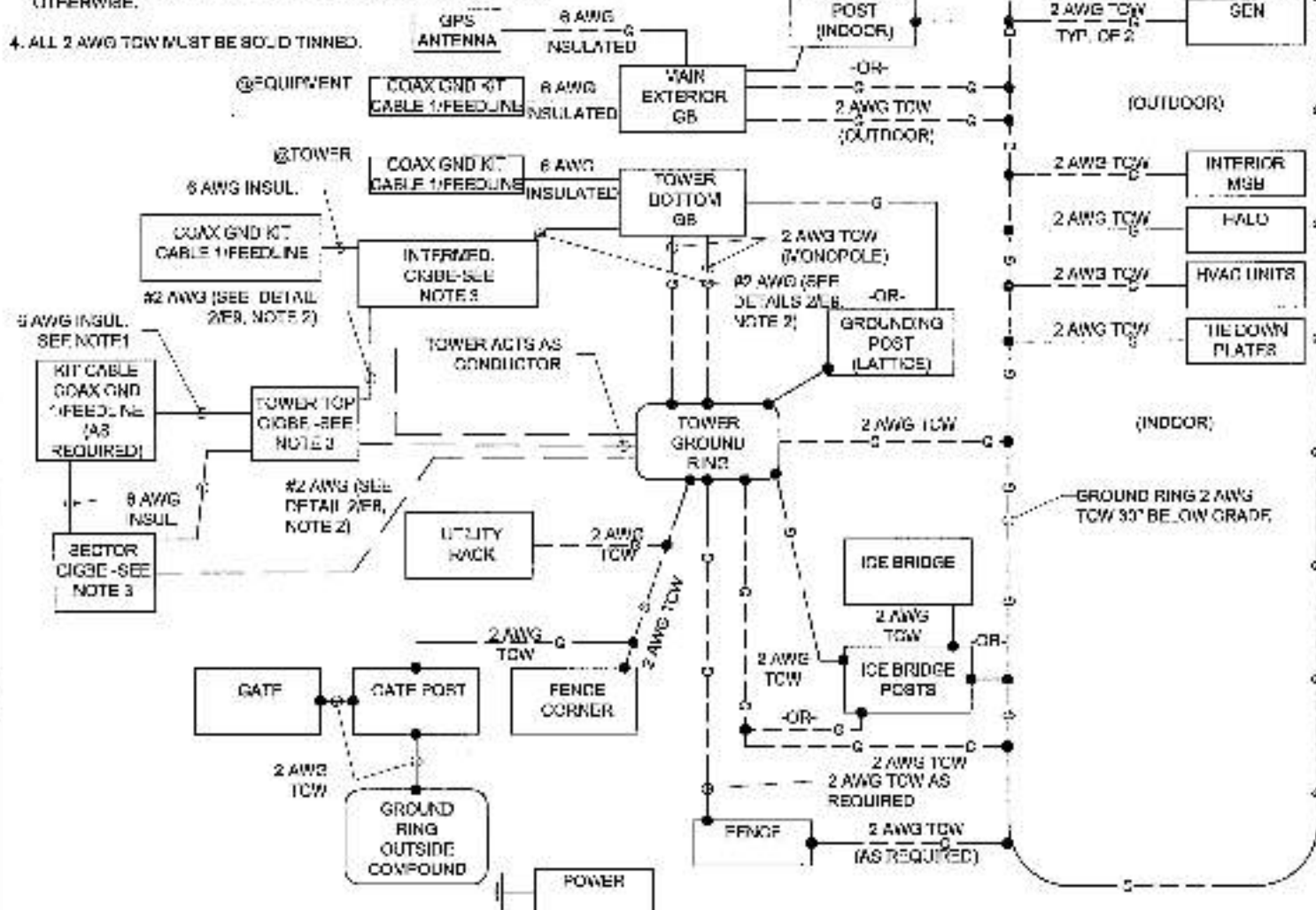
**ELECTRICAL**  
**DETAILS**

**E5** 1



**NOTES:**

1. CONNECT COAX GROUND KITS DIRECTLY TO TOWER TOP CIGBE ONLY AS NOTED ON DETAIL 3/E7.
2. FOR GROUNDING CONNECTIONS AND DETAILS, SEE SITE GROUNDING PLAN.
3. TOWER GROUND BARS WILL BE ISOLATED FROM TOWER BUT BONDED TO TOWER WITH 2 AWG STC AND CLAMP (OR CADWELD) UNLESS NOTED OTHERWISE.
4. ALL 2 AWG TOW MUST BE BOLD TINNED.



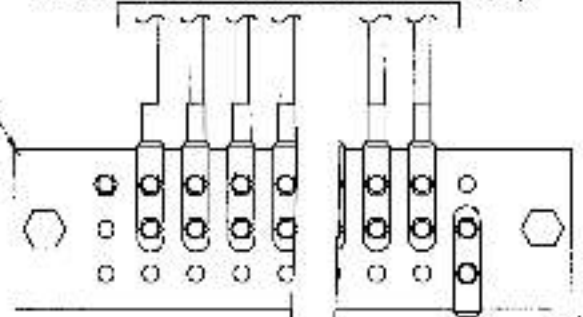
**1** GROUNDING SYSTEM SINGLE LINE DIAGRAM

**E7** SCALE: NTS

CIGBE GROUND BARS ON ANTENNA TOWER. ISOLATE FROM TOWER.  
 6 AWG FROM ANTENNA COAX GROUNDING KIT (I) OR TOWER TOP CIGBE OCCURS ONLY ON GUYED TOWERS, OR ON OTHER STRUCTURES WHERE REQUIRED TO ACHIEVE 75FT MAXIMUM DISTANCE BETWEEN COAX GROUNDING LOCATIONS)

**NOTES:**

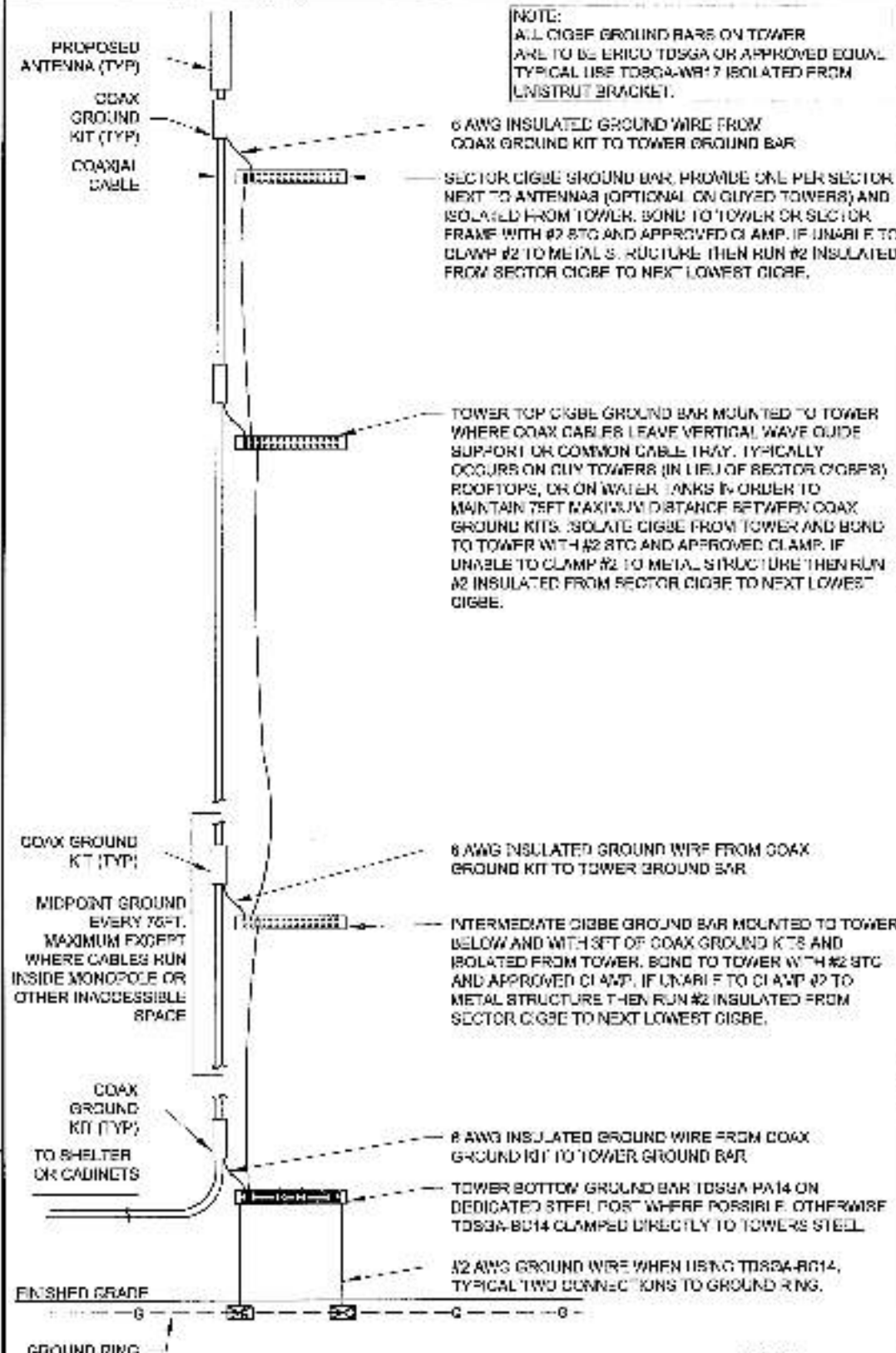
1. ALL CIGBE GROUND BARS ON TOWER ARE TO BE EXCO TDSGA, TYPICALLY USE TDSGA-WB17 ISOLATED FROM UNISTRUT BRACKET.
2. IF CIGBE CANNOT BE CONNECTED TO TOWER WITH #2 AWG AND CLAMP (OR CADWELD), THEN RUN #2 BLACK INSULATED GROUND LEAD FROM CIGBE DOWN TO NEXT LOWER CIGBE. SECURE GROUND LEAD WITH NON-METALLIC TIES AT SAME SPACING AS COAX SUPPORTS.



