

ITEM 5- Special Exception Hearing for Application SE17-000001
 (Whetstone Academy – Group Residential Facility Expansion)

SE17-000001

Period: SE17-000001
 Period Type: Single Director Application
 Job Type: [Dropdown]
 More Descriptions: [Text Area]

Applicant: [Dropdown]
 Status: [Dropdown]
 Total Amount: \$ 100.00
 Amount Paid: \$ 0.00
 Balance Due: \$ 100.00
 Minutes: 1104
 Hours: [Dropdown]
 Project Name: TAC STRENGTH ASSISTED DAY CARE LOT
 Property Address: [Redacted]
 Address (as per parcel and address book): [Redacted]

Application Date: [Dropdown]
 Approval Date: [Dropdown]
 Issue Date: [Dropdown]
 Expiration Date: [Dropdown]
 Issue Date: [Dropdown]
 Last Inspection: [Dropdown]
 Director Email: [Dropdown]
 Model Name: [Dropdown]

Period Fees

Quantity	Fee	Description	Amount	Total
	Application Fee			
			Fee Book Fee	
			Issue Fee	
			Trail Fee	

Summary

Date	Type	Balance	Due	Period	Timeout	Amount Paid	Amount	Count
						Amount Paid		
						MINA Fee		



Section 32-178 Application requirements (for Special Exception)

- (1) A complete description of the name and purpose of the proposed facility;

Whetstone Academy is an Educational Boarding School and working farm for middle school age boys. We embody an experiential and project-based (hands-on) learning approach, which extends outside of the classroom.

With this teaching, learning, farming, and gardening style in mind, Whetstone wishes to utilize four temporary storage buildings as project/learning centers for the boys.

We have three other temporary storage buildings that will be used for the following: 1) office and file storage space, 2) feed, grain and tool storage and 3) bicycle, camping and hiking gear storage.

Thank you for your consideration as we strive to better serve this population of young boys.

- (2) A complete list of the names, addresses, and phone numbers of board members, owners and investors, as applicable;

Dr. John Singleton
505 South Lovingood Ave.
Walhalla, SC 29691
864-723-7384

Silent partner with no voice in company matters is not applicable.

- (3) A copy of a license or application for a license to the state department of social services to operate a group facility;

In a separate attached file is the most recent exemption letter from the South Carolina Department of Social Services.

The letter states, “*...Whetstone Academy is exempt from licensure...based on DSS Regulation 114-590. A. (7). ...Boarding Schools that do not operate year round or do not offer services beyond those associated with school programming are not encompassed within these regulations...Should you make changes to your program’s dates of operations, please contact the South Carolina Department of Social Services...*”

Attached in a separate document is our school calendar for the academic year 2016-2017.

Also attached in a separate document is a candidacy letter for school accreditation from AdvancED, a non-profit and non-partisan accrediting body that merged several regional accrediting bodies.

(4) State tax identification number or tax exemption certification;

38-3970070

(5) Two copies of a preliminary development plans and a sketch plan displaying the physical and relative layout of the facility as outlined by section 32-179.

Being provided by Zorn, Inc.

James Holcomb
Director of Operations and Human Resources
Whetstone Academy
186 Briars Lake Rd.
Mountain Rest, SC 29664
Phone: 864-638-6005
Fax: 864-638-6099



Section 32-179 Sketch plan and preliminary development plans (for Special Exception)

- (1) An accounting of total acreage in the tract and any proposed subdivision of parcels;

Attached sketch (1) provided (Hard copy turned into office)

- (2) Arrangement, shape, dimensions, and area of proposed development;

Aerial view provided; also sketch (1) and sketch C-101 (Hard copies turned into office)

- (3) Location of existing property lines, easements, road rights-of-way, buildings, or other public ways adjoining the tract to be developed;

Attached sketch (1) provided (Hard copy turned into office)

- (4) Alignment, right-of-way width, and clarification of proposed roads;

No new proposed roads; see attached sketch (1) provided for existing roads (Hard copy turned into office)

- (5) Topography by contour at intervals of not more than ten feet;

Sketch C-101 provided (Hard copy turned into office)

- (6) Map scale, north arrow, and date;

All map copies contain these requirements (Hard copies turned into office)

- (7) Name/address/telephone number of legal owner or agent and the professional (surveyor or engineer) who will undertake detailed layout and improvements design;

Zorn Company, PO Box 842, Seneca, SC 29679

(8) Location of watercourses and land subject to flooding based on a 100-year frequency flood;

No flooding areas exist. There is a pond on the property that will not be affected in any manner from the proposed storage buildings.

(9) The existing and proposed uses of land throughout the development;

The land is currently used as a **boy's boarding school and will** continue to be the same after approval of storage buildings. The storage buildings will be used for storage/office storage and learning/project space.

(10) Proposed method of water supply and wastewater treatment and other utility services;

No water supply and wastewater treatments will be used in any of the storage buildings. Electricity will be used in each storage building.

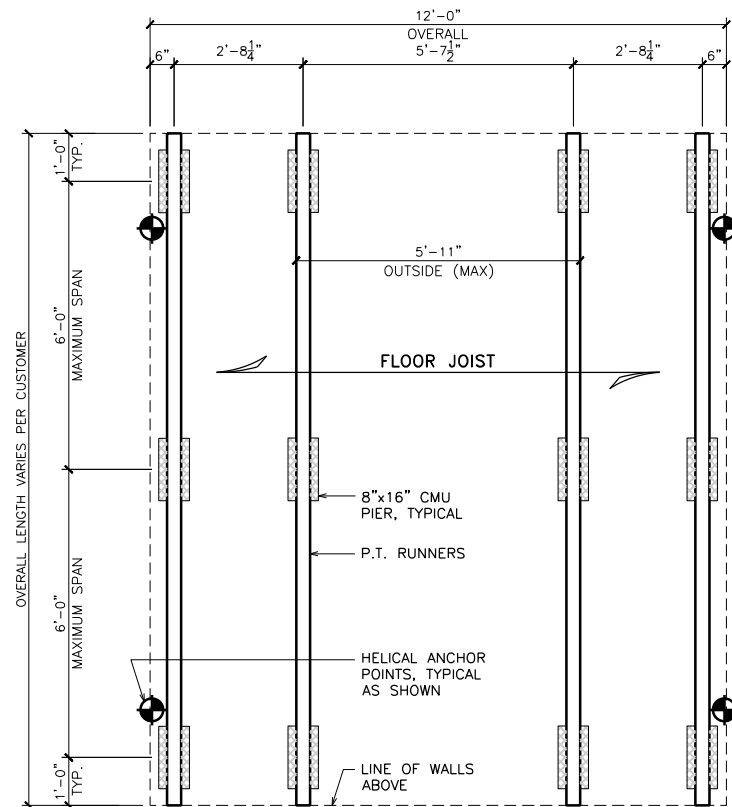
(11) The proposed name of the development;

Currently and will continue to be Whetstone Academy.

(12) The owner/developer shall submit a sketch plan of this entire tract even **though the subdivider's present plans call for the actual development of only a** part of the property.

