

Red – Storage
Yellow – Learning cottages
Green- Office

Property Line is 209 feet from this dashed line.

Property line is 460' from the side of this building.





Section 32-178 Application requirements (for Special Exception)

- (1) A complete description of the name and purpose of the proposed facility;

Whetstone Academy is an Educational Boarding School and working farm for middle school age boys. We embody an experiential and project-based (hands-on) learning approach, which extends outside of the classroom.

With this teaching, learning, farming, and gardening style in mind, Whetstone wishes to utilize four temporary storage buildings as project/learning centers for the boys.

We have three other temporary storage buildings that will be used for the following: 1) office and file storage space, 2) feed, grain and tool storage and 3) bicycle, camping and hiking gear storage.

Thank you for your consideration as we strive to better serve this population of young boys.

- (2) A complete list of the names, addresses, and phone numbers of board members, owners and investors, as applicable;

Dr. John Singleton
505 South Lovingood Ave.
Walhalla, SC 29691
864-723-7384

Silent partner with no voice in company matters is not applicable.

- (3) A copy of a license or application for a license to the state department of social services to operate a group facility;

In a separate attached file is the most recent exemption letter from the South Carolina Department of Social Services.

The letter states, “...*Whetstone Academy is exempt from licensure...based on DSS Regulation 114-590. A. (7). ...Boarding Schools that do not operate year round or do not offer services beyond those associated with school programming are not encompassed within these regulations...Should you make changes to your program’s dates of operations, please contact the South Carolina Department of Social Services...*”

Attached in a separate document is our school calendar for the academic year 2016-2017.

Also attached in a separate document is a candidacy letter for school accreditation from AdvancED, a non-profit and non-partisan accrediting body that merged several regional accrediting bodies.

(4) State tax identification number or tax exemption certification;

38-3970070

(5) Two copies of a preliminary development plans and a sketch plan displaying the physical and relative layout of the facility as outlined by section 32-179.

Being provided by Zorn, Inc.

James Holcomb
Director of Operations and Human Resources
Whetstone Academy
186 Briars Lake Rd.
Mountain Rest, SC 29664
Phone: 864-638-6005
Fax: 864-638-6099



Section 32-179 Sketch plan and preliminary development plans (for Special Exception)

- (1) An accounting of total acreage in the tract and any proposed subdivision of parcels;

Attached sketch (1) provided (Hard copy turned into office)

- (2) Arrangement, shape, dimensions, and area of proposed development;

Aerial view provided; also sketch (1) and sketch C-101 (Hard copies turned into office)

- (3) Location of existing property lines, easements, road rights-of-way, buildings, or other public ways adjoining the tract to be developed;

Attached sketch (1) provided (Hard copy turned into office)

- (4) Alignment, right-of-way width, and clarification of proposed roads;

No new proposed roads; see attached sketch (1) provided for existing roads (Hard copy turned into office)

- (5) Topography by contour at intervals of not more than ten feet;

Sketch C-101 provided (Hard copy turned into office)

- (6) Map scale, north arrow, and date;

All map copies contain these requirements (Hard copies turned into office)

- (7) Name/address/telephone number of legal owner or agent and the professional (surveyor or engineer) who will undertake detailed layout and improvements design;

Zorn Company, PO Box 842, Seneca, SC 29679

- (8) Location of watercourses and land subject to flooding based on a 100-year frequency flood;

No flooding areas exist. There is a pond on the property that will not be affected in any manner from the proposed storage buildings.

- (9) The existing and proposed uses of land throughout the development;

The land is currently used as a **boy's boarding school and will** continue to be the same after approval of storage buildings. The storage buildings will be used for storage/office storage and learning/project space.

- (10) Proposed method of water supply and wastewater treatment and other utility services;

No water supply and wastewater treatments will be used in any of the storage buildings. Electricity will be used in each storage building.