2 AWG RUN FROM CIGBE TO TOWER USING CLAMP, OR RUN INSULATED TO NEXT LOWER CIGBE.

**3** ANTENNA GROUND WIRE INSTALLATION

**E7** SCALE: NTS



**2** COAX/TOWER GROUNDING SCHEMATIC

**E7** SCALE: NTS



VERIZON NAME: SITTON  
 VERIZON No.: 1141  
 7/29/16

7/29/16

CONSTRUCTION

NO.	DATE	ISSUED FOR	BY
1	7/29/16	CONSTRUCTION	CSH
2	7/29/16	CONSTRUCTION	CSH



CSH NAO CSH



GROUNDING DETAILS

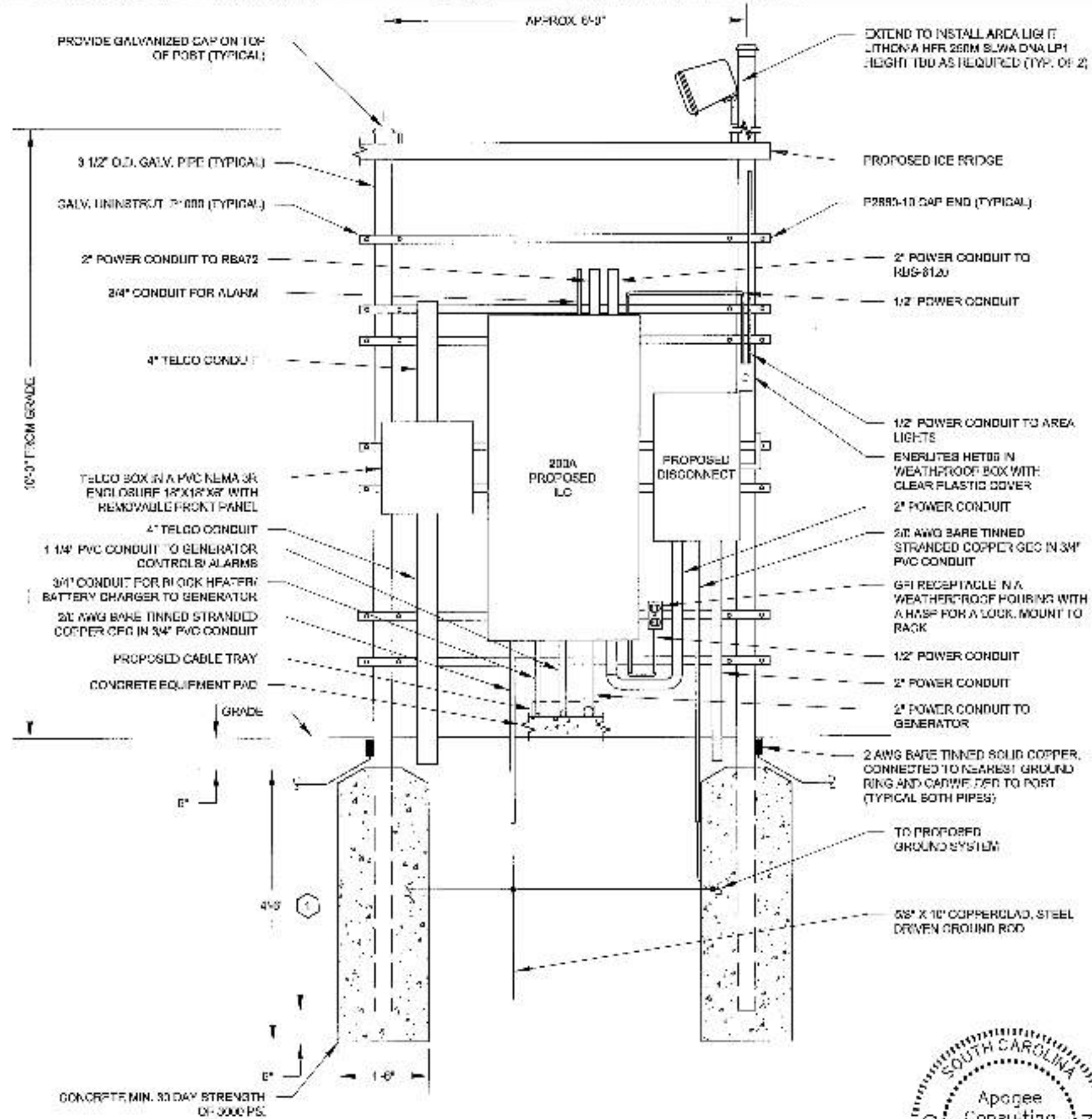
**E7** 1  
 018685125

**H-FRAME NOTES AND SPECIFICATIONS:**

1. ALL WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE, STATE BUILDING CODES AND ALL LOCAL BUILDING CODES. ALL COMPONENTS SHALL BE UL LISTED.
2. REFER TO SITE LAYOUT PLAN FOR THE EXACT LOCATION OF THE FRAME.
3. CONTRACTOR TO ENSURE WORKING SPACES REQUIRED BY THE NEC (ART. 110.26), STATE, OR LOCAL CODES ARE MAINTAINED BOTH ON THE FRONT SIDE AND THE BACK SIDE OF THE H-FRAME.
4. SHOW LOCATION (INCLUDE VERTICAL DIMENSIONS) OF ALL CABLES OR UNDERGROUND CONDUIT ON FINAL AS-BUILT DRAWINGS SUBMITTED TO OWNER.
5. COORDINATE EXACT LOCATION OF UNDERGROUND PIPES AND CIRCUITRY WITH THE OWNER.
6. CONTRACTOR SHALL COORDINATE EFFORTS WITH LOCAL ELECTRICAL AUTHORITY (HAVING JURISDICTION OVER) AND OTHER TRADERS TO DETERMINE PROTECTIVE AND TYPES OF RACEWAYS REQUIRED FOR INSTALLATION.
7. MOUNT ALL ELECTRICAL EQUIPMENT TO RACK.
8. DIMENSIONS SHOWN ARE APPROXIMATE AND MAY BE ALTERED IN THE FIELD AS APPROVED BY OWNER TO BETTER SUIT ACTUAL CONDITIONS OR EQUIPMENT RECEIVED.
9. FOR ANY METAL CONDUIT ENTERING AN ENCLOSURE WHERE A PRE-PUNCHED CONCENTRIC OR ECCENTRIC KNOCKOUT IS USED, THE CONTRACTOR SHALL ASSURE ADEQUATE JOINTING BETWEEN THE METAL CONDUIT AND ENCLOSURE BY INSTALLING A BUNDLING JOINT (AROUND THE CONCENTRIC OR ECCENTRIC KNOCKOUT).
10. CONTRACTOR SHALL INSURE THAT NO OPERABLE DEVICE SHALL EXCEED 5 FT TO CLEAR LINE OF DEVICE.