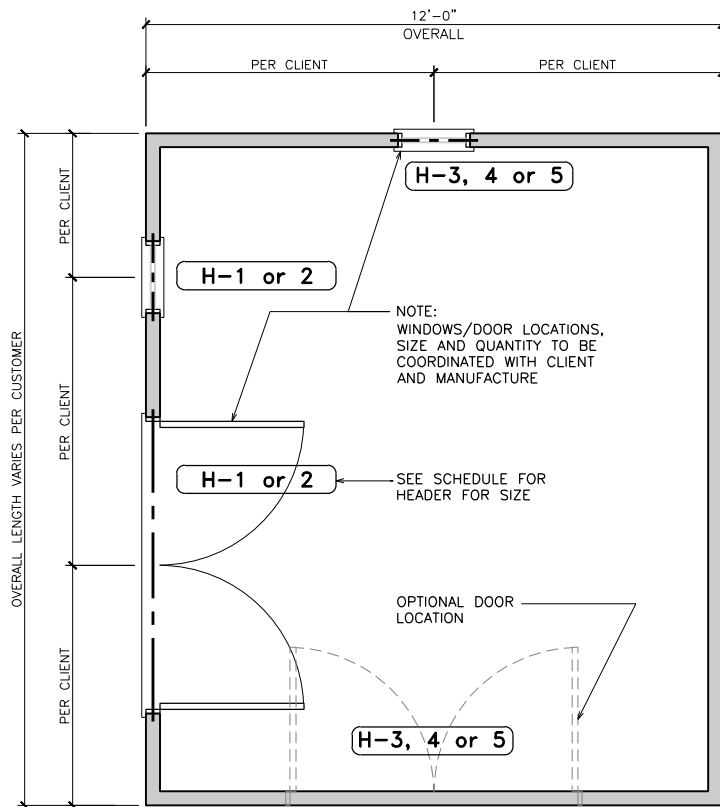
Attached sketch (1) provided (Hard copy turned into office)

James Holcomb
Director of Operations and Human Resources
Whetstone Academy
186 Brians Lake Rd.
Mountain Rest, SC 29664
Phone: 864-638-6005
Fax: 864-638-6099



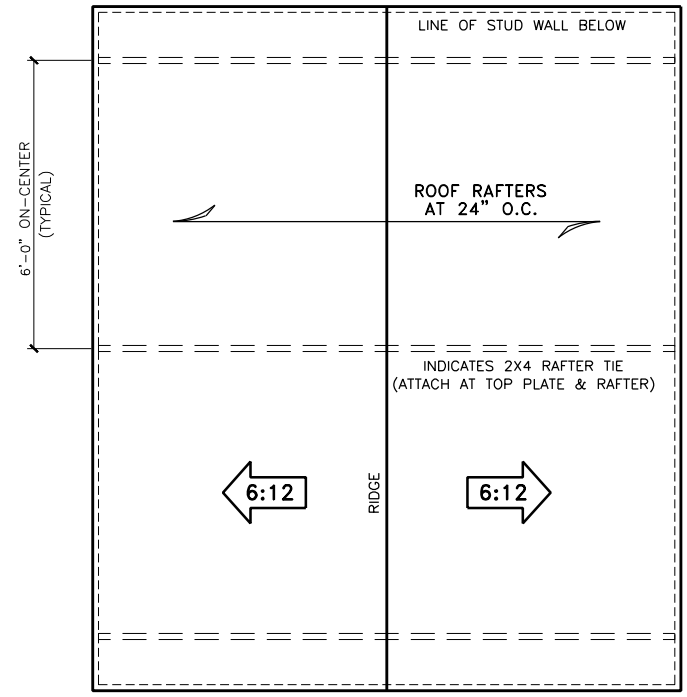
FOUNDATION LAYOUT

NOTES:
 THIS DESIGN MEETS INTERNATIONAL CODE COUNCIL REQUIREMENTS FOR 100 MPH WIND SPEED (MAXIMUM) AND SEISMIC ZONE D.



FLOOR PLAN

HEADER SCHEDULE (#2 SPF)			
SYM	OPENINGS	BEARING COND.	SIZE
H-1	0" TO 40"	YES	(2) 2X4
H-2	41" TO 76"	YES (NO LOFT)	(2) 2X6
H-3	0" TO 40"	NO	(2) 2X4
H-4	41" TO 76"	NO	(2) 2X4
H-5	77" TO 96"	NO	(2) 2X6



ROOF PLAN



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TYPICAL 12'-0" WIDE BUILDING PLAN

