

Public Comment
August 25, 2015

First Name – Last Name / Variance or Special Exception

1. ~~William~~ Jim CODNER / VERIZON

2. _____ / _____

3. _____ / _____

4. _____ / _____

5. _____ / _____

6. _____ / _____

7. _____ / _____

8. _____ / _____

9. _____ / _____

10. _____ / _____

11. _____ / _____

13. _____ / _____

14. _____ / _____

15. _____ / _____

Matthew Anspach

From: Foxwood Hills Manager <foxwoodmgr@goodmanagement.com>
Sent: Tuesday, August 25, 2015 3:05 PM
To: Matthew Anspach
Cc: Josh Stephens; Will Brewer; Ryan Honea
Subject: RE: News Brief for Community Meetings/ Confirmation

Matthew,

I believe the hearing date for Michael Mefford is today. I'm not sure I ever sent an email to you regarding this issue and his request for a variance. I do want to confirm that Foxwood Hills Architectural Compliance Committee has approved the Mefford request. We encourage you to approve the variance needed for him to complete the work.

Please let me know if I can be of assistance.

I am still waiting on dates from Lisa to schedule our meeting with your team. We do look forward to the meeting but she has simply been swamped.

Regards,

Sandra Jones
General Manager, Foxwood Hills POA
864-647-9510

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From: Matthew Anspach [manspach@oconeesc.com]
Sent: Wednesday, August 12, 2015 2:28 PM
To: Foxwood Hills Manager
Cc: Josh Stephens; Will Brewer; Ryan Honea
Subject: News Brief for Community Meetings/ Confirmation

Sandra,

Nice talking to you earlier. Please see the attached brief for potential release to your community. Let me know what you think.

Also, please confirm if you will, that Oconee County will have permission to host a community meeting for the Comprehensive Plan at the Foxwood Hills Community Center on Thursday, September 10, at 6:00 p.m. until 7:30 p.m. We would likely need to arrive at least as early as 5:30 to do any necessary setup, also.

Lastly, we spoke on meeting at some point to improve overall communication, coordination, or general understanding regarding regulations, development, and just the general context of your community and others in the area, such as Chickasaw Point. Let me know what a good time and date would be for you and Lisa and we can get together. Let me know if you have any questions. Look forward to hearing from you. Thanks.

Sincerely,

Matthew Anspach
Planner I
Community Development
Oconee County, SC
TEL: (864) 364-5115
FAX: (864) 638-4168
manspach@oconeesc.com



OCONEE COUNTY COMMUNITY DEVELOPMENT

Planning & Zoning | Permitting | Codes | Addressing

Planning & Zoning Division

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OCONEE COUNTY COMMUNITY DEVELOPMENT
Planning & Zoning



Matthew D. Anspach
Planner I

415 South Pine Street
Walhalla, SC 29691
TEL: (864) 364-5115
FAX: (864) 638-4168
manspach@oconeesc.com



Board of Zoning Appeals

415 S. Pine St. • Walhalla, South Carolina 29691
Phone (864) 638-4218 • Fax (864) 638-4168

NOTICE OF APPEAL

Date: 7/16/2015

I, Michael Dean Mefford (owner) (agent of owner)

hereby request an appeal to the following action (be specific):

variance rear setback from 10' to 5'
variance front setback from 25' to 20'

Metal Carport with storage

Reason for appeal:

Applicant's Name: Michael Dean Mefford

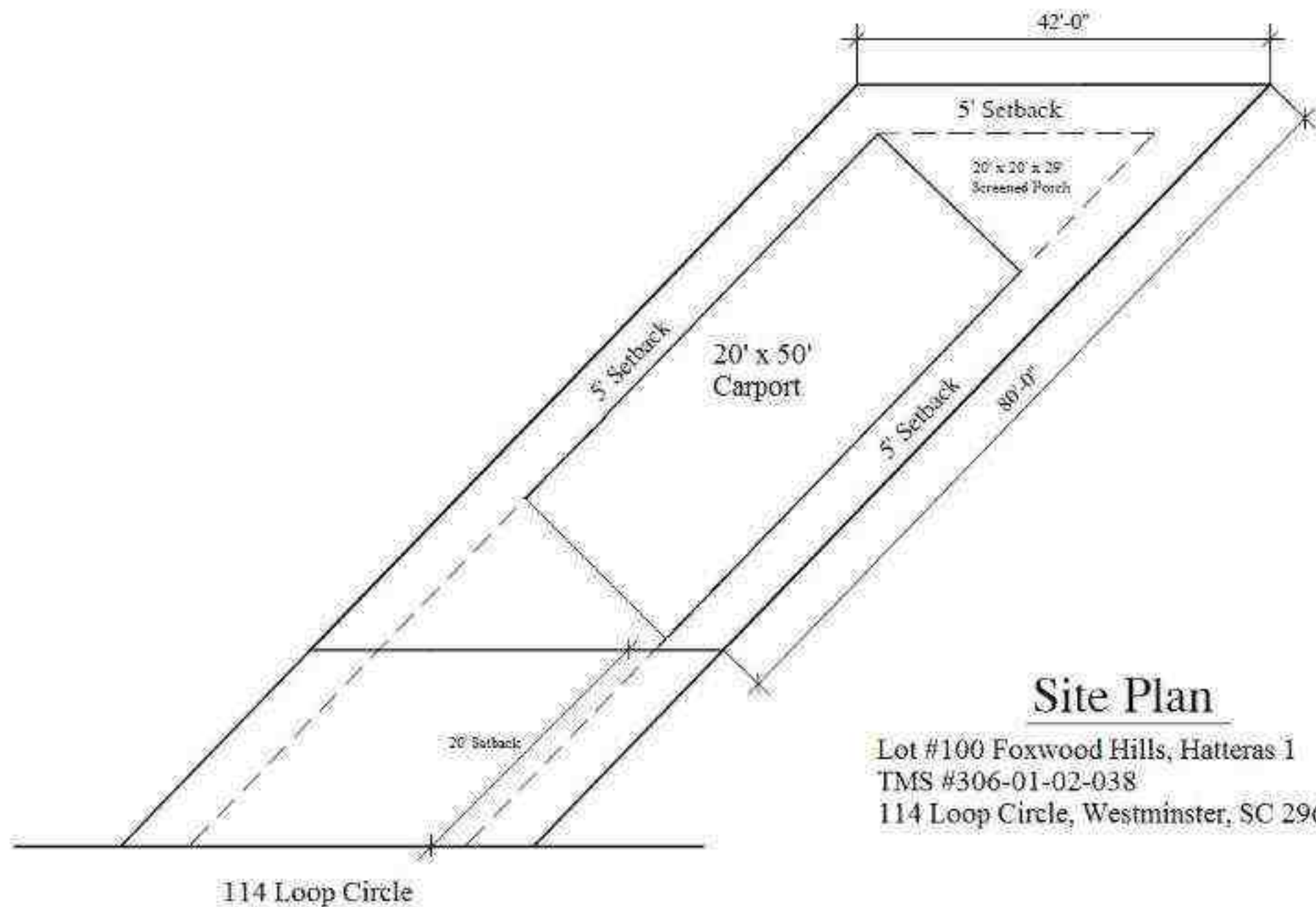
Address: 114 Loop Circle, Westminster, SC 29693