**KEY NOTES**

1. CONSTRUCT 30" CONCRETE FOOTING EXTENDING 8" BELOW FROST LINE AND IN COMPLIANCE WITH ALL LOCAL AND STATE CODES.



**1 H-FRAME DETAIL**  
E8 SCALE: NTS



PROJECT INFORMATION  
**VERIZON NAME: BITTON**  
 VERIZON No.: TBD  
 101 HOFFMAN BLVD  
 CHARLOTTE, NC 28203  
 OCONEE COUNTY

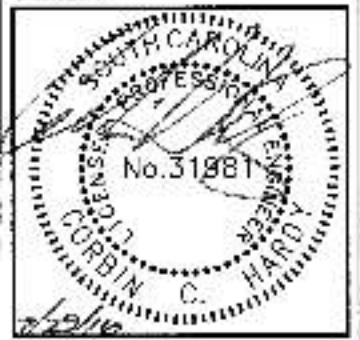
DATE: 7/28/16

CONSTRUCTION

NO.	DATE	DESCRIPTION	BY
1	7/28/16	CONSTRUCTION	...



NO.	DATE	DESCRIPTION	BY
1	7/28/16	CONSTRUCTION	...



**ELECTRICAL DETAILS**

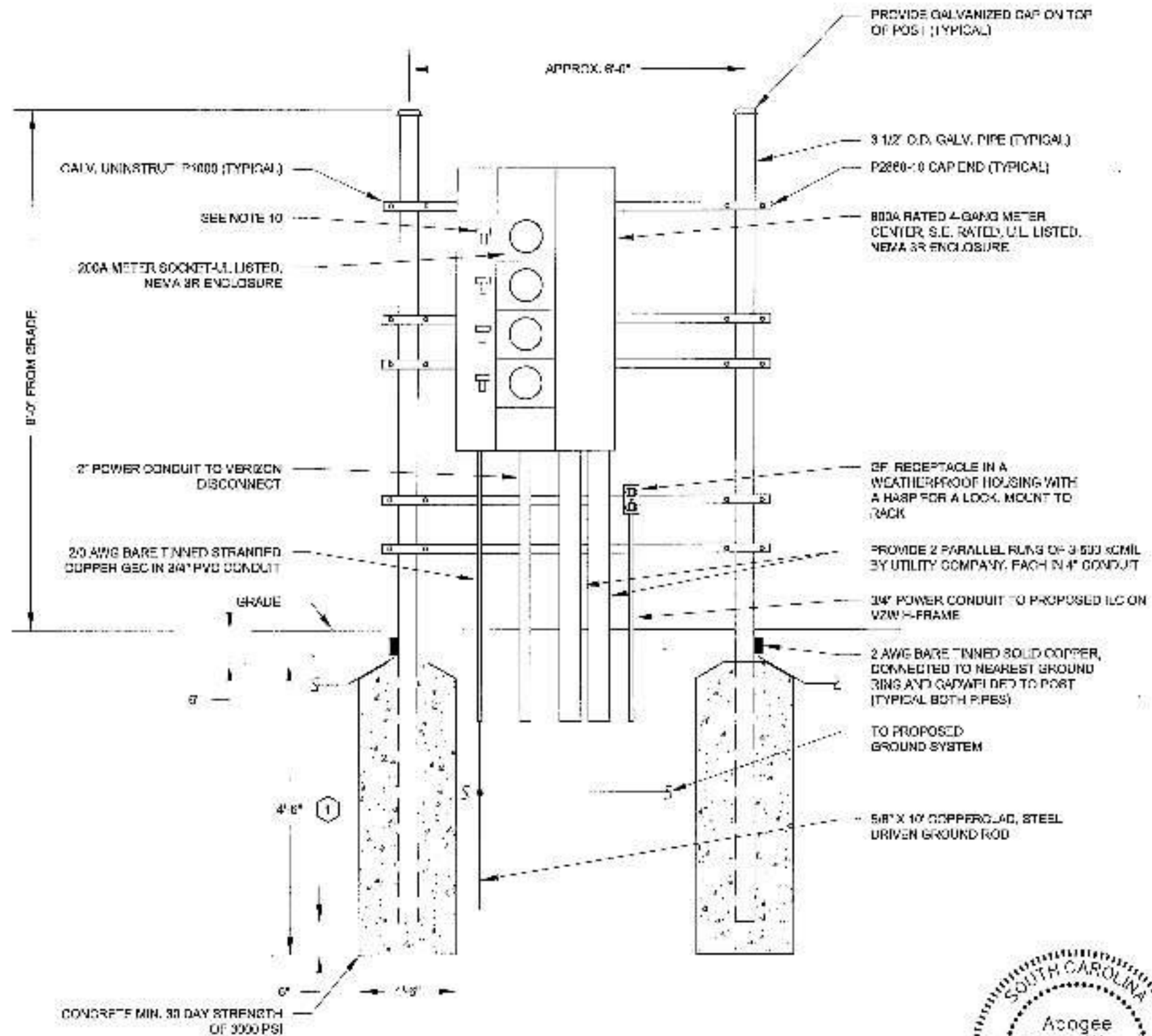
**E8** 1  
012955125

**H-FRAME NOTES AND SPECIFICATIONS:**

1. ALL WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE, STATE BUILDING CODES AND THE LOCAL BUILDING CODES. ALL COMPONENTS SHALL BE U.L. LISTED.
2. REFER TO SITE LAYOUT PLAN FOR THE EXACT LOCATION OF THE VMM.
3. CONTRACTOR TO ENSURE WORKING SPACES REQUIRED BY THE NEC (ART. 110.26), STATE OR LOCAL CODES ARE MAINTAINED BOTH ON THE FRONT SIDE AND THE BACK SIDE OF THE H-FRAME.
4. SHOW LOCATION (INCLUDING DIMENSIONS) OF ALL CAP-ED UNDERGROUND CONDUIT ON FINAL AS BUILT DRAWINGS SUBMITTED TO OWNER.
5. COORDINATE EXACT LOCATION OF UNDERGROUND TELLERS AND CIRCULARITY WITH THE OWNER.
6. CONTRACTOR SHALL COORDINATE EFFORTS WITH LOCAL, ELECTRICAL AUTHORITY HAVING JURISDICTION (A.U.) AND OTHER TRADES TO DETERMINE TROUBLE LINE AND TYPE(S) OF RACEWAYS REQUIRED FOR INS. INSTALLATION.
7. BOND ALL ELECTRICAL EQUIPMENT TO RACK.
8. DIMENSIONS SHOWN ARE APPROXIMATE AND MAY BE ALTERED IN THE FIELD AS APPROVED BY OWNER TO BETTER SUIT ACTUAL CONDITIONS OR EQUIPMENT RECEIVED.
9. FOR ANY METAL CONDUIT ENTERING AN ENCLOSURE WHERE A PRE-PUNCHED CONCENTRIC OR ECCENTRIC KNOCKOUT IS USED, THE CONTRACTOR SHALL ENSURE ADEQUATE BONDING BETWEEN THE METAL CONDUIT AND ENCLOSURE BY INSTALLING A BONDING JUMPER AROUND THE CONCENTRIC OR ECCENTRIC KNOCKOUT.
10. CONTRACTOR SHALL INSURE THAT NO O-LEVEL DEVICE SHALL EXCEED 6" TO CENTER LINE OF DEVICE.