SHEET NAME:
 FOUNDATION FLOOR PLAN AND ROOF PLAN

REVISIONS
1
2
3
4
5
6
7

SCALE:
 1/4" = 1'-0"
 DATE DRAWN:
 09/02/15

SHEET NUMBER
 1.0



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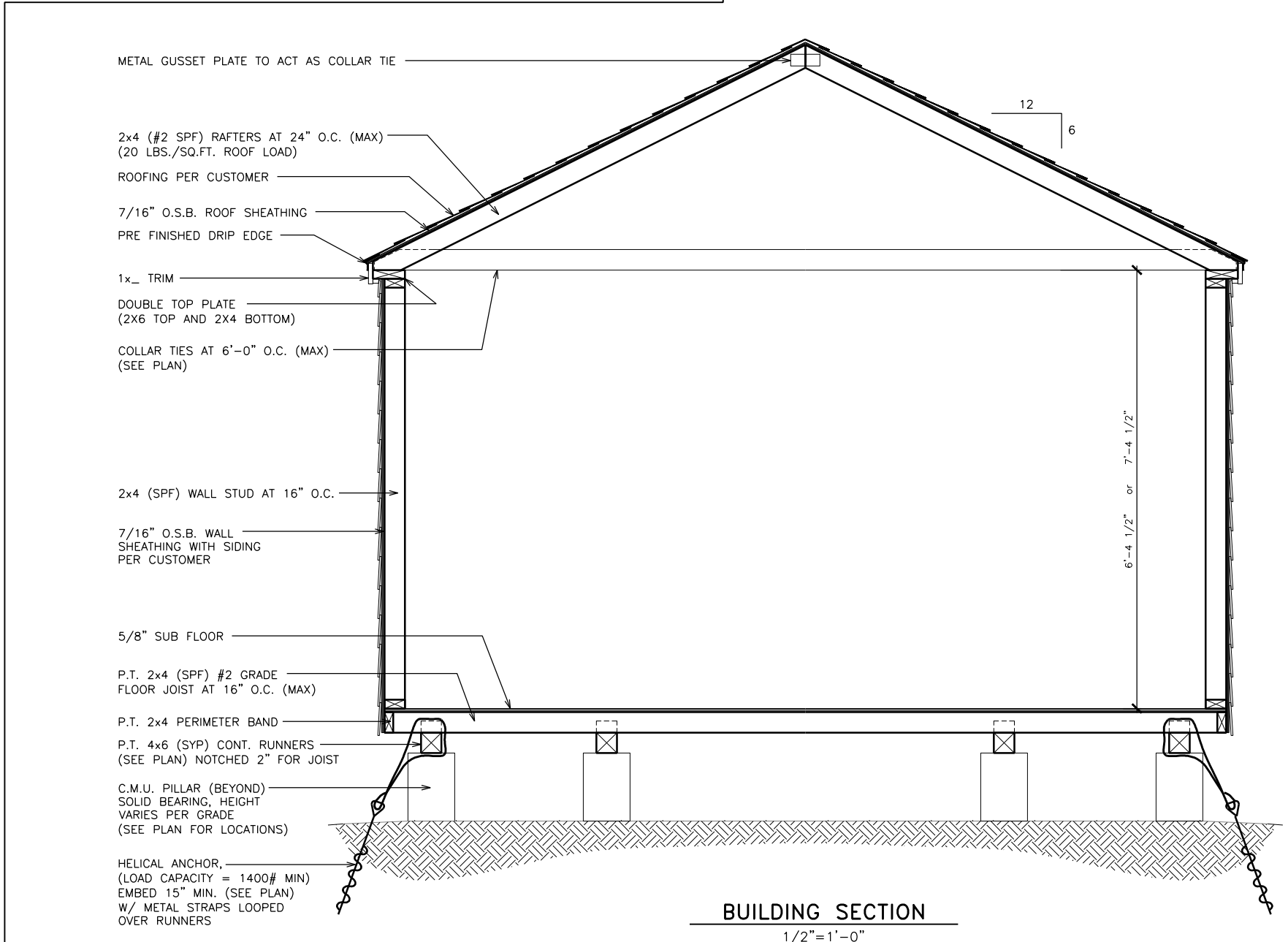
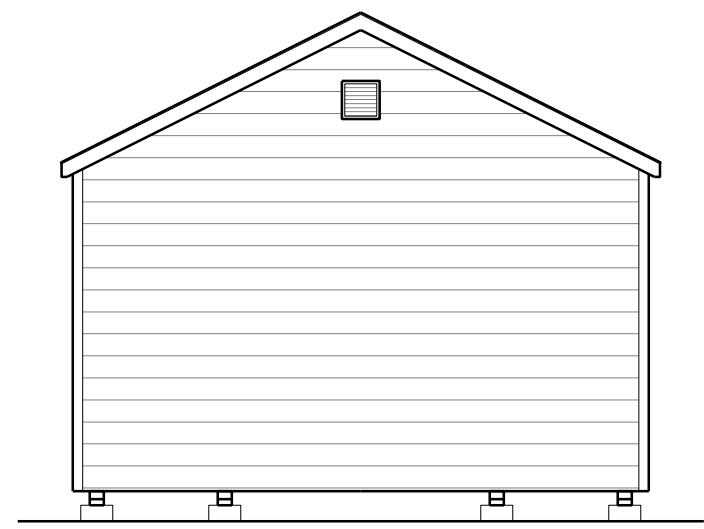
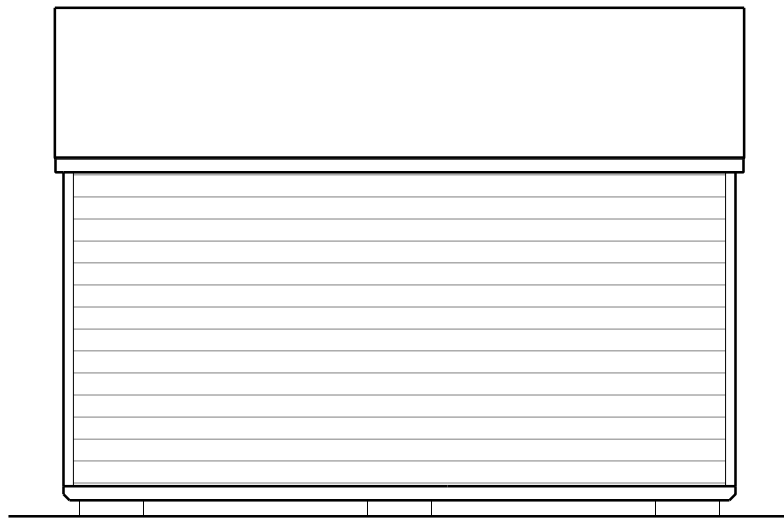
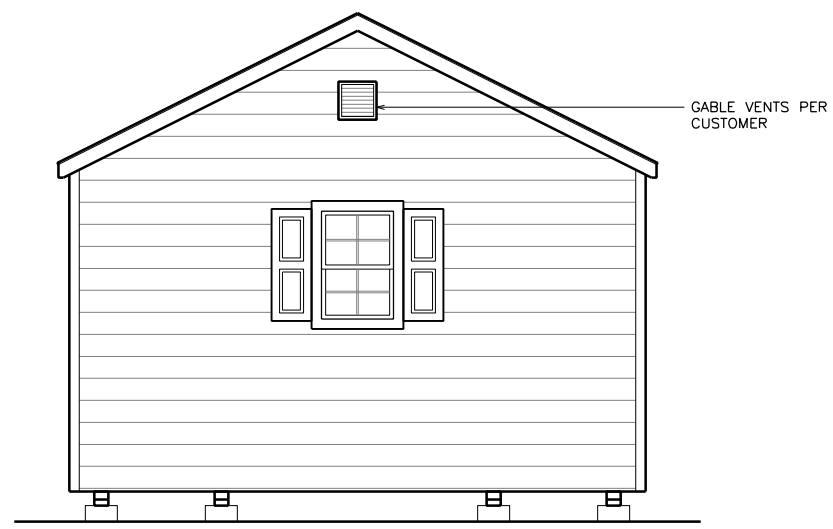
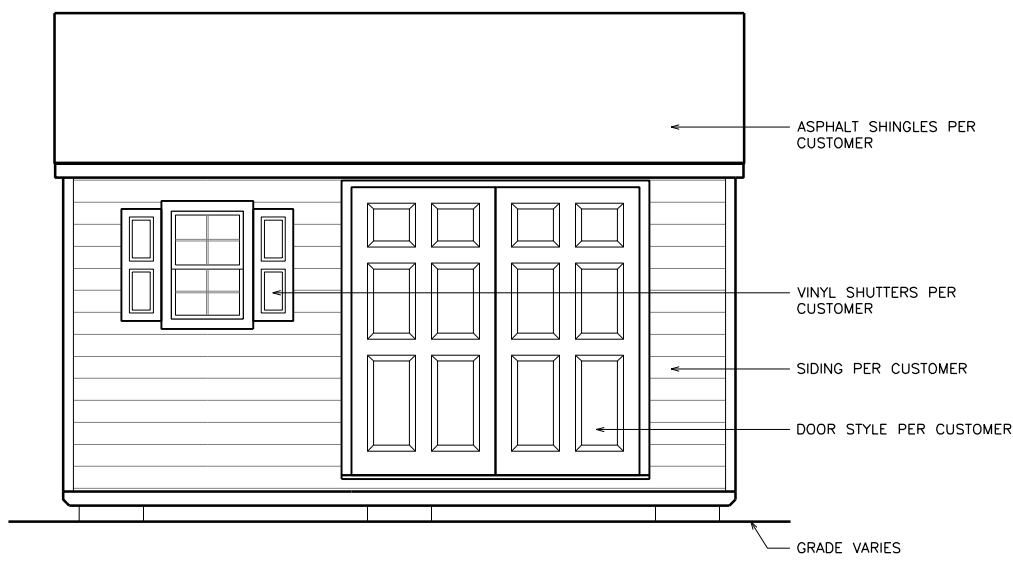
TYPICAL 12'-0" WIDE BUILDING PLAN

SHEET NAME: EXTERIOR ELEVATIONS AND BUILDING SECTION

REVISIONS	1	2	3	4	5	6	7

SCALE: 1/4" = 1'-0"
 DATE DRAWN: 09/02/15

SHEET NUMBER 2.0

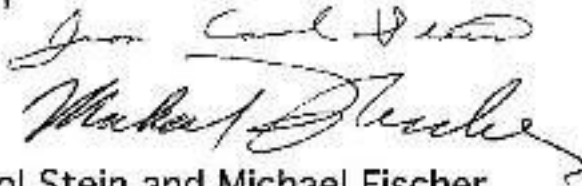


November 1, 2016

To Whom It May Concern:

Whetstone Academy, LLC is leasing the property located at 186 Brian's Lake Road in Mountain Rest, South Carolina from us. Whetstone Academy has my permission to place the appropriate number of temporary modular units on the property to meet the needs of their students.