Mailing Address (if different):

Phone Number: 864-985-2362 Fax Number:

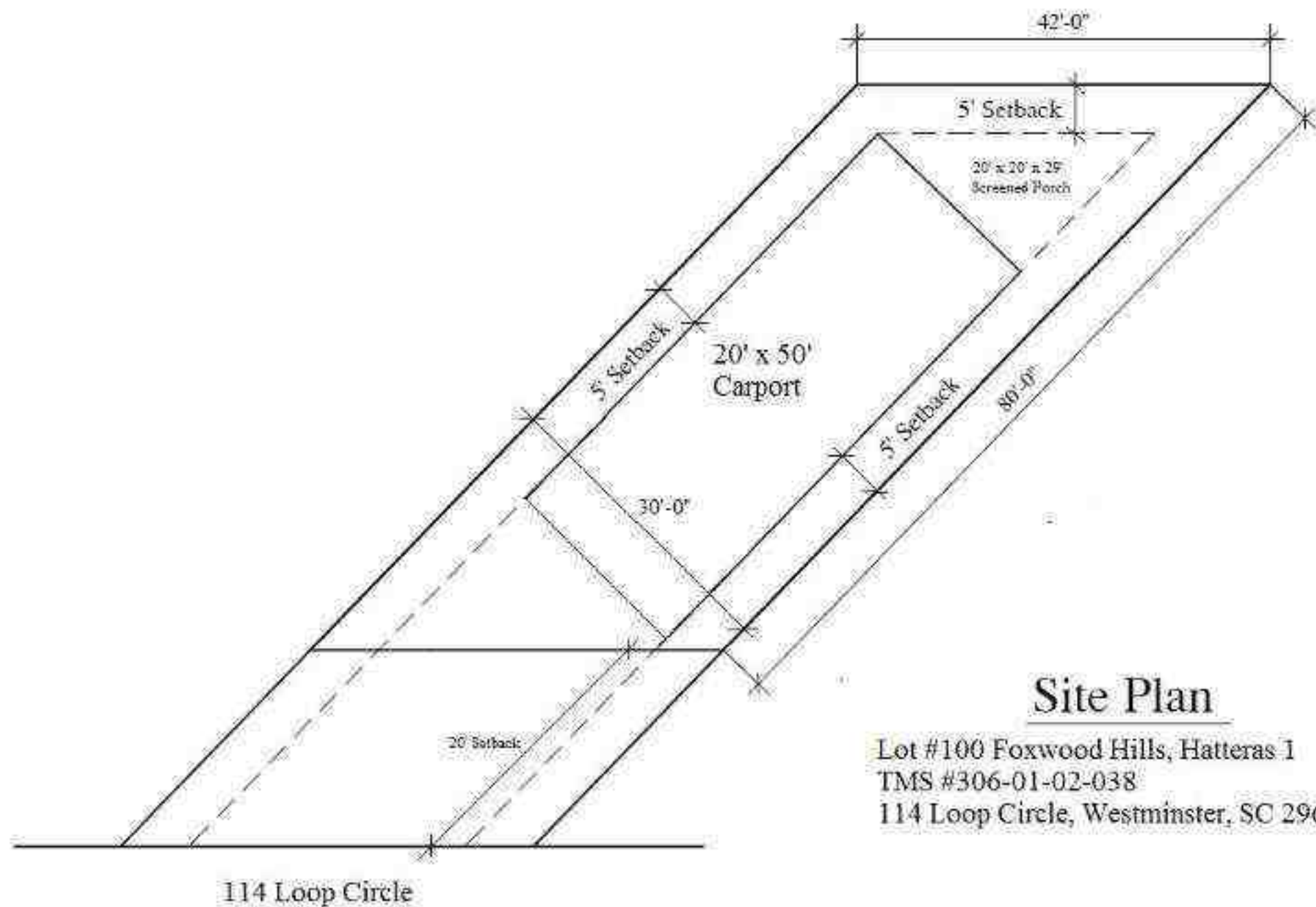
Signature: [Handwritten Signature]

Please be advised that an Appeals Application Fee of \$100 must be paid in full at the time the application is received by the Planning Department. Applicants shall be notified at the specified mailing address once a public hearing date is set.