**KEY NOTES**

1. CONSTRUCT 30" CONCRETE FOOTINGS EXTENDING BELOW FROST LINE AND IN COMPLIANCE WITH ALL LOCAL AND STATE CODES.



**1 H-FRAME DETAIL**  
**E9** SCALE: NTS



PROJECT INFORMATION:  
 VERIZON NAME: BITTON  
 VERIZON No.: TBD  
 PROJECT NUMBER: 00000000000000000000  
 COUNTY: CLAY

DATE: 7/28/16

CONSTRUCTION

NO.	DATE	DESCRIPTION	BY
1	7/28/16	CONSTRUCTION	CC



DATE:	DATE:	DATE:
DATE:	DATE:	DATE:



ELECTRICAL DETAILS

E9 1  
 01999c125







Network Operations

February 3, 2017

Greg Gordos, Senior Planner  
Oconee County Community Development Department  
Planning and Zoning Division  
415 South Pine Street  
Walhalla, SC 29691

Re: Proposed Verizon Wireless Telecommunications Tower on Prater Farm Road

Tax/Pin R2910002012

Verizon Site Name: **SITTON**

To whom it may concern:

I am providing this Letter to comply with Zoning Code Section 32-133 (b). Verizon Wireless engineers have determined that the Verizon Wireless network requires that the tower that we are referring as "SITTON," be located within a certain portion of Oconee County.

Verizon Wireless had done a review of said area to locate any existing sites that could serve as an alternative to constructing a new tower. After doing a thorough review of the search area, Verizon Wireless was not able to locate any existing cell towers or buildings that are of adequate height to provide a co-location option for these antennas (165'). Verizon's evaluation included reviewing the possibility of co-locating on existing towers or structures, including electric utility company transmission line towers; and/or reconstruction of, or new construction within the footprints of existing electric utility company transmission line towers;

Also, we inquired and were informed by Oconee County that there were no sites near this proposed site that were preselected in the county-wide communication tower site study.

Very truly yours,

Michael Haven  
Verizon Wireless Manager  
RE/Regulatory



9221 Lyndon B. Johnson Freeway, #204, Dallas, TX 75243 ★ PHONE 972-231-8893 ★ FAX 1-866-364-8375  
www.allprocgi.com ★ e-mail: info@allprocgi.com

February 3, 2017

Oconee County Community Development  
415 S Pine St.  
Walhalla, South Carolina 29691

**Ref:** *Site Name –Sitton– 165’ Monopole Tower*  
*ACGI# 17-0670*  
*Jurisdiction: Oconee County, SC*  
*Site Address: Prater Farm Road, Seneca, SC 28676*  
*Scope of Work: Engineering Specification Letter*  
*Applicable Code:*  
*IBC 2015 & ASCE 7-10, ANSI/TIA-222-G, Risk Category II, International Fire Code, 2015 edition*  
*Wind Speed: IBC2015(115 mph ultimate wind speed), ANSI/TIA-222-G (Equivalent 89 mph nominal wind speed ), Exposure “C”*

This letter is provided in reference to the above mentioned site for the following specifications:

1. The purpose of this tower is to support telecommunication antenna equipment for cellular coverage of the affected area.
2. Above reference tower to be designed to meet or exceed industry standards defined by ANSI/TIA-222-G, “Structural Standard for Antenna Supporting Structures and Antennas” (ANSI/TIA-222-G Standard).
3. The total height of tower is 165’ with highest appurtenance to 174’. All site location data to be re-verified by survey.
4. Above reference tower shall be constructed and contain only equipment meeting standards of the Federal Communication Commission (FCC) regulations; and comply with all other applicable federal, state, and local regulations.
5. The power density of the above reference site shall not exceed federally approved levels, or American National Standards Institute (ANSI) standards, whichever provides for stricter requirements. The tower shall be designed and constructed meeting the requirements of International Fire Code, 2015 edition.
6. The tower must be designed and certified by an Engineer to be structurally sound and as a minimum in conformance with the adopted Building code. This tower to be designed using the following minimum wind speed criteria as defined by ANSI/TIA-222-G for Oconee County, SC:
  - i) 89 mph 3-second-gust nominal wind speed with no ice.
  - ii) 30 mph 3-second-gust wind speed with 0.75” ice.

The “3-second-gust wind speed refers to a wind measured at 33 ft. above the ground. Equations in ANSI/TIA-222-G Standard take into account that the wind speed escalates with the increasing height of the tower.

If you have any other questions or concerns regarding our recommendations, please contact us.

Sincerely,  
Jingcheng Li, EIT  
02/03/2017



Approved by:  
Joji M. George, P.E  
SC PE # 26840



REFERENCE COPY

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.



Federal Communications Commission  
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY  
CELLCO PARTNERSHIP  
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING  
ALPHARETTA, GA 30022

<b>Call Sign</b> WPUD533	<b>File Number</b>
<b>Radio Service</b> CW - PCS Broadband	

FCC Registration Number (FRN): 0003290673

<b>Grant Date</b> 02-06-2008	<b>Effective Date</b> 11-01-2016	<b>Expiration Date</b> 12-29-2017	<b>Print Date</b>
<b>Market Number</b> BTA016	<b>Channel Block</b> C	<b>Sub-Market Designator</b> 6	
<b>Market Name</b> Anderson, SC			
<b>1st Build-out Date</b> 12-29-2002	<b>2nd Build-out Date</b>	<b>3rd Build-out Date</b>	<b>4th Build-out Date</b>

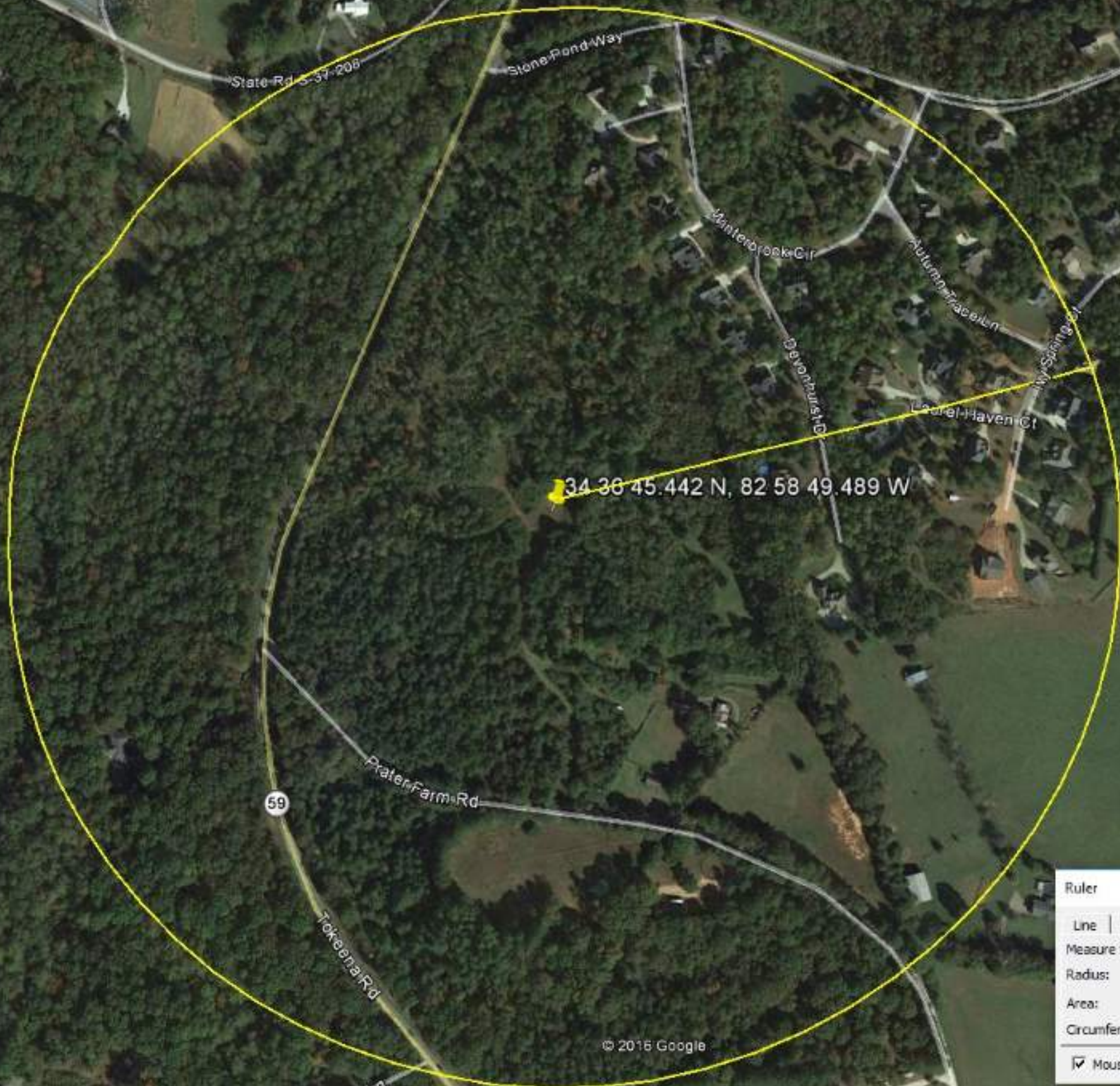
Waivers/Conditions:

NONE

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.