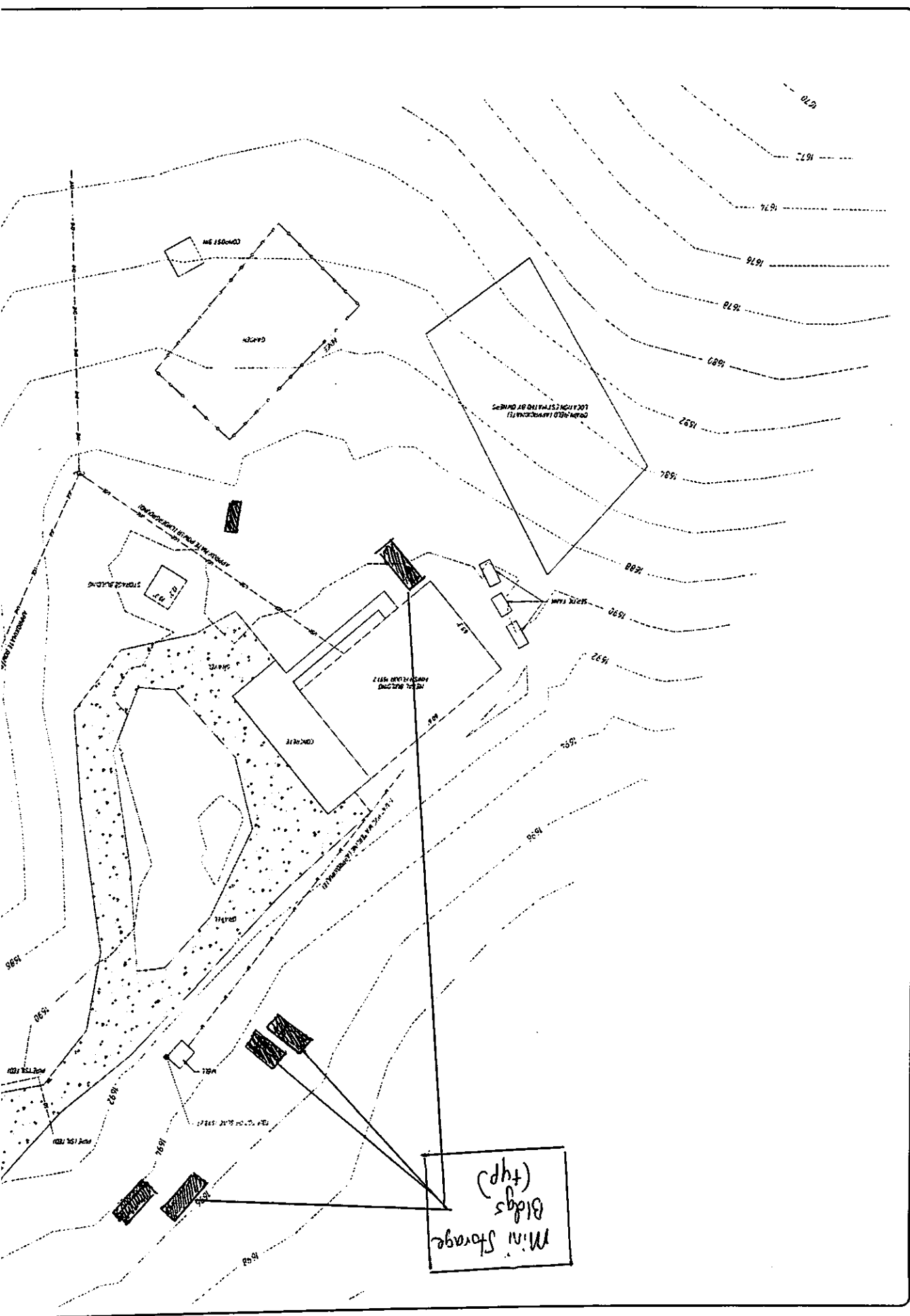
- (11) The proposed name of the development;

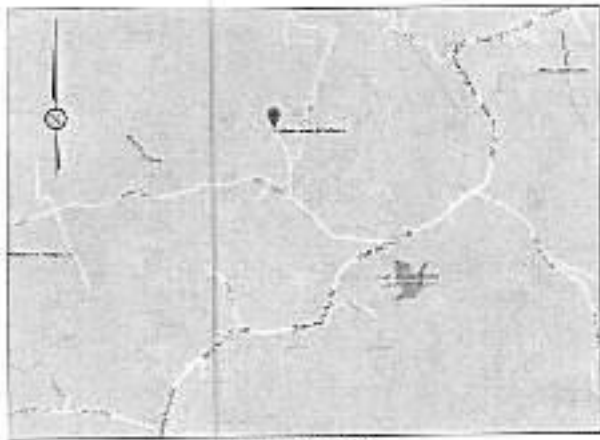
Currently and will continue to be Whetstone Academy.

- (12) The owner/developer shall submit a sketch plan of this entire tract even though the subdivider's present plans call for the actual development of only a part of the property.