Sincerely,

Handwritten signatures of Jean Carol Stein and Michael Fischer. The signature of Jean Carol Stein is on top, and the signature of Michael Fischer is below it.

Jean Carol Stein and Michael Fischer

Red – Storage
Yellow – Learning cottages
Green- Office

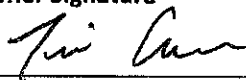
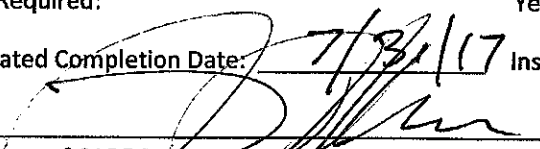
Property Line is 209 feet from this dashed line.

Property line is 460' from the side of this building.



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CARE Major Renovations Permit Application

Unit / Lot 001139	Date 11/5/17 11/12/16	CARE Permit # 64-16
Owner Name TRAVIS CHAPMAN	Owner Signature 	Owner Phone # 864-723-2637
Keowee Key Address 9 TOPSAIL Lane	Mailing Address (if different) 527 CHAMBERS Mtn. Rd. WAIMANA SC 29691	Owner E-mail
Contractor Name TRAVIS CHAPMAN	Contractor E-mail TOPQUALITYCONSTRUCTION1@YAHOO.COM	Contractor Phone # 864-723-2637
Submit a current survey showing the location of the Dwelling with the proposed renovation and applicable setback lines. If you do not have a survey one may be required. Owner must know their property boundary.		
Description: BUILD A NEW DRIVEWAY CARPORT & MAIN ENTRY WAY TO HOME. INCLUDES A SHORT DRIVEWAY & NEW SIDE WALK TO THE ROAD. (19'0" x 16'6")		
Exterior Colors and Material All TO MATCH EXISTING Structure		
Siding: T1-11	Trim: ROUGH SAWN PINE	
Decks: STANDARD TREATED	Railings: STANDARD PICKETS	
Gutters/Downspouts: 5" ALUMINUM	Roofing: ARCHITECT SHINGLE	
To be completed by CARE below this line. Garage door color - Black		
CARE Reviewer: Juan Carlos LANTOYA	Approved: <input checked="" type="checkbox"/>	Rejected: <input type="checkbox"/>
Comments: WU ORDER AN AS-BUILT SURVEY AT COMPLETION. ALSO OWNER A GARAGE TO BE RESPONSIBLE FOR ANY DAMAGE TO THE DRIVEWAY CAUSED BY WU'S MAINTENANCE OF THE SEWER LINE.		
Increase of Foundation more than 25%:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	LINE.
Increase of Heated Square Footage more than 15%:	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Extensive Site Renovations:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Fees Required:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Estimated Completion Date: 7/31/17	Inspection Required: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Signature of CARE Reviewer 	Dated 1/17/17	
Name of CARE Member Approval (Required if Reviewer is not a CARE Member) John M. Lamer	Date 1/18/2017	

Fees Paid by owner/builder
 \$ 100 variance fee
 \$ 125 review fee
 \$ 250 Road use fee
 \$ 2500 Deposit



Keowee Key Property Owners' Association, Inc.

January 17, 2017

001139
Travis Chapman
527 Chalmers Mountain Road
Walhalla, SC 29691

RE: Unit 001 Lot 139 – Variance Request at 9 Topsail Lane

At its meeting on January 4, 2017, the Committee for Architectural Review and the Environment (CARE) approved your variance. The variance may encroach up to 10.00' into the front 30' setback along the chord N69°36'25"E for proposed addition and overhangs, as submitted on survey, dated December 7, 2016, revised January 6, 2017.

NOTE: This variance includes a grandfathered variance for the house that was built in 1985 that encroached 3.83' into the front 30' setback along the chord N69°36'25"E for the house and overhangs.

Having been granted a variance, you, the owner, are responsible **upon completion of your project to notify the Oconee County Courthouse of this variance.** Failure to do so could result in problems when or if you choose to sell this property.

To support you in this effort, the CARE requires that a **final "as built" survey be prepared by a Registered South Carolina Surveyor** that:

- Shows the building setbacks (including alternative 25 foot and 25% rear setbacks (prescribed in the covenants for the lot);
- Complete footprint of building including foundations, roof overhangs, porches, patios and decks, outside stairways, driveways, turnarounds, sidewalks, parking areas and retaining walls;
- Show dimensions from point of structure (roof, overhangs, decks, etc.) to each setback line;

After you receive this "As Built" survey, CARE will prepare a Notarized Letter of Variance, which you should deliver to the Oconee County Courthouse with the "As Built" survey.

If you have any questions, please contact the CARE Office (864) 944-1267.

Sincerely,

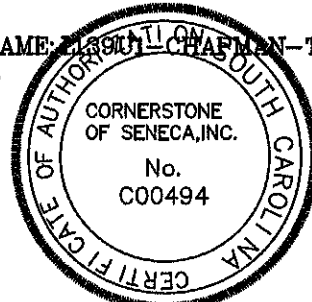
A handwritten signature in black ink, appearing to read 'Eddie McSwain', written in a cursive style.

Eddie McSwain
Chair of Committee for Architectural Review and the Environment

cc: E-mail (McSwain – CARE Chair, Turner – NCS, KKPOA Board Liaison, Collins – KKUS, and Hartford - Construction Manager, Master File)

PLAT # B-11645
 DISK # C:\DWG_1_2016 NAME: CLASS B CHAPMAN-TRAVIS
 FB # FNA PG 12072016

SPC SC GRID NORTH



EXEMPTION FROM REVIEW PROCESS
 The survey shown hereon is a RESURVEY of an existing lot of record as recorded in Plat Book P-34 page 129.

TAX MAP PARCEL #: 111-04-02-013
 DESCRIPTION: THIS IS THE PROPERTY DESCRIBED IN DEED BOOK 2226 PAGE 294 AND KNOWN AS LOT 139 UNIT 1 KEOWEE KEY SUBDIVISION

REFERENCE PLAT BOOK P-34 PAGE 129. RECORDED IN THE COUNTY RECORDS OF OCONEE.