34 36 45.442 N, 82 58 49.489 W

**Ruler**

Line | Path | Polygon | Circle | 3D path | 3D polygon

Measure the circumference or area of a circle on the ground

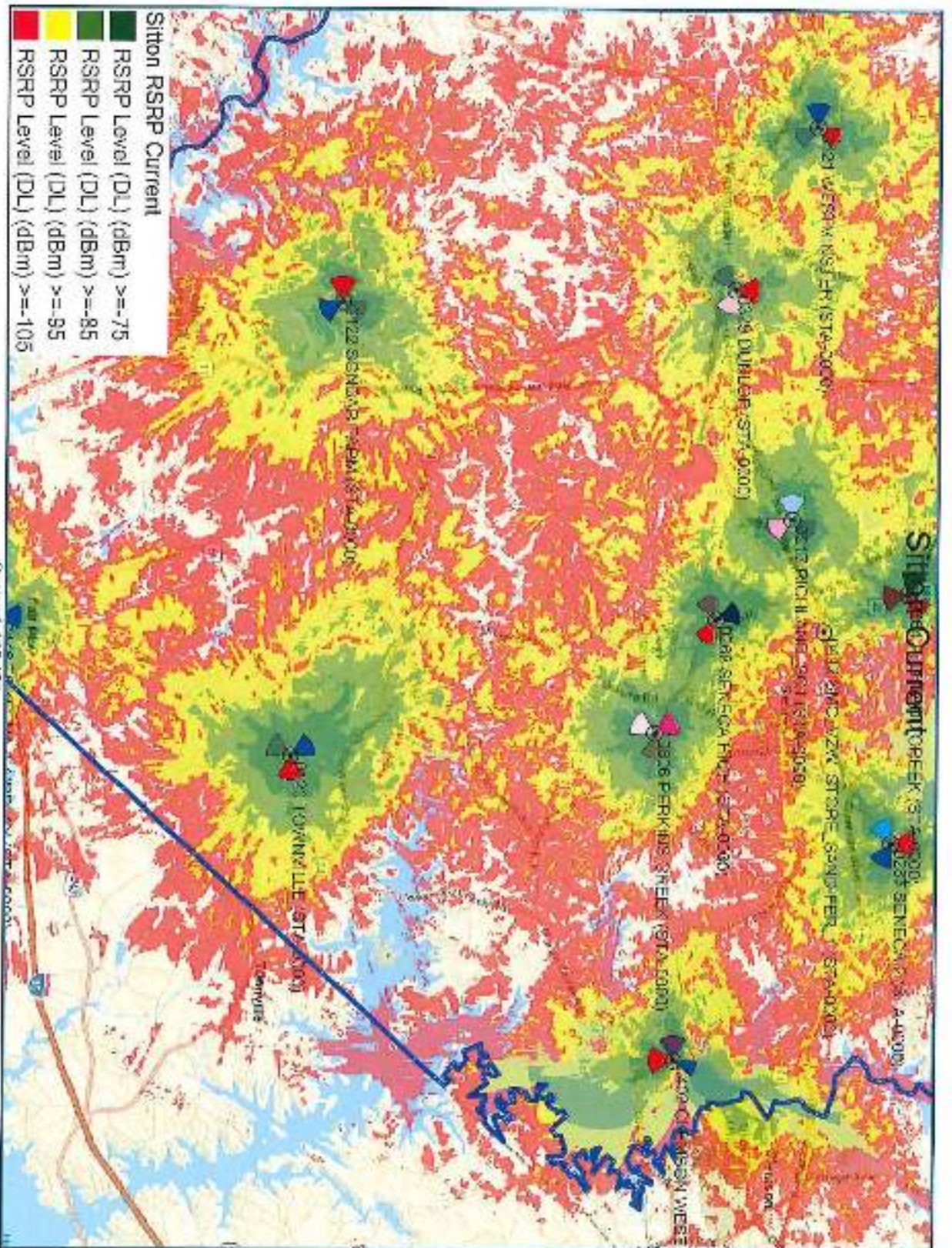
Radius: 1,302.24 Feet

Area: 492,437.88 Square Meters

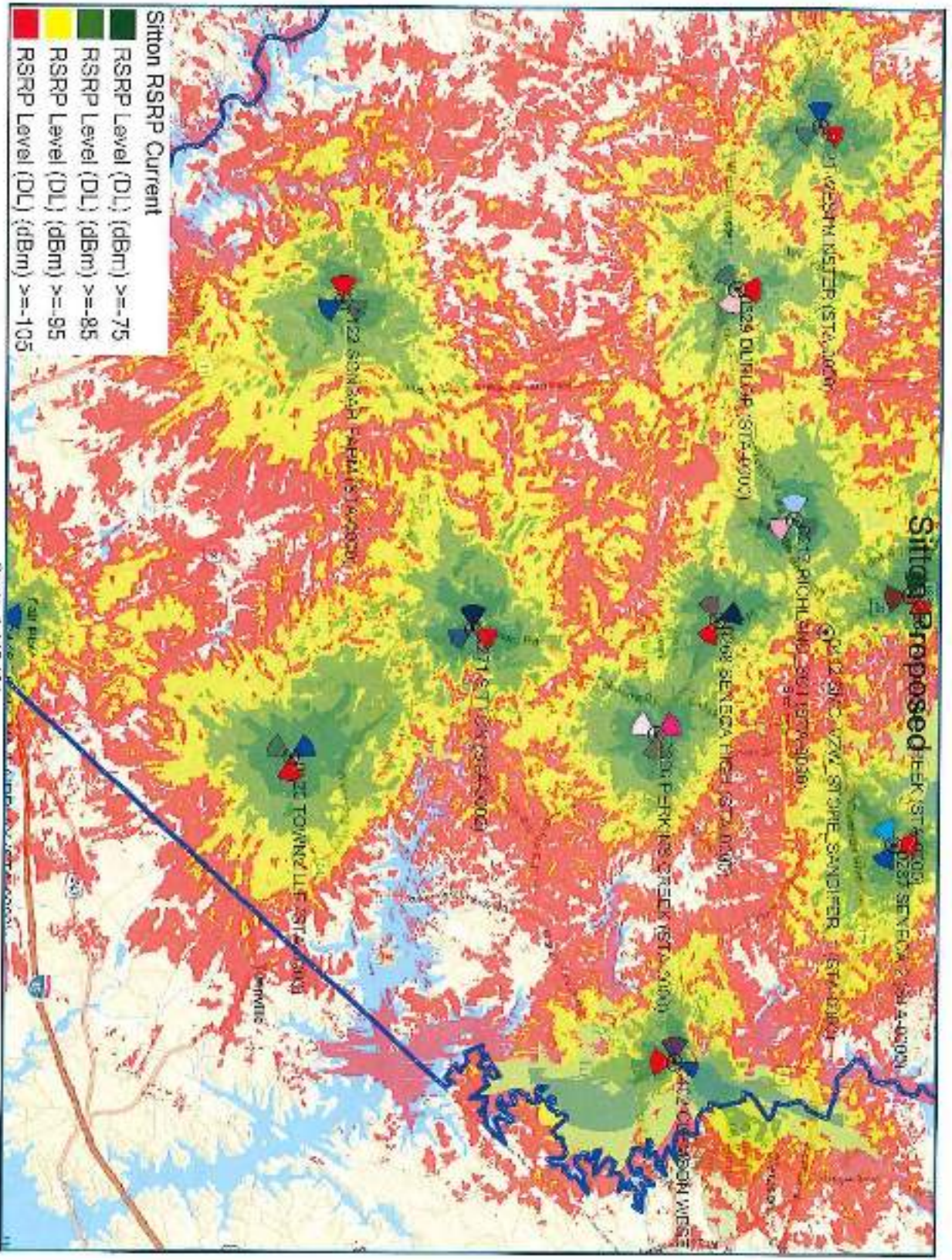
Circumference: 8,163.43 Feet

Mouse Navigation

Save Clear



Design Scale 1: 100,000



# Digital Imaging

## *Gould Digital Imaging*

February 20, 2017

Mr. Keith Markland  
Kimley-Horn and Associates, Inc.  
10 Roswell Street #210  
Alpharetta, GA 30009