Attached sketch (1) provided (Hard copy turned into office)

James Holcomb
Director of Operations and Human Resources
Whetstone Academy
186 Brians Lake Rd.
Mountain Rest, SC 29664
Phone: 864-638-6005
Fax: 864-638-6099





LOCATION MAP
1" = 1000'

LEGEND	
EXIST. DRAIN	—●—
EXIST. GATE VALVE	—H—
EXIST. FIRE HYDRANT	⊙
EXIST. POWER LINE	—
EXIST. SANITARY SEWER	—
EXIST. GAS	—
EXIST. WATERLINE	—
EXIST. STORM SEWER	—
EXIST. STORM MANHOLE	⊙
EXIST. FENCE	—

EXISTING CONDITIONS
PROVIDED BY:

STEPHEN R. EDWARDS & ASSOCIATES, INC.
1432 W. MAIN ST. - WEST UNION, S.C. - 29686
(864) 718-1120



Know what's below.
Call before you dig.



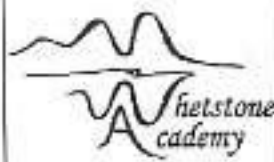
REVISIONS:			
NO.	DATE	DESCRIPTION	BY

NO.

CORPORATE SEAL



LAND PLANNING ASSOCIATES, INC.
110 WEST 1ST AVENUE - SUITE 4
EASLEY, SC 29643
864.242.8612 FAX 864.718.8214
edw@prk.net



WHETSTONE ACADEMY
OCONEE COUNTY, SC

PROPERTY INFORMATION:	
TAX MAP NUMBER:	98-08-31-C-12-P-0
REFERENCE D.D. & PG.:	08-182 P.0-141 P.0-337 P.0-3
ADDITIONAL INFO:	

ISSUE FOR CONSTRUCTION:	
PERMIT DATE:	
ISS DATE:	

DRAWN BY:	WVC
DESIGN BY:	WVC
CHECKED BY:	WVC
DATE:	02/11/14
SCALE:	AS SHOWN 1" = 20'
JOB NUMBER:	14-012

EXISTING CONDITIONS

C-101

OCONEE COUNTY
SOUTH CAROLINA

PROPERTY OF JEAN CAROL STEIN

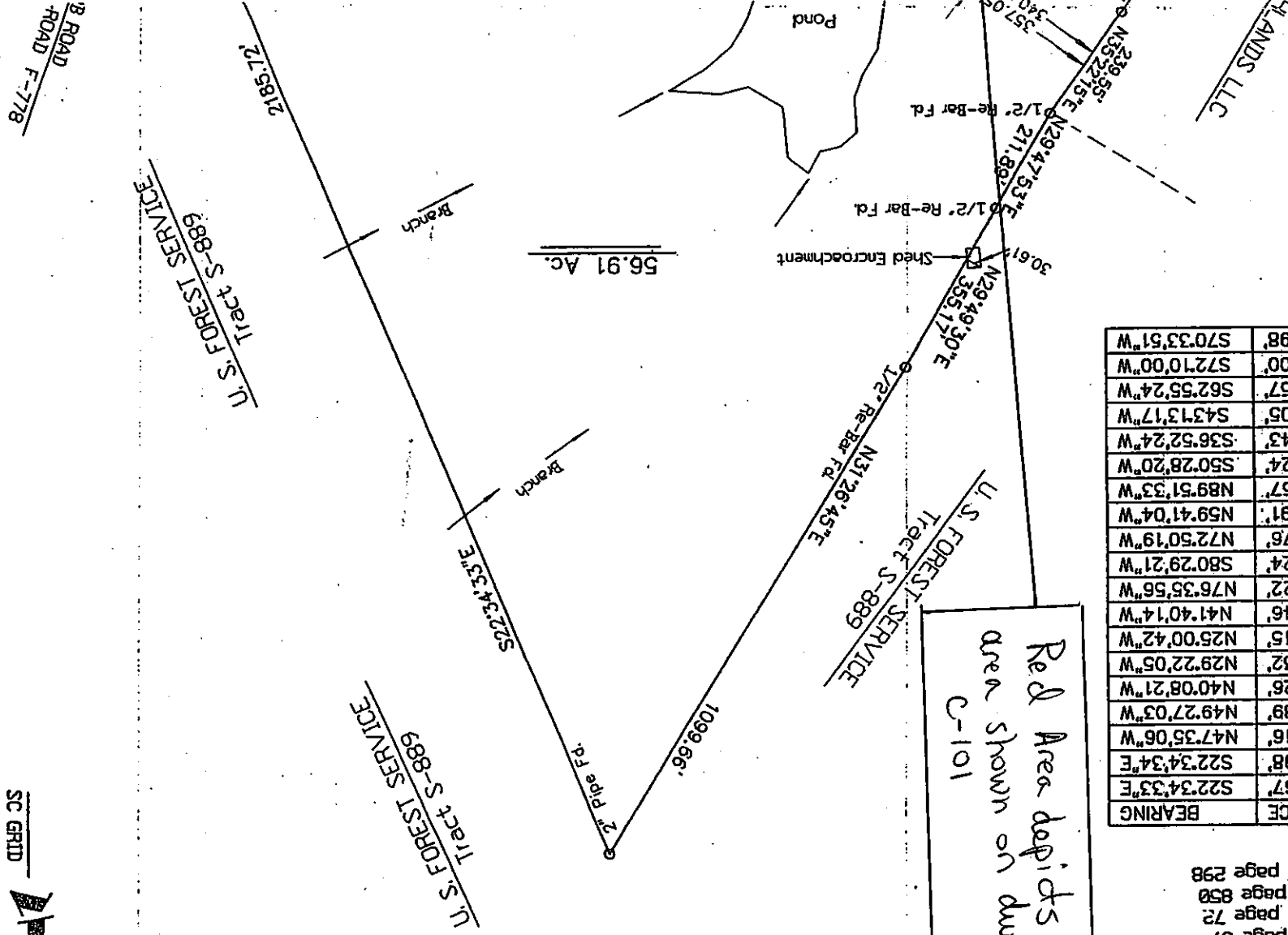
CHATTOGA TOWNSHIP---OCNEE COUNTY---SOUTH CAROLINA