Site Plan

Lot #100 Foxwood Hills, Hatteras 1
TMS #306-01-02-038
114 Loop Circle, Westminster, SC 29693



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THE JOURNAL

210 W. North 1st Street, Seneca, SC 29678
 Ph. 864.882.2375 Fax: 864.882.2381
 classadmgr@upstatetoday.com

THE JOURNAL online
UpstateToday.com

Classified Advertising Invoice

OCONEE COUNTY COMMUNITY DEVELOPM
415 S PINE ST
JOSH STEPHENS
WALHALLA, SC 29691

Acct#:63480
Ad#:14207
Phone#:864-364-5109
Date:08/07/2015

Salesperson: PVINSON

Classification: Legals

Ad Size: 1.0 x 2.000

Advertisement Information:

Description	Start	Stop	Ins.	Cost/Day	Total
The Journal	08/08/2015	08/08/2015	1	25.70	25.70
Affidavit Fee	-	-	-	-	5.00

Payment Information:

Date:	Order#	Type
08/07/2015	14207	BILLED ACCOUNT

Total Amount: 30.70

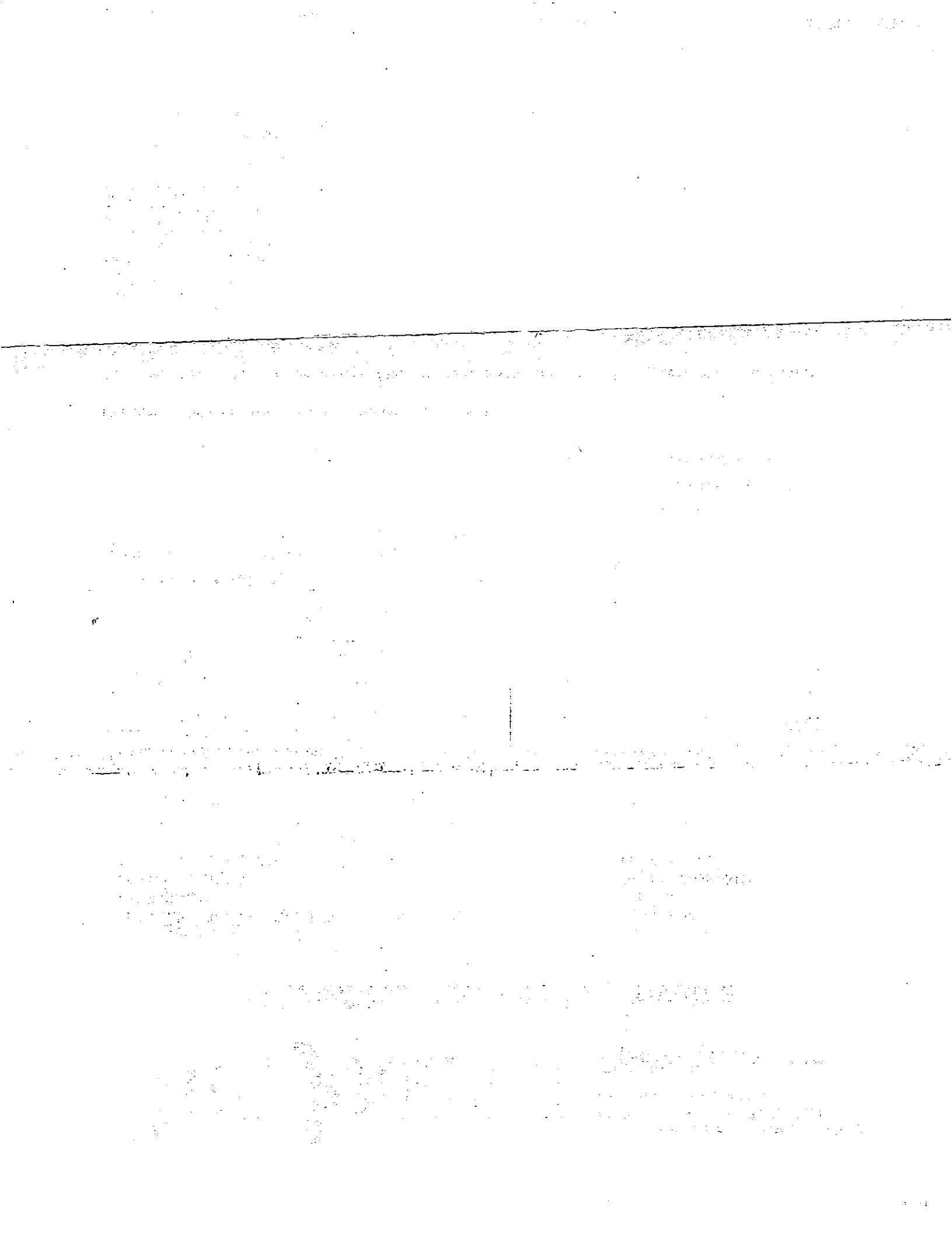
Amount Due: 30.70

Comments: Public Hearing - Various request by Michael Mefferd

Attention: Please return the top portion of this invoice with your payment including account and ad number.