Re: Sitton Site  
Gould Digital Imaging 165' Balloon Test Report

My name is Michael Gould, and I am owner and operator of Gould Digital Imaging. Kimley-Horn and Associates hired Gould Digital Imaging to perform various aspects of photographic imaging work in connection with the development of Verizon Wireless' telecommunications services network in the Seneca, SC metropolitan area.

I have over eighteen years' experience working specifically with telecommunications companies including T-Mobile, Inc., AT&T Wireless, Verizon Wireless, Nextel, Alltel, Cricket, Sprint PCS, COMPASS Technology Services, Inc., Crown Castle International, Vertical Bridge, and American Tower Corporation in preparing photographic simulations of telecommunications towers. I have a Bachelors Degree in Art from St. Mary's College of Maryland; over twenty years of professional experience in the field of digital photographic enhancement and I have produced approximately 6,000 photographic simulations for Verizon Wireless, AT&T, T-Mobile, Inc., American Tower Corp., and other telecommunications services companies.

Kimley-Horn and Associates hired Gould Digital Imaging to perform a "165 foot Balloon Test" at Verizon Wireless' Sitton site on Prater Farm Road, in Seneca, SC. A balloon test is a visual reference of how tall a proposed structure would appear if constructed. A ten foot long red blimp shaped helium balloon is filled and raised above the proposed site on a measured line to the height of the proposed structure and anchored to the ground at the proposed site.

At approximately 10:45am on Tuesday, February 13<sup>th</sup>, 2017, the balloon was raised to a height of 165 feet to the bottom of the blimp and anchored at the center of the leased area. The wind was relatively calm and the balloon was flying directly above its anchor throughout the entire test. The balloon was left aloft until 11:30am.

I drove around the surrounding "area of affect" and took photographs from several adjoining properties and other points of potential visual impact. I deployed the use of a hand held GPS unit that indicated the bearing and distance I was from the balloon as I canvassed the area for any possible views of the balloon.

This report includes a site photography map denoting the location of the proposed tower and the locations of all photographs that were taken of the site as well as copies of the photographs.

In my professional opinion, these photographs reflect to a reasonable certainty the anticipated projection of the height of the tower if constructed at the Sitton site. If you need any additional information, please do not hesitate to call me at (770) 617-2958 or e-mail at michael@goulddigitalimaging.com.

Sincerely,



**Gould Digital Imaging**  
Michael D. Gould/Owner









5



6







11



12



13



14



Existing View



**verizon**<sup>✓</sup>  
**SITTON**

Prater Farm Rd, Seneca, SC 28676

**165ft. MONOPOLE  
SIMULATION**

View from Prater Farm Road  
approx. 765ft. south-southeast of site



**verizon** ✓  
**SITTON**  
Prater Farm Rd, Seneca, SC 28676  
**165ft. MONOPOLE  
SIMULATION**  
View from Summer Walk Court  
approximately 1,000ft. north of site





Existing View



**verizon** ✓  
**SITTON**

Prater Farm Rd, Seneca, SC 28676

**165ft. MONOPOLE  
SIMULATION**

View from Devonhurst Drive  
approx. 680ft. east-northeast of site

Existing View



**verizon**✓

**SITTON**

Prater Farm Rd, Seneca, SC 28676

**165ft. MONOPOLE  
SIMULATION**

View from Tokeena Road  
approximately 600ft. west of site



# CERTIFICATE OF LIABILITY INSURANCE

DATE(MM/DD/YYYY)  
02/01/2017

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Aon Risk Services Northeast, Inc. New York NY Office 199 Water Street New York NY 10038-3551 USA	<b>CONTACT NAME:</b> PHONE (A/C. No. Ext): (866) 283-7122      FAX (A/C. No.): (800) 363-0105 E-MAIL ADDRESS:	
	<b>INSURER(S) AFFORDING COVERAGE</b>	
<b>INSURED</b> Verizon Wireless, LLC 1095 Avenue of the Americas New York NY 10036 USA	<b>INSURER A:</b> National Union Fire Ins Co of Pittsburgh 19445	
	<b>INSURER B:</b>	
	<b>INSURER C:</b>	
	<b>INSURER D:</b>	
	<b>INSURER E:</b>	
	<b>INSURER F:</b>	

Holder Identifier :

**COVERAGES**      **CERTIFICATE NUMBER:** 570065432201      **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS. **Limits shown are as requested**

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> <b>COMMERCIAL GENERAL LIABILITY</b> <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> XCU Included  GENL AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			GL3796651	06/30/2016	06/30/2017	EACH OCCURRENCE \$1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$1,000,000 MED EXP (Any one person) \$10,000 PERSONAL & ADV INJURY \$1,000,000 GENERAL AGGREGATE \$1,000,000 PRODUCTS - COMP/OP AGG \$1,000,000
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO OWNED AUTOS ONLY <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident) BODILY INJURY ( Per person) BODILY INJURY (Per accident) PROPERTY DAMAGE (Per accident)
	<input type="checkbox"/> <b>UMBRELLA LIAB</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> <b>EXCESS LIAB</b> <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input type="checkbox"/> RETENTION						EACH OCCURRENCE AGGREGATE
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR / PARTNER / EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below			N/A			<input type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT E.L. DISEASE-EA EMPLOYEE E.L. DISEASE-POLICY LIMIT

Certificate No : 570065432201

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)  
RE: Verizon New Build Site "Sitton", PS Location #303546. Oconee County is included as an Additional Insured with respect to the General Liability policy.

**CERTIFICATE HOLDER****CANCELLATION**

Oconee County Community Development Planning & Zoning Division 415 S. Pine St. Walhalla SC 29691 USA	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE  <i>Aon Risk Services Northeast, Inc.</i>

April 4, 2017

Board of Zoning Appeals  
Oconee County Community Development  
415 S. Pine Street  
Walhalla, SC 29691

**RE: Hartwell Village / Requested Variance for Internal Side Setbacks**

Hartwell Village is a proposed commercial/mixed use project at the intersection of Highway 123 (Clemson Boulevard) and SC 93 (Pendleton Road). The property has a zoning classification of Control Free District (CFD) and has been subdivided into 8 lots and may be further subdivided as necessary to complete the development of the project. Commercial developments, specifically shopping centers are typically subdivided to allow for separate ownerships, phasing of the development and/or to meet financing conditions. In many cases a shopping center appears as one property but is actually subdivided into several parcels with private agreements addressing the common development and operation of the center creating a center with a unified appearance and operation.

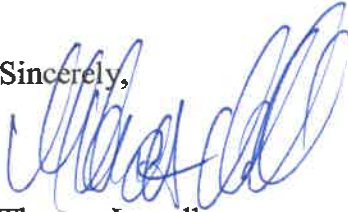
We are requesting a variance from the 5 foot side setbacks contained within the CFD to allow a zero setback for internal lot lines. The zero setback on the internal lot lines will allow for the shopping center to be developed as a unified project without separation between buildings due solely to side setbacks. A zero side setback is fairly common within a shopping center or Unified Commercial Development. The requirement for a setback between buildings within the center would create a condition that will restrict the ability to develop the shopping center appropriately and utilize the property by requiring a 10 foot separation between buildings on separate lots. We believe the approval of the variance is consistent with other shopping centers within Oconee County and does not create a detriment to the public good or damage adjacent properties within the area. Lastly, the approval of this variance request will not change any of the allowed uses on the property.