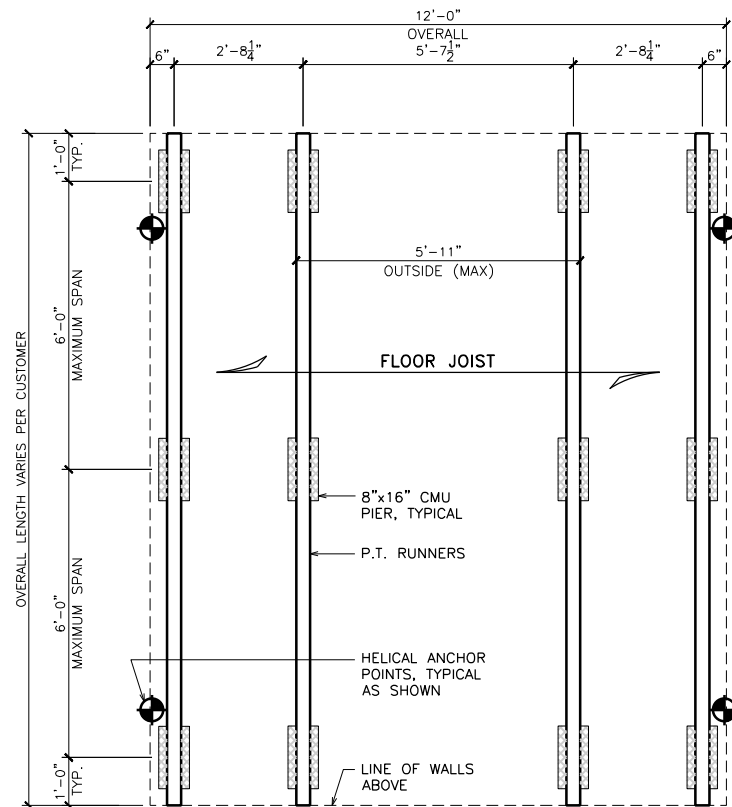
DATE: February 9, 2011
 TAX MAP #80-00-01-012, 018, 024 & 025
 File: STEIN, JEAN CAROL

References:
 Deep Book 1185 page 264
 Plat Book A763 page 07
 Deep Book 1417 page 72
 Plat Book P-60 page 850
 Deep Book 1097 page 298

NUM	DISTANCE	BEARING
L1	70.67'	S22°34'33"E
L2	24.98'	S22°34'34"E
L3	49.16'	N47°35'06"W
L4	113.89'	N49°27'03"W
L5	34.26'	N40°08'21"W
L6	65.32'	N29°22'05"W
L7	102.15'	N25°00'42"W
L8	38.46'	N41°40'14"W
L9	34.22'	N76°35'56"W
L10	84.24'	S80°29'21"W
L11	30.76'	N72°50'19"W
L12	50.91'	N59°41'04"W
L13	45.57'	N89°51'33"W
L14	38.24'	S50°28'20"W
L15	35.43'	S36°52'24"W
L16	53.05'	S43°13'17"W
L17	208.57'	S62°55'24"W
L18	58.00'	S72°10'00"W
L19	138.98'	S70°33'51"W