Ad Copy

The Oconee County Board of Zoning Appeals will conduct a public hearing on Tuesday, August 25th, 2015 at 6:00 p.m. in the Council Chambers of the County Administrative Complex, 415 S. Pine Street, Walhalla, SC 29691. Michael Mefferd is requesting a Variance regarding setback standards contained within Chapter 28 of the Oconee County Code of Ordinances. The project is proposed to be located at 114 Loop Cir., Westminster, SC, 29693 (TMS# 306-01-02-038). If you would like additional information concerning this request please contact the Community Development Office at 864-638-4218.



PUBLISHER'S AFFIDAVIT

**STATE OF SOUTH CAROLINA
COUNTY OF OCONEE**

OCONEE COUNTY COMMUNITY DEVELOPM

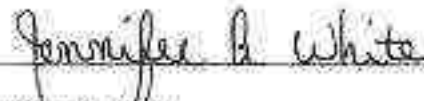
IN RE: Public Hearing - Various request by Michael Mofferd

BEFORE ME the undersigned, a Notary Public for the State and County above named, This day personally came before me, Hal Welch, who being first duly sworn according to law, says that he is the General Manager of **THE JOURNAL**, a newspaper published Tuesday through Saturday in Seneca, SC and distributed in Oconee County, Pickens County and the Pendleton area of Anderson County and the notice (of which the annexed is a true copy) was inserted in said papers on 08/08/2015 and the rate charged therefore is not in excess of the regular rates charged private individuals for similar insertions.



Hal Welch
General Manager

Subscribed and sworn to before me this
08/08/2015



Jennifer A. White
Notary Public
State of South Carolina
My Commission Expires July 1, 2024

**JENNIFER A WHITE
NOTARY PUBLIC
State of South Carolina
My Commission Expires July 1, 2024**



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THE JOURNAL

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THE JOURNAL ONLINE
UpstateToday.com

Classified Advertising Invoice

OCONEE COUNTY COMMUNITY DEVELOPM
415 S PINE ST
JOSH STEPHENS
WALHALLA, SC 29691

Acct#:63480
Ad#:14204
Phone#:864-364-5109
Date:08/07/2015

Salesperson: PVINSON

Classification: Legals

Ad Size: 1.0 x 2.000

Advertisement Information:

Description	Start	Stop	Ins.	Cost/Day	Total
The Journal	08/08/2015	08/08/2015	1	25.70	25.70
Affidavit Fee	-	-	-	-	5.00

Payment Information:

Date: 08/07/2015 **Order#** 14204 **Type** BILLED ACCOUNT

Total Amount: 30.70
Amount Due: 30.70

Comments: Public Hearing - Verizon meeting August 25

Attention: Please return the top portion of this invoice with your payment including account and ad number.

Ad Copy

The Oconee County Board of Zoning Appeals will conduct a public hearing on Tuesday, August 25th, 2015 at 6:00 p.m. in the Council Chambers of the County Administrative Complex, 415 S. Pine Street, Walhalla, SC 29691. The applicant, Faulk and Foster, for Verizon Wireless is requesting a Special Exception regarding a proposed communication tower to be located at 1642 Blue Ridge Blvd, Seneca, SC, 29672 (TMS# 207-00-02-008). If you would like additional information concerning this request please contact the Community Development Office at 864-638-4218.

PUBLISHER'S AFFIDAVIT

**STATE OF SOUTH CAROLINA
COUNTY OF OCONEE**

OCONEE COUNTY COMMUNITY DEVELOPM

IN RE: Public Hearing - Verizon meeting August 25

BEFORE ME the undersigned, a Notary Public for the State and County above named, This day personally came before me, Hal Welch, who being first duly sworn according to law, says that he is the General Manager of **THE JOURNAL**, a newspaper published Tuesday through Saturday in Seneca, SC and distributed in **Oconee County, Pickens County** and the Pendleton area of **Anderson County** and the notice (of which the annexed is a true copy) was inserted in said papers on 08/08/2015 and the rate charged therefore is not in excess of the regular rates charged private individuals for similar insertions.



Hal Welch
General Manager

Subscribed and sworn to before me this
08/08/2015


Jennifer A. White
Notary Public
State of South Carolina
My Commission Expires July 1, 2024

JENNIFER A WHITE
NOTARY PUBLIC
State of South Carolina
My Commission Expires July 1, 2024

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04 SUBARU BAJA 149k M. Just \$10,500!

LEGAL NOTICES

LEGALS

the person filing the protest; (2) the specific reasons why the application should be denied; (3) that the person protesting is willing to attend a hearing (if one is requested by the applicant); (4) that the person protesting resides in the same county where the proposed place of business is located or within five miles of the business; and (5) the name of the applicant and the address of the premises to be licensed. Protests must be mailed to: S.C. Department of Revenue, 88L SECTION, P.O. Box 125, Columbia, SC 29214-0907, or faxed to: (803)895-3110.