STATE OF SOUTH CAROLINA
 COUNTY OF OCONEE,
 TOWNSHIP OF KEOWEE
 CITY OF

AREA OF PARCEL : 0.42 ACRES +-

DATE : DECEMBER 7, 2016
 REVISED ON :

PLAT PREPARED FOR:

TRAVIS CHAPMAN

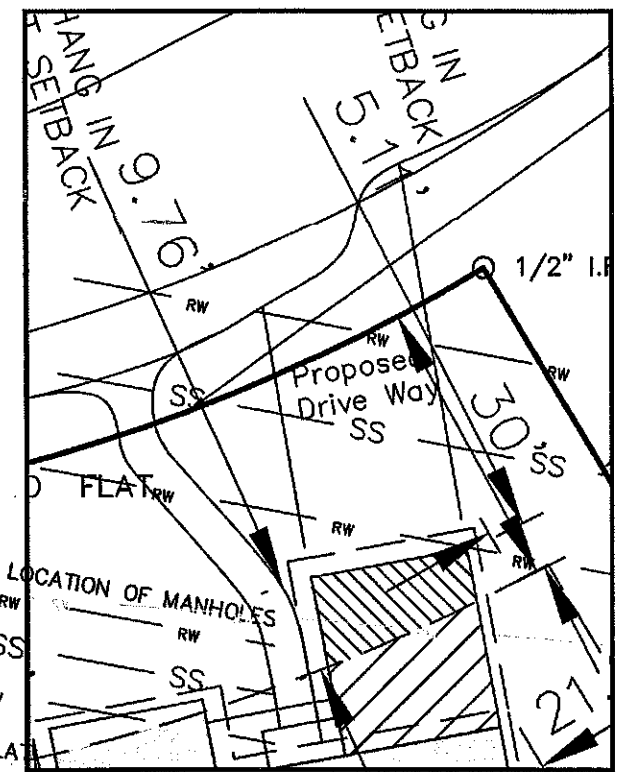
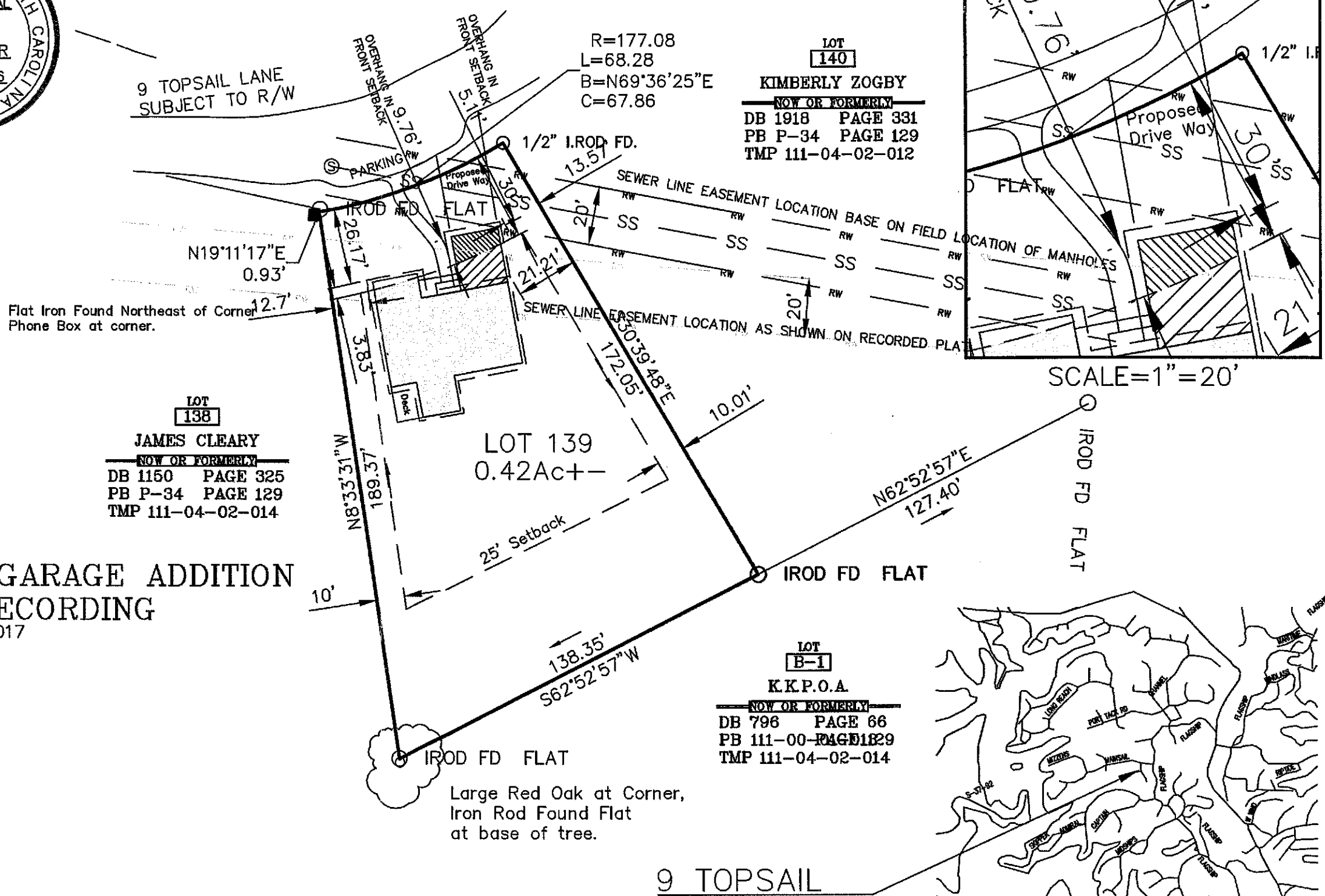
**PROPOSED GARAGE ADDITION
 NOT FOR RECORDING**

REVISED 1-6-2017

CORNERSTONE OF SENECA, INC.
 800 WHITWORTH CIRCLE
 P.O. BOX 822
 SENECA, SC 29679
 PHONE: 864/882-6476

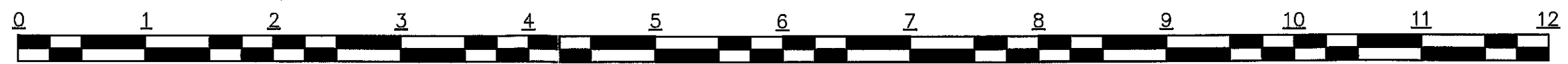
© Copyright 2016 Cornerstone of Seneca, Inc. All rights RESERVED.
 MICHAEL L. HENDERSON, PS 6946

SCALE: 1=40'



Recorded this _____ day of _____ 20____
 Vol _____ page _____ and Certified Register of Deeds, OCONEE County.

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS B SURVEY AS SPECIFIED THEREIN. PROPERTY SUBJECT TO ANY AND ALL EASEMENTS ON RECORD. THIS DOCUMENT DOES NOT TRANSFER TITLE NOR NECESSARILY FOLLOWS TITLE LINES.
 This survey was prepared with documents gathered from various sources, but no title examination was furnished by an attorney. This survey is made subject to a current and complete title examination and is subject to any and all records either recorded or unrecorded that may affect this property. These may include: easements, right-of-ways, above and below ground utilities, covenants and restrictions, and any other right or agreement that may be attached to this property. Any reproduction of this document that does not have a "raised" impression SEAL and red ink signature should be considered altered or fraudulent and not to be used for any purpose. This document was prepared for legal transactions on or near the date hereon and for the above list person, persons, or identity only. No other use implied.
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OCCONEE COUNTY COMMUNITY DEVELOPMENT

Planning & Zoning | Permitting | Codes | Addressing

115 South Pine Street, Wallula, SC 29691 | DL: (864) 718-1005 (Codes) - (864) 638-4211 (Planning & Zoning) | FAX: (864) 638-4168

BUILDING PERMIT APPLICATION

ALL Applicable Information must be Filled Out Before Application will be Accepted

Section 1: Applicant Information (Individual Filing Out App)