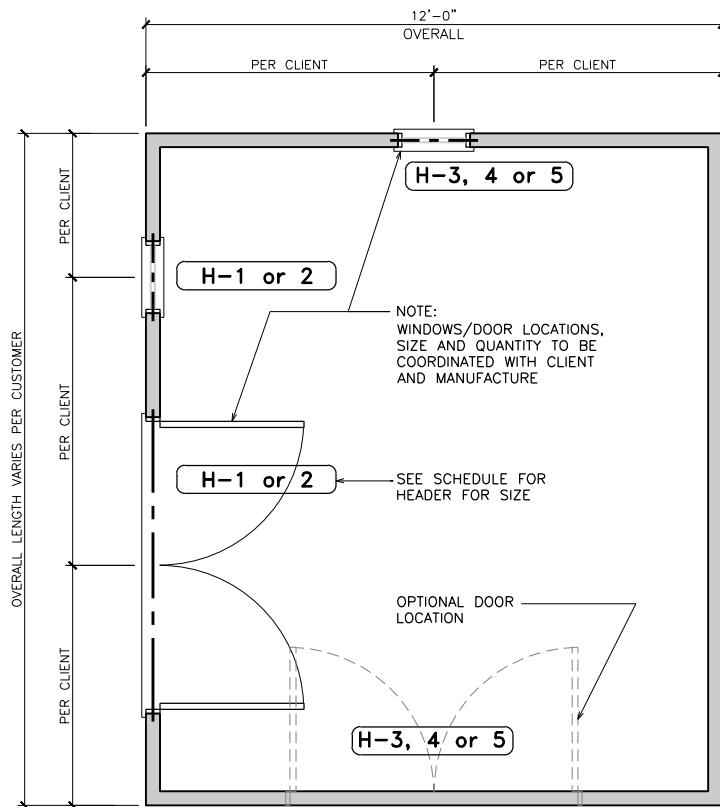
Red Area depicts
 area shown on dug
 C-101





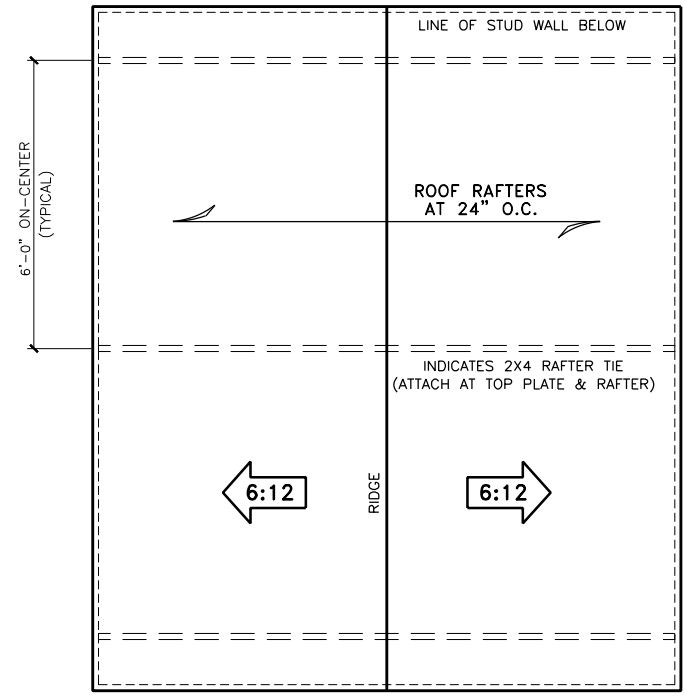
FOUNDATION LAYOUT

NOTES:
 THIS DESIGN MEETS INTERNATIONAL CODE COUNCIL REQUIREMENTS FOR 100 MPH WIND SPEED (MAXIMUM) AND SEISMIC ZONE D.



FLOOR PLAN

HEADER SCHEDULE (#2 SPF)			
SYM	OPENINGS	BEARING COND.	SIZE
H-1	0" TO 40"	YES	(2) 2X4
H-2	41" TO 76"	YES (NO LOFT)	(2) 2X6
H-3	0" TO 40"	NO	(2) 2X4
H-4	41" TO 76"	NO	(2) 2X4
H-5	77" TO 96"	NO	(2) 2X6



ROOF PLAN



THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF LIBERTY STORAGE SOLUTIONS, LLC. ALL RIGHTS RESERVED.
 © COPYRIGHT 2015