The Orange County Board of Zoning Appeals will conduct a public hearing on Tuesday, August 25th, 2015 at 6:00 p.m. at the Council Chambers of the County Administrative Complex, 415 S. Pine Street, Walhalla, SC 29991. Michael McLeod is requesting a Variance regarding setback standards contained within Chapter 20 of the Orange County Code of Ordinances. The project is proposed to be located at 114 Loop Ct., Westminster, SC 29689 (17MS4 207-01-02-008). If you would like additional information concerning this request please contact the Community Development Office at 864-633-4215.

The Orange County Board of Zoning Appeals will conduct a public hearing on Tuesday, August 25th, 2015 at 6:00 p.m. in the Council Chambers of the County Administrative Complex, 415 S. Pine Street, Walhalla, SC 29991. The applicant, Mark and Foster, for Vorden Wreath is requesting a Special Exception regarding a proposed enhancement tower to be located at 1842 B.R. Ridge Blvd, Seneca, SC, 29917 (17MS4 207-01-02-008). If you would like additional information concerning the request please contact the Community Development Office at 864-633-4215.



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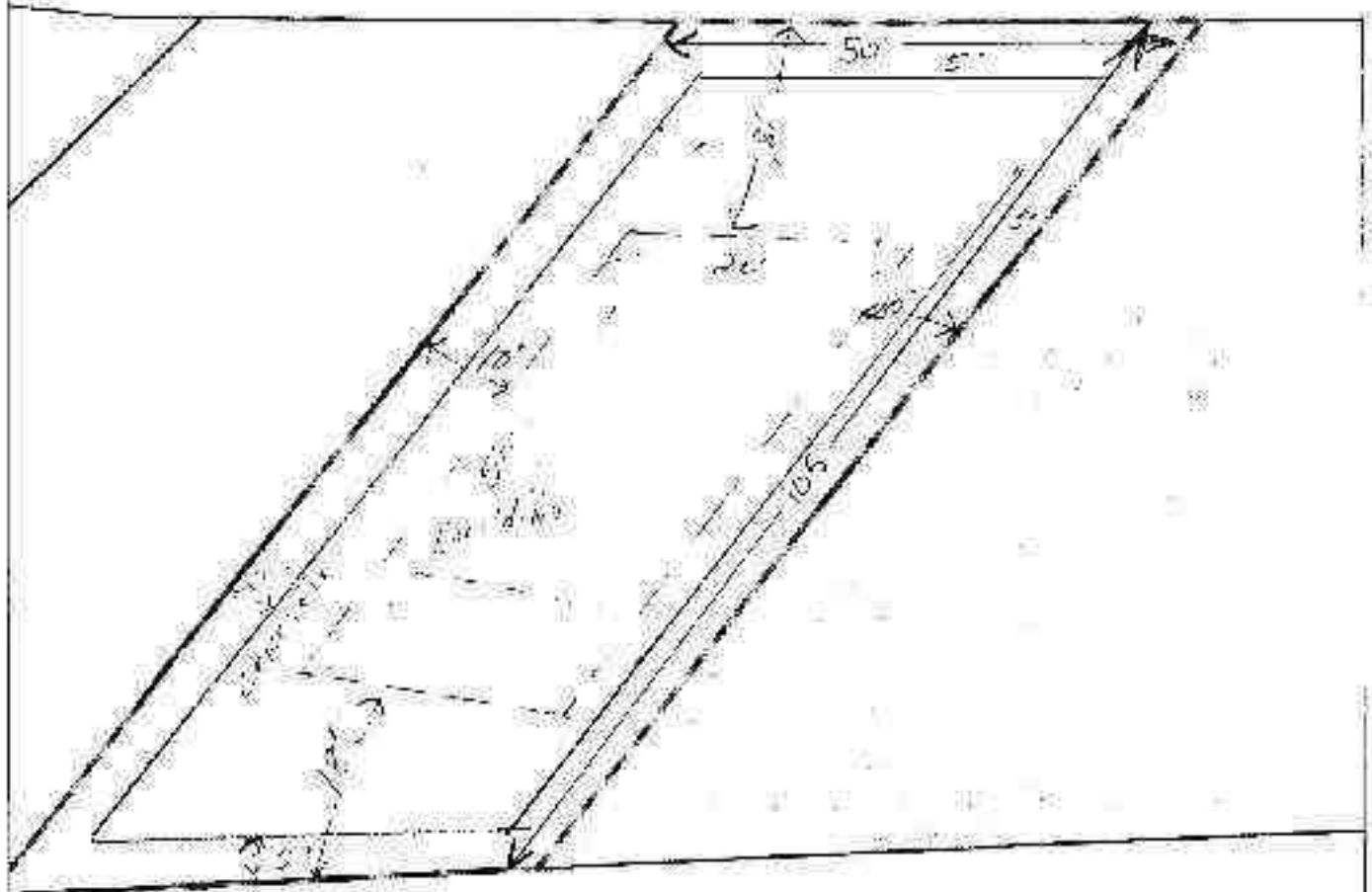
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Loop 105



- 2011 Parcel Sales
- 2012 Parcel Sales
- 2011 Parcel Sales
- 2012 Parcel Sales

0 50 100 150 200

Parcel: 306-01-02-028 Acres: 0.17

WESTERD MICHAEL D
1 1/4 LOOP C R
10500 or 1090-00457 Assessed On: 01
1 1/4 LOOP C R
WESTMINSTER, SC 29692

5000
0
0
5000



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Date printed: 07/03/18 11:13:25 AM



Board of Zoning Appeals

415 S. Pine St. • Walhalla, South Carolina 29691
Phone (864) 638-4218 • Fax (864) 638-4168

NOTICE OF APPEAL

Date: July 24, 2015

I, James L. LaPann, Faulk & Foster, for Verizon Wireless (owner) (agent of owner)

hereby request an appeal to the following action (be specific):

Special Exception to construct a Cellular Communications Tower

Reason for appeal: Special Exception is required for this use

Applicant's Name: Verizon Wireless, by Faulk & Foster Real Estate Inc., James L. LaPann

Address: 1707 Roxbury Drive, N, Wilson, N.C. 27893

Mailing Address (if different): Same

Phone Number: 518-991-3740 Fax Number: None

Signature:

Please be advised that an Appeals Application Fee of \$300 must be paid in full at the time the application is received by the Planning Department. Applicants shall be notified at the specified mailing address once a public hearing date is set.