Applicant Company: _____
 Applicant Name: TRAVIS CHAPMAN
 Relationship to Project: OWNER
 Applicant Mailing Address: 517 CHALMERS HWY RD
 City: WALLULA State: SC Zip Code: _____
 Office/Work #: _____ Mobile #: 723-2637
 Fax #: _____ Email: _____

Section 2: Contractor Information (Responsible for Work)

Contractor Company: _____
 Contractor Name: TRAVIS CHAPMAN
 General Contractor Mfg Housing Residential Specialty
 Residential Builder Owner-Builder Other
 SC License #: 21259 Exp. Date: _____
 Company Mailing Address: SAME AS ABOVE
 City: _____ State: _____ Zip Code: _____
 Office/Work #: _____ Mobile #: 723-2637
 Fax #: _____ Email: TRAVIS@YANCO.COM
 Superintendent: _____
 Number Inspector Should Use for Contact Prior to Inspection: _____
 *Positive ID Required Before Permitting

Section 3: Property Information (Tell Us About the Property)

Project Address: 9 Top Gun
 City: WALLULA State: SC Zip Code: 29691
 Zoning District: _____ Cats Code: _____
 Tax Map Sequence #: _____ Subdivision: KEOWEE KEY
 Property Owner Name: TRAVIS CHAPMAN
 Property Owner Address: 517 CHALMERS HWY RD
 City: WALLULA State: SC Zip Code: 29691
 Office/Work #: _____ Mobile #: 723-2637
 Email: _____

Section 4: Project Information (Tell Us About the Project)

Project Description: CARPORT + SIMAN PORCH
 Total Value of Completed Project: \$ 7500.00
 Is this Project for an Oconee Based Nonprofit Charity? Yes No
 If Yes, Provide DCR #: _____

Check ALL Information that Applies:

<input checked="" type="checkbox"/> Single Family Dwelling	<input checked="" type="checkbox"/> Exterior Deck	<input type="checkbox"/> Sprinkler Install
<input type="checkbox"/> Multi-Family Dwelling	<input type="checkbox"/> Commercial Pool	<input type="checkbox"/> Electrical
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Condition	<input type="checkbox"/> Mechanical
<input type="checkbox"/> Duplex	<input type="checkbox"/> Deck Only	<input type="checkbox"/> Painting
<input type="checkbox"/> Addition	<input type="checkbox"/> HUD Mobile Home	
<input type="checkbox"/> Remodel	<input type="checkbox"/> Park Model RV	
<input type="checkbox"/> Storage Building	<input type="checkbox"/> Camper/Recreational Vehicle	
<input type="checkbox"/> Detached Garage	<input type="checkbox"/> New Commercial Structure	
<input checked="" type="checkbox"/> Other → CARPORT ATTACHED @ YANCO.COM		

Does this project involve the use of any alternative materials, design, or methods of construction not prescribed in code? Yes No

Is this project within five (5) feet of a property line? Yes No

Is this project located on a County Road? Yes No

Is this project sited? Yes No

Are the structures floors, walls, and roof framed using anything other than wood? Yes No

Does this project have foundation walls that exceed the unbalanced fill requirements of the code? Yes No

Is the tract of land restricted by any recorded covenant that is contrary to, or conflicts with, or prohibits the proposed activity? Yes No

111-04-02-013

Section 4: Project Information (continued)

Sewer or Septic Permit # []

Water Company []

Heat Source []

Electric Provider:

- Blue Ridge
- Duke Power
- Other, Please Specify []
- City of Westminster
- Seneca L&W

Construction Type (Commercial Only): []

Occupancy Type (Commercial Only): []

Gas Company:

- Natural Gas
- Propane

Number of Bedrooms [] Number of Bathrooms []

Number of Stories (Including Basement) []

Frame Type [] Foundation Type []

Roof Type [] Exterior Finish []

Including All Garages, Bonus Rooms, and the Basement, What is the Total Square Footage of the Structure Being Constructed?

BSM: Heated	[]	+ Un-heated	[]
1st Heated	[]	+ Un-heated	[]
2nd Heated	[]	+ Un-heated	[]
3rd Heated	[]	+ Un-heated	[]
Accessory Heated	[]	+ Un-heated	[]

(Includes Garages):

Porches Total [] Total Square Footage = []

Section 5: Mobile Home (Complete if applicable) (See 4)

Manufacturer [] Year []

Model [] Size []

Color [] Current Total Ft []

VIN Number (Serial Number) []

Previous Owner Name []

Previous Owner Phone Number []

Section 6: Detail Project (If Mobile Home)

Current Location

Tax Map Sequence # []

Seller's Name []

Phone Number [] Email []

Current Address of Mobile Home []

City [] State [] Zip Code []

Move to Location In County Out of County

Move to Location Tax Map Sequence # []

Move to Location Address []

Mailing Address []

City [] State [] Zip Code []

Buyer's Name []

Mailing Address []

Phone Number [] Email []

Official Use Only (Out of County)

Assessor Value [] Ratio % []

Section 7: Signature

NOTICE: The applicant is responsible for compliance with any applicable codes (Coker County Building Codes and Enforcement Division is responsible for enforcement of Coker County Ordinance 98-10). Value of completed project has a minimum cost index that is based on a valuation sheet provided by the International Code Council. If applicant's estimate is lower than the minimum cost index, the cost index will apply. If any of the information supplied by the owner and/or owner's agent is incorrect, the permit may be revoked. THIS PERMIT WILL BECOME INVALID WITHIN 180 DAYS FROM DATE OF ISSUE IF WORK HAD NOT COMMENCED. IF AN INSPECTION HAS NOT BEEN REQUESTED, OR IF WORK HAS BEEN SUSPENDED FOR A PERIOD OF 180 DAYS, THE BUILDING OFFICIAL IS AUTHORIZED TO GRANT EXTENSIONS OF TIME FOR PERIODS OF MORE THAN 180 DAYS EACH. THE EXTENSION SHALL BE GRANTED IN WRITING AND JUSTIFIABLE CAUSE DEMONSTRATED. I hereby certify that I have authority of the owner to make this application, that the information is complete and correct, and the construction and/or use will conform to the building code and other applicable laws and regulations which relate to the property.

Signature []

Printed Name []

Date []



9 TOPSAIL LANE
SUBJECT TO R/W

R=177.08
L=68.28
B=N69°36'25"E
C=67.86

LOT
141
KIMBERLY
NOW OR FORMERLY
DB 1918 I
PB P-34 I
TMP 111-04-

Flat Iron Found Northeast of Corner
Phone Box at corner.

LOT
138
JAMES CLEARY
NOW OR FORMERLY
DB 1150 PAGE 325
PB P-34 PAGE 129
TMP 111-04-02-014

LOT 139
0.42Ac+-

LOT
B-1
K.K.P.O.A.
NOW OR FORMERLY
DB 796 PAGE
PB 111-00-PAGE
TMP 111-04-02-

GARAGE ADDITION
RECORDING
2017

Large Red Oak at Corner,
Iron Rod Found Flat
at base of tree.

9 TOPSAIL

TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM SURVEYING ACT OR EXCEEDS THE REQUIREMENTS FOR A CLASS B SURVEY AS SPECIFIED THEREIN. PROPERTY SUBJECT TO ANY AND ALL EASEMENTS ON RECORD AND ANY OTHER INSTRUMENTS OF RECORD.
with documents gathered from various sources, but no title examination was furnished by an attorney. This survey is made subject to a current and correct plat that may affect this property. These may include: easements, right-of-ways, above and below ground utilities, covenants and restrictions, and any other instrument that does not have a "raised" impression SEAL and red ink signature should be considered altered or fraudulent and not to be used for any purpose above list person, persons, or identity only. No other use implied.
Seneca, Inc. All rights RESERVED.