TYPICAL 12'-0" WIDE BUILDING PLAN

SHEET NAME:
 FOUNDATION FLOOR PLAN AND ROOF PLAN

REVISIONS
1
2
3
4
5
6
7

SCALE:
 1/4" = 1'-0"
 DATE DRAWN:
 09/02/15

SHEET NUMBER
 1.0



THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF LIBERTY STORAGE SOLUTIONS, LLC. ALL RIGHTS RESERVED.
 © COPYRIGHT 2015

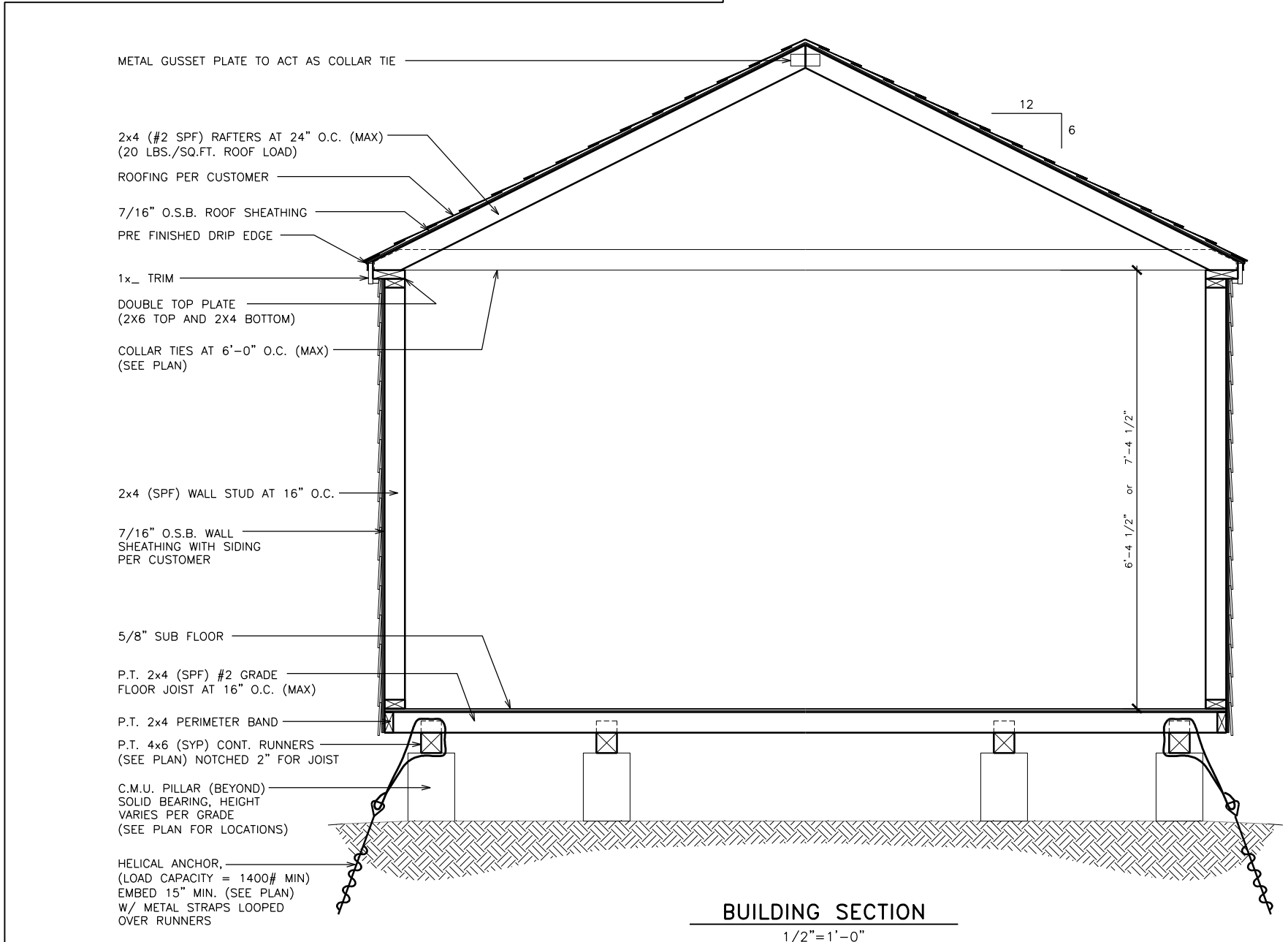
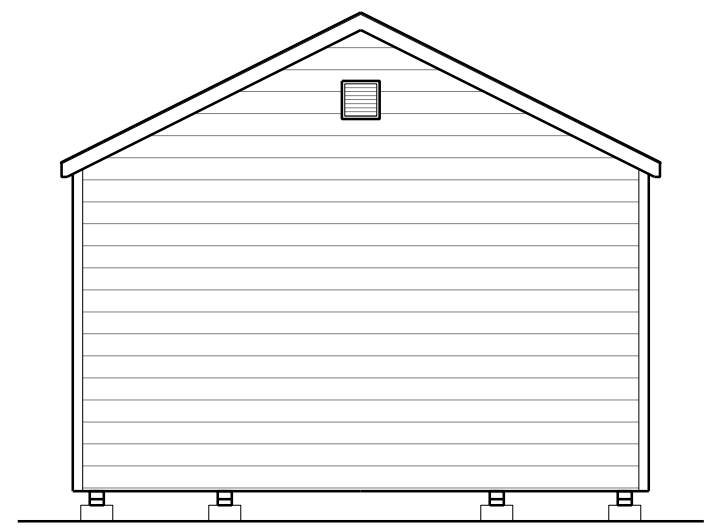
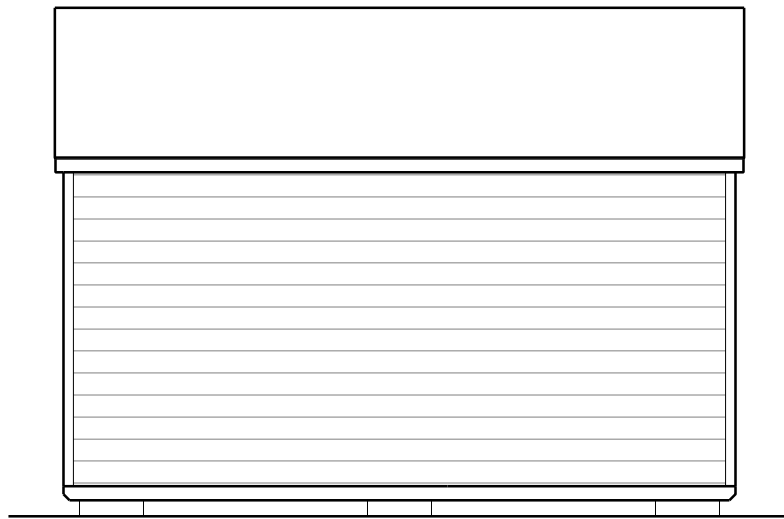
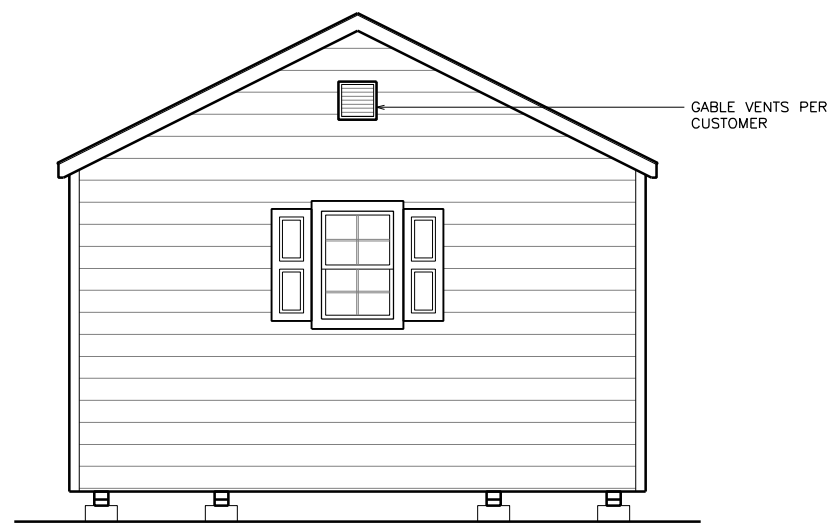
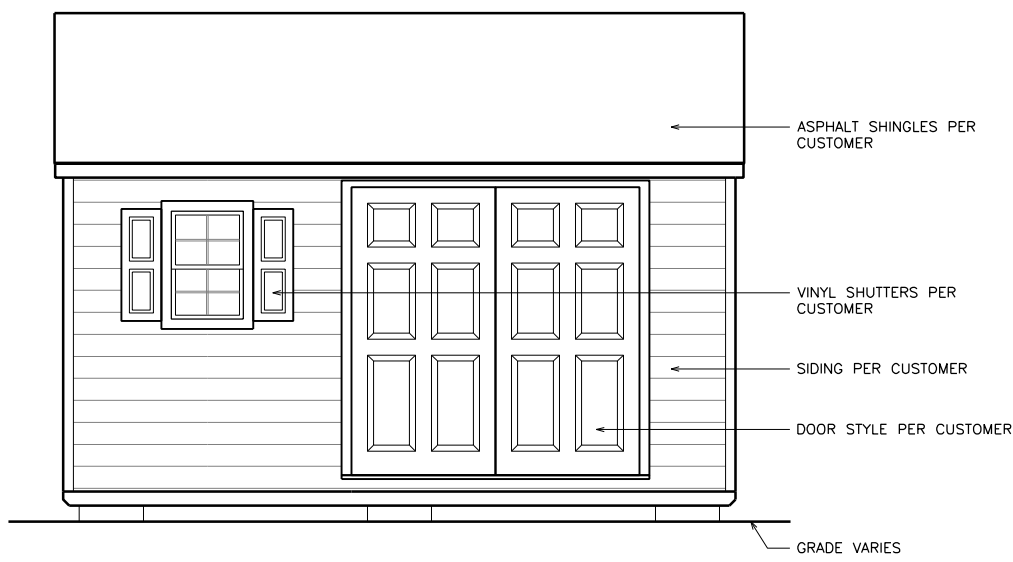
TYPICAL 12'-0" WIDE BUILDING PLAN