Faulk & Foster

July 23, 2015

SENT VIA FEDERAL EXPRESS

Matthew Anspach, Planner
Oconee County Planning Commission
415 S. pine Street
Wallahalla, South Carolina 29691

Re: Cellular Tower Special Exception Request – Verizon
Proposed 104' Monopole at 1642 Blue Ridge Boulevard, Seneca, SC
(Verizon Site – **RICHLAND CREEK**)

Dear Mr. Anspach:

I enclose a check in the sum of \$100.00 for the Special Exception request that will be sent under separate cover.

If anything other or further is needed, please contact me at (518) 791-3740, or jim.lapann@faulkandfoster.com.

Very truly yours,

Jim LaPann
Zoning Specialist – Faulk & Foster



Faulk & Foster

July 24, 2015

SENT VIA FEDERAL EXPRESS

Matthew Anspach, Planner
Oconee County Planning Commission
415 S. pine Street
Wallahalla, South Carolina 29691

Re: Cellular Tower Special Exception Request – Verizon

- **Proposed 104' Monopole at 1642 Blue Ridge Boulevard, Seneca, SC**
- **(Verizon Site – RICHLAND CREEK)**

Dear Mr. Anspach:

I enclose an application for a Special Exception for the site set forth above.

The application contains:

1. Application for Land Use Permit
2. Ordinance Compliance Statement with attached exhibits:
 - A. Stamped Construction Drawings
 - B. Letter from Verizon Wireless regarding ordinance compliance
 - C. Radio Frequency Maps
 - D. Authorization signed by property owner
 - E. Photo Simulations
 - F. Stamped engineer letter
 - G. Indemnification Letter
3. Check made payable to Oconee County in the sum of \$6,000.00

I will be submitting proof of insurance under separate cover. If you have any questions, or if I can submit anything additional that will be supportive of our applications please let me know and I will comply promptly.

Very truly yours,

James L. LaPam
Zoning Specialist – Faulk & Foster
(518) 791-3740

Ordinance Compliance Statement

Re: Application for a Proposed Verizon Wireless communications tower

Applicant: Verizon Wireless by Faulk and Foster, on behalf of the property owner, Parkway Real Estate Holding Corporation SC LLC

Project Description: Verizon plans to construct a 95' monopole tower with a 9' lightning rod. Verizon will also place an 11'6" x 29' 5.5" equipment shelter within a fenced compound area at the tower base. Please see enclosed drawings and photos (Attached as Exhibit A), for details.

Verizon Site Name: RICHLAND CREEK

Location: 1642 Blue Ridge Boulevard, Seneca SC 29672

Parcel ID: 207-00-02-008

Property Owner: Parkway Real Estate Holding Corporation SC LLC

Verizon Wireless offers this Ordinance Compliance Statement in support of its application for a Special Exception for the above-referenced project. We have taken the liberty of recasting the relevant portions, our answers are in bold, and we have omitted sections not requiring an answer.

Sec. 32-134. General requirements.

(a)*Illumination.* Communication towers shall be illuminated only as required by the Federal Communication Commission (FCC) and/or the Federal Aviation Administration (FAA).

The proposed tower will not be required to be illuminated by the FCC or the FAA. The tower will be less than 200 ft. in height and there are no airports within 5 miles of the proposed location.

(b)*Color.* Communication towers shall only be painted with a gray, nonreflective paint unless otherwise required by state or federal regulations.

Verizon's proposed tower will be a galvanized steel finish that will appear gray and blend well with most sky conditions.

(d)*Removal.* A communication tower which use has been discontinued for a continuous period of one year, shall be removed within 120 days of the date of the end of such period. Companies must notify the county within 30 days if telecommunications cease operations at a tower or antenna. All structures, fencing, screening and other improvements must be removed, and the site must be returned to its original condition at the company's expense.

Verizon Wireless agrees to comply with this provision, please see attached letter, Exhibit B.

(h)*FCC license.* The owner of a communication tower shall possess a valid FCC license for the proposed activity, or at the discretion of the board, the owner shall provide other substantial documentation in lieu of FCC licensing proving to the board that the owner has a verifiable history of satisfactory communications tower construction and operation.

Verizon Wireless has authority granted by the FCC to transmit and a copy of the FCC license is annexed as Exhibit C.

(j)*Safety codes.* A communication tower shall comply with all applicable health, nuisance, noise, fire, building and safety code requirements.

Verizon Wireless agrees to comply with all applicable federal, state, and local laws and regulations.

(l)*Application of county land use regulations.* Land development regulations and other performance standards shall apply to the use, unless otherwise provided in this article.

Verizon's proposed site is in compliance with the applicable land development regulations.