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January 27th, 2017

Oconee County

Board of Zoning Appeals

415 S Pine St.

Walhalla, SC 29691

Re: Proposed Sign Variance @ 2050 Sandifer Blvd, Seneca, SC

Dear BZA Board,

I have been retained by Electric City Signs of Anderson, SC to assist in the submission for a variance to allow a double pole business sign for the AgPro Facility located at 2050 Sandifer Blvd. It is my understanding from County Planner Greg Gordos that our proposed sign would be classified as a "Billboard" under County Ordinance. That ordinance indicates that freestanding commercial sign areas greater than 75 Sq Ft would be considered a billboard sign. And with that classification, there must be 1300 feet of separation between billboards. The double stacked billboard positioned on this property is providing a limitation for placing the new proposed sign for AgPro. It is our hope to convince the Board to consider that the freestanding sign proposed for AgPro is more of an on premise business identification sign than a billboard and allow for it's placement on the property.

I have been involved in the sign industry for the last twelve years and have had very few dealings with billboards because they are typically classified differently than signs. In preparation for this submission for variance, I have done a bit of reading on the home website for LAMAR, which is the industry leader in billboard advertisement. According to Lamar, the standard billboard bulletin is 14' x 48' or 672 Sq Ft. There is a substantial size differential when comparing that amount of square footage to the 98.3 square foot sign proposed for AgPro. While there are other billboard sizes that may be smaller, it is important to point out that billboards are designed for a bit different purpose than an on premise sign. Billboards are found on high volume interstates and highways to advertise for businesses or attractions a significant distance from the specific billboard positioning. These advertisement spaces are rented out on a monthly or yearly basis to paying customers who want to reach massive numbers of travelers along the roadways. Many of the billboards in South Carolina advertise vacation rentals, eats and attractions in Myrtle Beach and Charleston. The owners of AgPro want to place their sign on the property where the business operates.

P.O. Box 362
SOPHIA, NC 27350

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The double stacked billboard has been present for decades and now presents a hardship to the business now occupying the property. AgPro is an operating business within Oconee County that is contributing tax funds as well as jobs for residents of Oconee County. The hardship that is created for street business identification is unique to this property and perhaps some others that are within proximity to a billboard. Most businesses in the county do not suffer from the burden of this specific ordinance regulation and it would not adversely affect those businesses to grant relief to AgPro for the sign to be installed. The neighboring nursery business has a double pole sign on premise to identify that business. This particular section of highway is divided and higher travelling speeds are permitted. Better visibility of the business locale at the street level would lend more time for motorists to plan maneuvers to turn into the store. The installation of the proposed sign would then also help to improve traffic safety in the area. The granting of this variance would be in keeping with the character of the area and help bolster a business that calls Oconee County home.

Thank you so much,

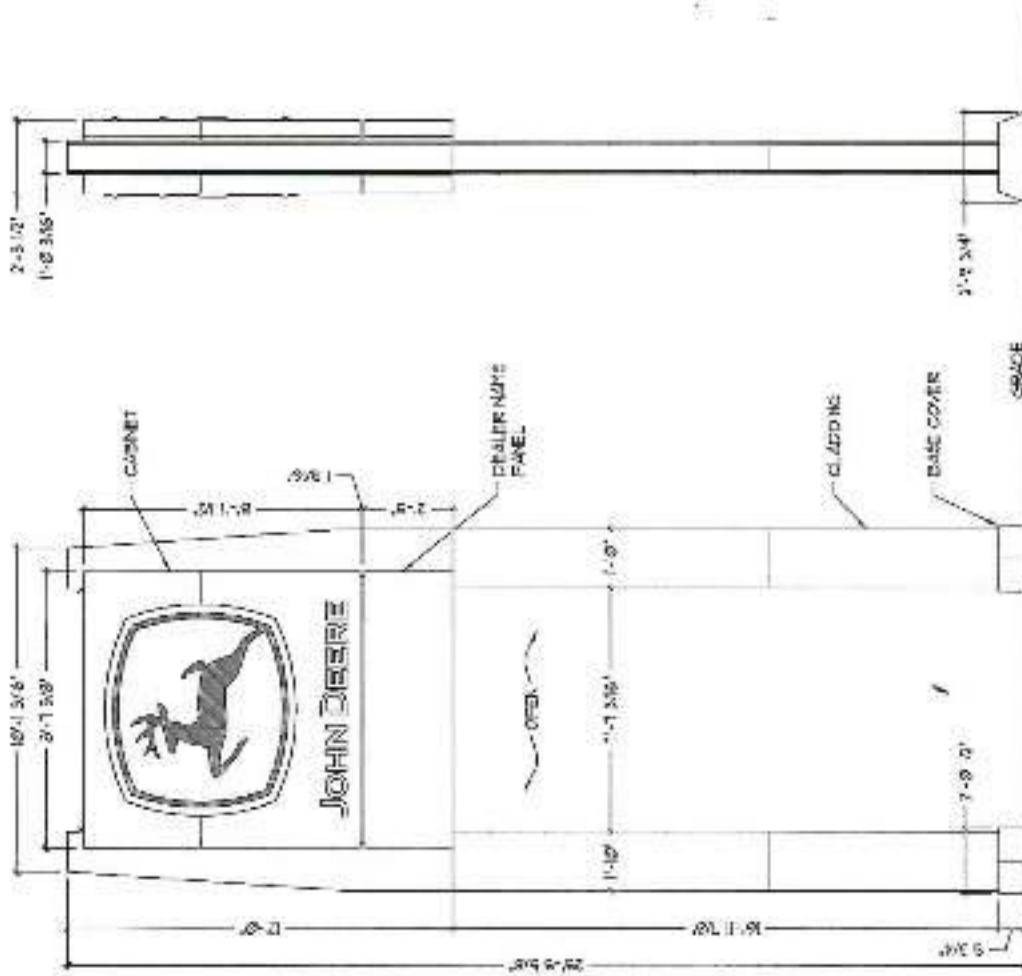
A handwritten signature in black ink, appearing to read "Heather S. English". The signature is fluid and cursive, with the first name being the most prominent.