I have attached the current subdivision of the property and the approved site plan for reference. In order to phase the project, lot 2 will be further subdivided to allow the phasing of the project. The areas in red and yellow on the attached site plan will be constructed as the first phase of the center (including all necessary parking and access roads). The granting of the variance will allow for the future construction of buildings

adjacent to the initial phase and to meet the requirements for financing the project in phases.

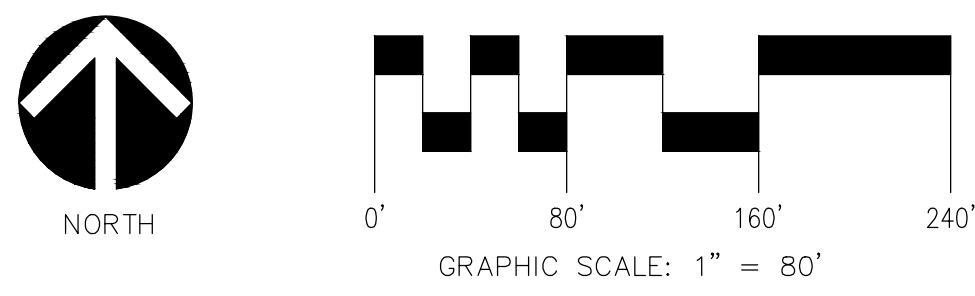
We respectfully request your approval of the requested variance to allow zero setback for internal lot lines at Hartwell Village.

Sincerely,



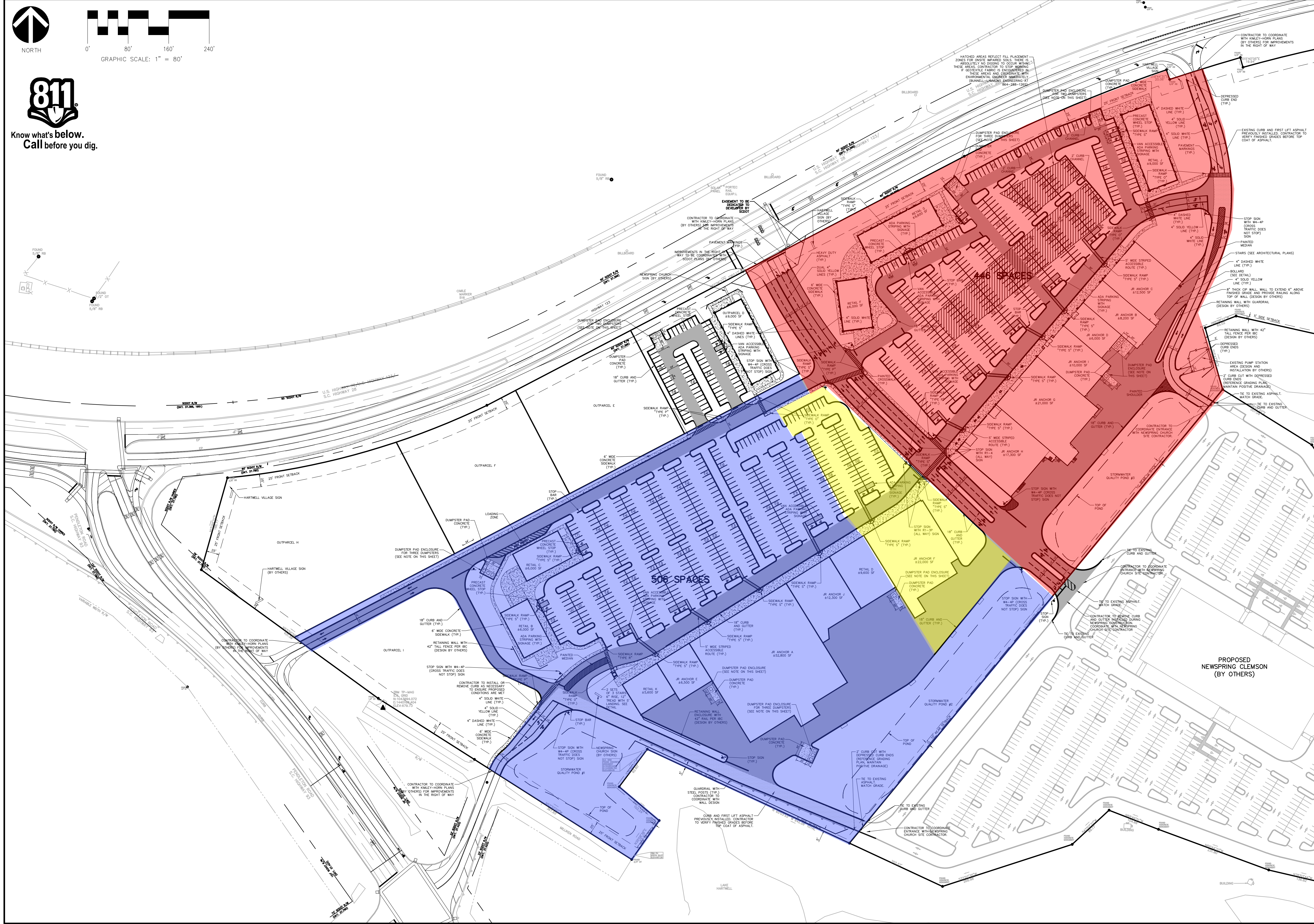
**Thomas Lowell**  
**Vice President of Construction and Development**  
**CASTO**

THIS DRAWING SHALL NOT BE REPRODUCED IN ANY MANNER OR USED FOR ANY PURPOSE WITHOUT WRITTEN PERMISSION.

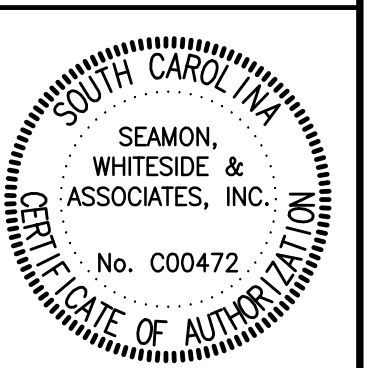


Know what's below. Call before you dig.

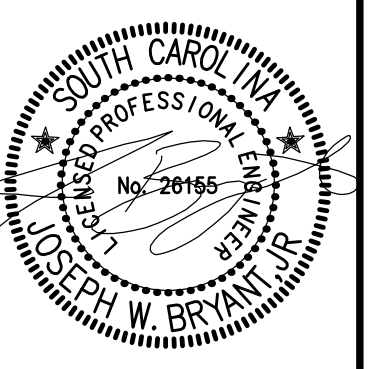
COPYRIGHT © SEAMON, WHITESIDE & ASSOCIATES, INC.



SEAMON WHITESIDE  
508 Phett St., Suite 101  
Greenville, SC 29601-2436  
864.298.0534 (F) 843.298.8018



HARTWELL VILLAGE  
CASTO O'CONNOR, LLC  
OCONEE COUNTY, SOUTH CAROLINA



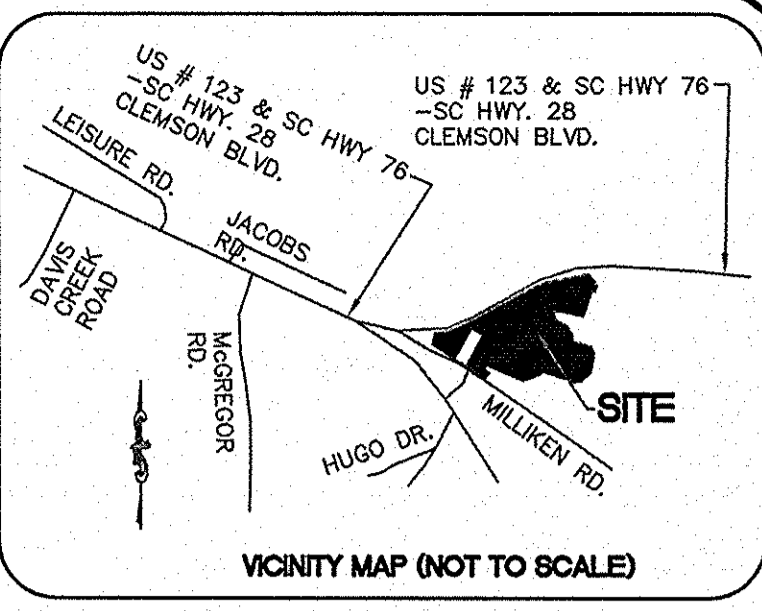
DRAWN BY: MD  
CHECKED BY: DB  
PROJECT: GR2173  
DATE: 2/9/16