Sec. 32-138. Application requirements.

The following information shall be submitted for all applications for approval of a communication tower:

(1) Specifications. Two copies of the specifications for proposed structures and antennae, including description of design characteristics and material.

Please see Exhibit A, attached

- (2) Site plan. Two copies of a site plan drawn to scale showing property boundaries, communication tower location, communication tower height, guy wires and anchors, existing structures, photographs or elevation drawings depicting typical design of proposed structures, parking, fences, landscape plan, and existing land uses on adjacent property. A site plan is not required if antenna is to be mounted on an approved existing structure. Prototypical drawings indicating various types of equipment to be located on the communication tower may be submitted at the time of the permit application. Identification of the owners of all antennae and equipment to be located on the site. Other equipment may be added to the communication tower without additional permits or inspections as long as electrical wiring is not required.

Please see Exhibit A, attached.

- (3) Location map. Two copies of a current map, or update for an existing map on file, showing locations of applicant's antennae, coverage areas, facilities, existing communication towers, and proposed communication towers, serving any property within the county are required. An applicant may request that specific proprietary or confidential information be withheld from the public record.

A map of the current Verizon sites and the coverage from said towers and the proposed coverage that will be in place after the addition of the Richland Creek site is annexed as Exhibit D

- (4) Owner authorization. Written authorization from the site owner for the application.

Please see the fully signed authorization annexed as Exhibit E.

- (5) Visual impact analysis. A line of sight analysis showing the potential visual and aesthetic impact on adjacent residential districts.

Please see the Site impact analysis, including photo simulations, attached as Exhibit F.

- (6) Alternative to co-location or stealth design. Co-located or stealth designs shall be required unless satisfactory documented evidence can be provided indicating that:
- a. The proposed antenna and equipment cannot be accommodated and function as required;
 - b. The applicant's technical design requirements are such that without unreasonable modifications they cannot function on any existing structure or communication tower under the control of applicant; and

- c. The applicant has considered all available publicly owned sites, and available privately owned sites occupied by a compatible use, including all applicable sites or locations or a combination of sites and locations as described under section 32-133(b) for priority of approval and the applicant has demonstrated that for the reasons described in section 32-133(b) that these sites and/or locations are unsuitable for operation of the facility under applicable state and federal communications regulations, the applicant's technical design requirements and/or valid economic reasons.

Please see a letter from an authorized representative of Verizon Wireless, which is attached as Exhibit B.

- (7) **Indemnity**. The applicant must show by certificate from a registered engineer that the proposed facility will contain only equipment meeting FCC rules, and must file with the planning director a written indemnification of the county and proof of liability insurance or financial ability to respond to claims up to \$1,000,000.00 in the aggregate which may arise from operation of the facility during its life, at no cost to the county, in a form approved by the county attorney.

Please see the following attached:

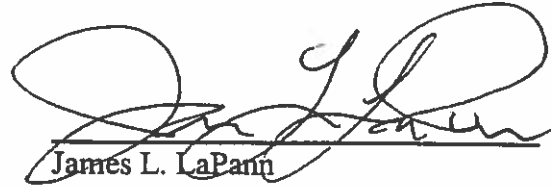
- **Exhibit G** – a certification from a registered engineer that the proposed facility will contain only equipment meeting FCC rules.
- **Exhibit H** - a written indemnification of the county.
- **Exhibit I** - proof of liability insurance or financial ability to respond to claims up to \$1,000,000.00 in the aggregate which may arise from operation of the facility during its life, at no cost to the county, in a form approved by the county attorney. – Proof of Insurance will be sent under separate cover.

(8) **Application fees**. All communication tower applications shall include a check made out to the county treasurer in an amount to be determined by the planning director, based upon a schedule of fees enacted by the county council. Additional fees may be imposed in order to offset the costs associated with processing applications for special exceptions, appeals, or variances.

Please see a check for Six Thousand Dollars (\$6,000.00) attached. A check for \$ 100.00 is being sent under separate cover.

Verizon Wireless respectfully submits this application for a Special Exception for this site for a telecommunications tower.

July 24, 2015

A handwritten signature in black ink, appearing to read "James L. LaPann", written over a horizontal line.

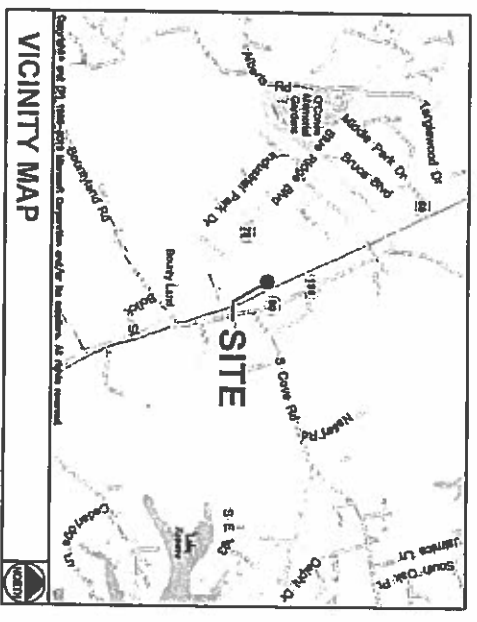
James L. LaPann
Zoning Specialist
Faulk & Foster
1707 Roxbury Drive, N
Wilson, N.C. 27893
(518) 791-3740
Jim.lapann@faulkandfoster.com