Heather S. English

President

HSE Permit Solutions

OVER
TURN



ELEVATION

NOTES

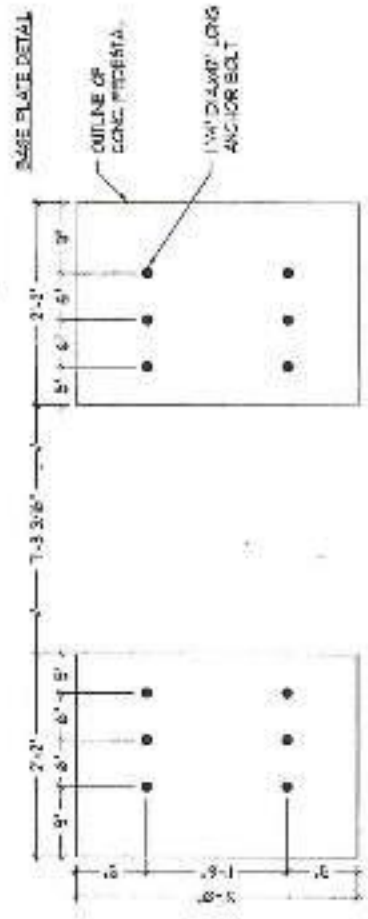
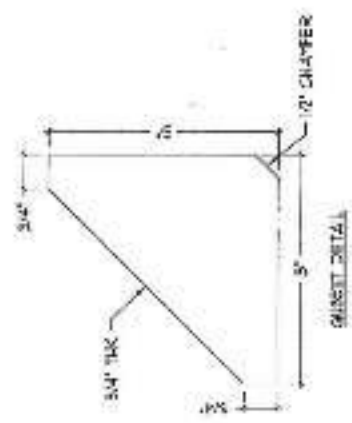
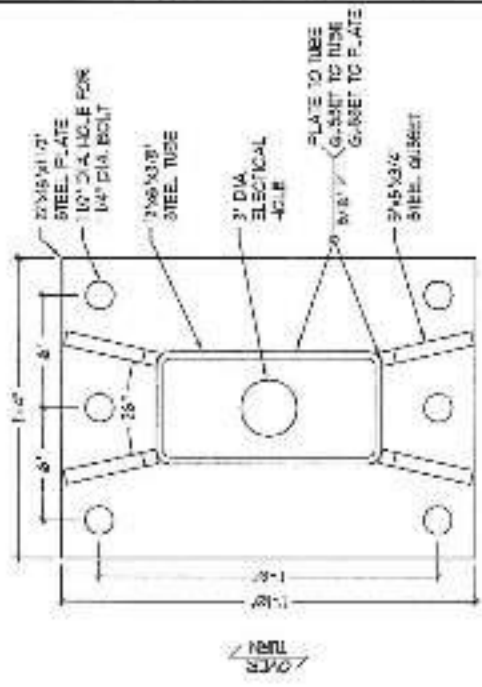
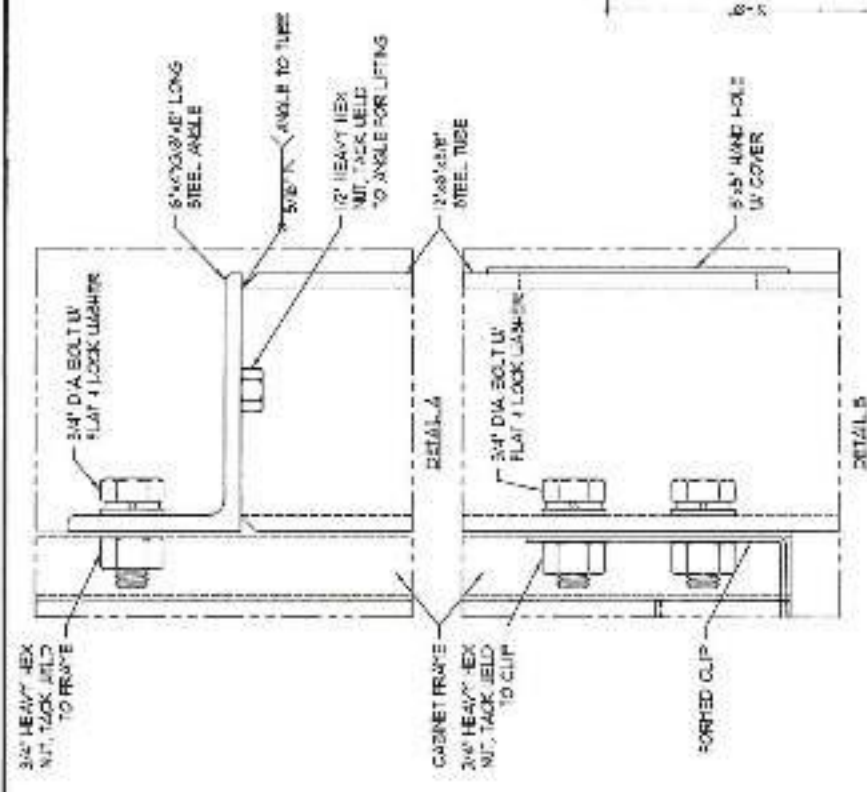
- Design is based on 100 mph 5 second gust design wind speed per BC 2606, Enclosure C.
- Spread foundation analysis is based on 4' x 4' vertical post bracing pressure within a 3000 psi cast-in-place concrete. All reinforcement is cast on a 2' x 16' board with bearing capacity of 3000 psf per foot of depth. Soil report, see not. Finished. All details starting pressure should be verified prior to placement of concrete. Do not place foundation in fill.
- Concrete shall be 4000 psi with a 28-day compressive strength of 3600 psi in 28 days.
- Support members shall be free from defects and shall meet ASTM A500 grade B with a minimum yield strength of 48000 psi for tubes, ASTM A53 grade B with a minimum yield strength of 36000 psi for plates. Flange and angle shall meet ASTM A36.
- Structural steel shall be zinc coated G305 unless otherwise noted.
- Anchor bolts shall be cut from 408 round stock. Exposed surfaces shall be galvanized or coated to prevent corrosion.
- Welds between column base plate and foundation surface shall be complete, fillet with high strength, non-removable.
- Welds shall be made with E70xx electrodes by persons qualified in accordance with AWS standards within the next ten years.
- Steel reinforcing bars shall conform to ASTM A63 grade 60 with conformations in accordance with ASTM A-365. Welding of reinforcing bars is prohibited.
- This design is preliminary and should not be used for any specific applications unless reviewed and deemed suitable for use at that site by a competent Professional Engineer.

ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE IN FEET AND INCHES. DIMENSIONS IN PARENTHESES ONLY. SEE ONLY APPROVED ARCHITECT DRAWING FOR PRODUCTION.

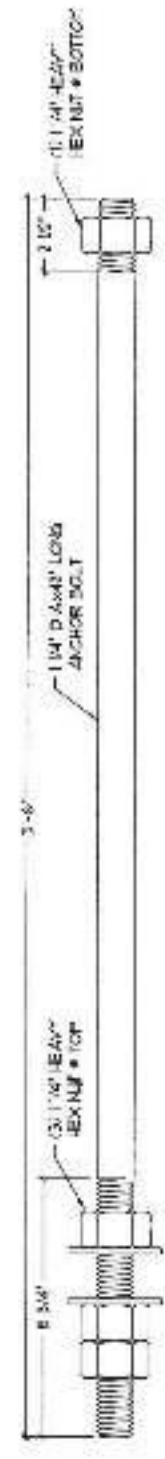
PROJECT NO.	25-0013
DRAWING NO.	EA-0018
DATE	5/26/05
BY	JEL
CHECKED BY	5/26/05
SCALE	AS SHOWN

THIS DRAWING AND SPECIFICATIONS ARE THE PROPERTY OF JOHN DEERE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JOHN DEERE. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES.





ANCHOR BOLT PLACEMENT DETAIL



ANCHOR BOLT DETAIL

JOHN DEERE

REVISION

REV.	DATE	BY	CHK.	DESCRIPTION
1	5/28/09	JBL		REVISED FOR PRODUCTION
2				

REVISION: LARGE 110" W/1.0K 36" GAH (RLL)

Items shown are not to scale. All dimensions are in inches unless otherwise specified. All dimensions are to be confirmed by the customer. All dimensions are to be confirmed by the customer. All dimensions are to be confirmed by the customer. All dimensions are to be confirmed by the customer.