NO.	DATE	REVISION NOTES	BY	IB
0	2/9/2016	ISSUED FOR CONSTRUCTION		
1	10/13/2016	REVISED OWNER PRICING SET		
2	10/17/2016	OWNER PRICING SET		

OVERALL SITE PLAN  
SHEET XX

LINE	LENGTH	BEARING
L1	63.67'	N 62°24'56" E
L2	20.00'	S 18°42'04" E
L3	20.00'	S 15°42'04" E
L4	50.05'	S 19°41'13" W
L5	49.62'	S 70°41'48" E
L6	100.60'	S 19°26'44" W
L7	50.23'	N 70°20'44" W
L8	65.05'	S 69°09'42" W
L9	126.28'	S 15°46'37" E
L10	143.58'	S 33°30'51" E
L11	125.72'	S 12°20'37" E
L12	113.82'	S 22°25'24" E
L13	40.59'	N 09°53'14" W
L14	104.74'	N 68°45'33" W
L15	99.22'	S 46°57'05" W
L16	92.62'	S 36°51'00" W
L17	103.24'	S 49°48'14" E
L18 TOT.	93.95'	S 35°17'05" W
L19	40.76'	N 54°01'29" W
L20	264.22'	N 62°24'00" E
L21	132.50'	S 27°29'24" E
L22	54.87'	S 65°24'47" E
L23	88.63'	S 39°24'00" W
L24	9.91'	S 23°37'23" W
L25	42.15'	S 27°36'00" E
L26	35.40'	N 62°24'00" E
L27	100.09'	S 40°49'58" E
L28	60.95'	S 40°38'58" E
L29	70.80'	S 47°21'42" E
L30	35.87'	S 50°48'36" E
L31	167.30'	S 17°09'45" E
L32	94.99'	S 07°34'09" E
L33	106.58'	S 09°09'07" W
L34	159.48'	S 18°00'57" W

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	1487.19'	340.99'	171.24'	340.24'	N 78°07'24" E	13°08'13"
C2	1487.19'	193.34'	96.80'	193.20'	N 67°49'50" E	7°26'55"
C3	2804.73'	434.80'	217.83'	434.36'	S 66°51'58" W	8°52'56"
C4	2784.73'	72.42'	36.21'	72.42'	S 72°02'38" W	1°29'24"
C5	2784.73'	73.38'	36.69'	73.38'	S 73°32'38" W	1°30'36"
C6	2784.73'	513.06'	257.27'	512.33'	S 79°36'56" W	10°37'57"
C7	35.00'	55.04'	35.07'	49.54'	S 72°32'42" E	90°06'36"
C8	100.00'	66.19'	34.36'	64.99'	S 46°27'05" E	37°55'23"
C9	25.00'	45.73'	32.47'	39.62'	S 13°00'23" E	104°48'47"
C10	100.00'	20.34'	10.21'	20.31'	N 45°13'41" E	11°39'21"
C11	74.00'	35.43'	18.06'	35.09'	S 37°20'22" W	27°25'58"



**SURVEYOR'S NOTES:**

- I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN THE STATE OF SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
- ZONING PROVIDED BY THE APPROPRIATE GOVERNMENTAL AGENCY: TO BE USED FOR INFORMATIONAL PURPOSES ONLY.
- THE WORDS "CERTIFY", "CERTIFIES" OR "CERTIFICATION" AS USED HEREIN ARE UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE SURVEYOR, BASED UPON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, AS SUCH, DO NOT CONSTITUTE A GUARANTEE NOR A WARRANTY, EXPRESSED OR IMPLIED.
- THE UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM PLANS PROVIDED BY THE UTILITY COMPANIES AND FIELD MARKED BY LOCATOR SERVICES AND VISUAL APPARATUS SUCH AS VALVES AND METERS, CONTRACTOR SHALL CALL LOCATOR SERVICE FOR VERIFICATION PRIOR TO ANY CONSTRUCTION OR EXCAVATION.
- ALL CORNERS ARE 5/8" REBAR UNLESS OTHERWISE NOTED.
- ALL LOTS SHALL HAVE ACCESS RIGHTS ALONG CONSTRUCTED ROADS WITHIN THE HARTWELL VILLAGE DEVELOPMENT.

**LAND AREA:**  
1,977,110 SQ.FT.  
45.388 ACRES

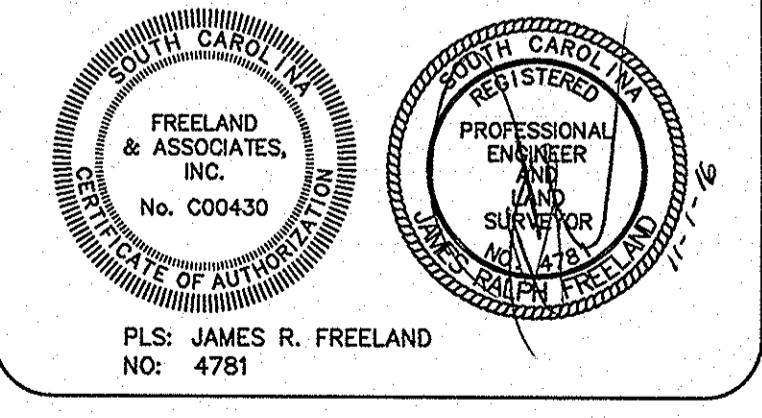
**BASIS OF BEARINGS:**  
BASIS OF BEARINGS PER GPS "RTK" OBSERVATION OF USGS MONUMENT "CLEMSON" "JACOBS" "AMTRAK" "JERVEY" AND "39 67" NAD 83

**FREELAND**  
SURVEYORS • ENGINEERS

FREELAND & ASSOCIATES, INC.  
323 WEST STONE AVE.  
GREENVILLE S.C. 29609  
TEL. (864) 271-4924 FAX: (864) 233-0315  
EMAIL: info@freeland-associates.com

DRAWN:	CF	PARTY CHIEF:	CJ	CHECKED:	MVA
REF. PLAT BOOK:	B449-6/7 & B494-1/2				
REF. DEED BOOK:	2086-12				
TAX MAP:	227-00-01-001 & 227-00-02-004				
DATE OF SURVEY:	5-23-2013				
DATE DRAWN:	5-28-2013				
DRAWING NO:	64558-HV SUB				
DATE OF LAST REVISION:	9-1-2016				

0' 100' 200' 300'  
SCALE: 1" = 100'



STATE OF SOUTH CAROLINA  
OCONEE COUNTY  
SENECA TOWNSHIP  
**SUBDIVISION PLAT FOR HARTWELL VILLAGE**

SITE ADDRESS:  
U.S. HWY. # 123 AND # 76  
SENECA, SC 29678

FILED OCONEE COUNTY, SC  
ANNA K. DAVISON  
REGISTER OF DEEDS  
2016 NOV - 1 P 12 11

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**LEGEND:**

- IPS IRON PIN SET (5/8" REBAR)
- IFF IRON PIN FOUND
- R/W RAIL ROAD RIGHT-OF-WAY
- H/W HIGHWAY RIGHT-OF-WAY
- P POWER POLE
- E OVERHEAD ELECTRIC LINE
- S OVERHEAD ELECTRIC LINE
- SMH SANITARY SEWER MANHOLE

**FLOOD INFORMATION:**  
THIS PROPERTY IS LOCATED IN FLOOD ZONE "X"  
(AREAS OF MINIMAL FLOODING) PER LETTER OF MAP AMENDMENT CASE NO. 12-04-3078A DATED: APRIL 25, 2012  
OCONEE COUNTY FIRM COMMUNITY PANEL NO. 45073C0355C  
EFFECTIVE DATE: 9-11-2009.