SHEET NAME: EXTERIOR ELEVATIONS AND BUILDING SECTION

REVISIONS	1	2	3	4	5	6	7

SCALE: 1/4" = 1'-0"
 DATE DRAWN: 09/02/15

SHEET NUMBER 2.0

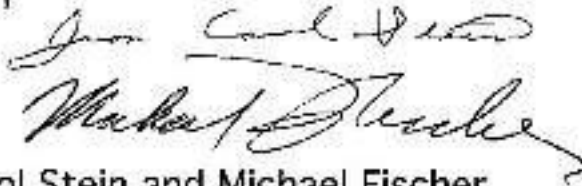


November 1, 2016

To Whom It May Concern:

Whetstone Academy, LLC is leasing the property located at 186 Brian's Lake Road in Mountain Rest, South Carolina from us. Whetstone Academy has my permission to place the appropriate number of temporary modular units on the property to meet the needs of their students.

Sincerely,

Handwritten signatures of Jean Carol Stein and Michael Fischer. The signature of Jean Carol Stein is on top, and the signature of Michael Fischer is below it.

Jean Carol Stein and Michael Fischer

Sharpe Manufacturing Inc.: Case for Variance Application

Situation:

Here at Sharpe Manufacturing Inc. we have decided that to grow our business we need to expand our facility. This expansion would include building an office as well as a shipping and receiving area that will also hold inventory. With the addition of an office we plan to demolish the existing office which will free up floor space for more CNC milling equipment. With the addition of a shipping and receiving structure we will move our current shipping and receiving area allowing for more floor space in which we plan to fill with additional CNC lathe equipment. The building plans that we have come up with show our proposed building going beyond the setback requirements stated in the Code of Ordinances Sec. 38-10-2 in two different spots. Because of this we are requesting a variance on each of these two areas which will be discussed in more detail in their corresponding section below.

Variance Request One:



The picture above shows where we would like to build our proposed office. We would like to come off of the current structure 32' (ft.) toward West Union Rd. and span the 100' (ft.) length of the existing structure. Coming off of the existing structure 32' (ft.) toward West Union Rd. would put our proposed building no more than 9.83' (ft.) over the setback line. This section, including the 9.83' (ft.), is shown in the attached document titled "Plat" and is highlighted in orange.

Variance Request 2:



The picture above shows where we would like to build our proposed Shipping and Receiving plus Inventory area. We would like to come off of the existing structure 20' (ft.) towards West Union Rd. and span the 42' (ft.) length of the existing structure. This addition would approximately take up the space where the silver Volkswagen, red Chevrolet, and green Jeep are parked in the picture above. This proposed plan would put the new structure over the setback line off Linhart Rd. by no more than 4.8' (ft.). This section, including the 4.8' (ft.), is shown in the attached document titled "Plat" and is highlighted in red.

Case:

There are many reasons that expanding Sharpe Manufacturing Inc. would be beneficial. With the expansion of our facility we would be able to obtain more equipment which would in turn allow our business to grow. More equipment would allow Sharpe Manufacturing Inc. to increase capacity which, in turn, would increase our sales amount. Having a larger facility not only helps Sharpe Manufacturing Inc. grow but we will then have the need to hire new employees (a projected 5 new hires).