Verizon wireless

8921 RESEARCH DRIVE
CHARLOTTE, NC 28262
RICHLAND CREEK

SITE ADDRESS
1642 BLUE RIDGE BOULEVARD
SENECA, SC 29672
OCONEE COUNTY
LATITUDE: 34° 42' 41.3" N
LONGITUDE: 82° 59' 34.1" W
TAX/PIN #: 207-00-02-008
ZONING: N/A



DRIVING DIRECTIONS

FROM CHARLOTTE OFFICE: START OUT GOING SOUTHWEST ON RESEARCH DRIVE TOWARDS HARRIS BLVD 0.4 MILE; TURN LEFT ONTO W WY HARRIS BLVD 0.2 MILE; TURN RIGHT ONTO THE 1865 RAMP 0.3 MILE; MERGE ONTO I-859 (ENTERING SOUTH CAROLINA) 1.6 MILES; TAKE EXIT 36 FOR SC-86 TOWARD EASLEY PIEDMONT 0.3 MILE; TURN RIGHT ONTO SC-86E 0.7 MILE; TURN LEFT ONTO MAJOR RD 1.2 MILES; CONTINUE ONTO MOORE RD 1.8 MILES; CONTINUE ONTO SC-8W/ SC-86 1.1 MILES; TURN RIGHT ONTO 18 MILE RD/ STATE RD S-39-18 1.3 MILES; TURN LEFT TO MERGE ONTO US-123 TOWARD CLEMSON 13.5 MILES; TURN RIGHT ONTO SC-28W/ BLUE RIDGE BLVD 1.5 MILES; ARRIVE AT DESTINATION ON THE RIGHT.

DRIVING DIRECTIONS

PROJECT SUMMARY

MUNICIPALITY:
OCONEE COUNTY

STATE:
SOUTH CAROLINA

TOWER TYPE:
MONOPOLE TOWER

TOWER HEIGHT:
95'

NUMBER OF CARRIERS:
0 EXISTING, 1 PROPOSED

USE:
PROPOSED TELECOMMUNICATIONS TOWER AND UNMANNED EQUIPMENT SHELTER

CONSULTANT
KIMLEY-HORN AND ASSOCIATES, INC.
2 SUN COURT, SUITE 450
PEACHTREE CORNERS, GEORGIA 30092
PHONE: (678) 533-3928
ATTN.: KEITH MARKLAND

CONTACTS

DEVELOPER
VERIZON WIRELESS
8921 RESEARCH DRIVE
CHARLOTTE, NC 28262
PHONE: (704) 577-8785
ATTN.: MICHAEL HAVEN

POWER COMPANY
DUKE ENERGY
PHONE: (800) 777-9898
ATTN.: CUSTOMER SERVICE

TELEPHONE COMPANY
AT&T
PHONE: (800) 288-2020
ATTN.: CUSTOMER SERVICE


PROPERTY OWNER
PARKWAY REAL ESTATE HOLDINGS SC, LLC
1642 BLUE RIDGE BLVD
SENECA, SC 29672
PHONE: (864) 882-5652
ATTN.: BILL DICK, PLANT MANAGER

NOTE:
SITE IS LOCATED WITHIN FEMA FLOOD MAP AREA 45073C0330C DATED 09/11/2009 WITHIN FLOOD ZONE X.

SHEET	DESCRIPTION	REV.
T1	COVER SHEET	0
-	SITE SURVEY (SHEET 1 OF 2)	1
-	SITE SURVEY (SHEET 2 OF 2)	1
C1	OVERALL SITE PLAN	0
C2	SITE PLAN	0
C3	FOUNDATION AND SHELTER TIE DOWN DETAILS	0
C4	SHELTER ELEVATIONS	0
C5	FENCE, GATE, AND COMPOUND DETAILS	0
C6	GRADING & EROSION CONTROL PLAN	0
C7	GRADING & EROSION CONTROL DETAILS	0
C8	ACCESS ROAD DETAILS	0
C9	SITE SIGNAGE DETAILS	0
C10	WAVEGUIDE BRIDGE DETAILS	0
C11	ANTENNA AND TOWER ELEVATION DETAILS	0
L1	LANDSCAPING PLAN	0
E1	BASIC SERVICE ROUTING PLAN	0
E2	GROUNDING PLAN	0
E3	SINGLE-LINE DIAGRAM	0
E4	ELECTRICAL DETAILS	0
E5	ELECTRICAL DETAILS	0
E6	ELECTRICAL DETAILS	0

PERMIT INFORMATION

OCONEE COUNTY PLANNING DEPARTMENT
415 S. PINE ST
WALHALLA, SC 29691
PHONE: (864) 364-5109
ATTN.: JOSH STEPHENS, DEPUTY DIRECTOR




VERIZON NAME:
RICHLAND CREEK
VERIZON No.: TBD
1642 BLUE RIDGE BOULEVARD
SENECA, SC 29672
OCONEE COUNTY

ISSUED FOR:
CONSTRUCTION

ISSUED DATE:
07/10/15

CONSULTANT:
KIMLEY-HORN AND ASSOCIATES, INC.



2 SUN COURT, SUITE 450
PEACHTREE CORNERS, GA 30092
PHONE: 770-833-0744
WWW.KIMLEY-HORN.COM
SC License C00188



WILLIAM C. EDMOND
LICENSED PROFESSIONAL ENGINEER
No. 31806
NOS. 10-15

COVER SHEET

SHEET NUMBER: T1

REVISION: 0

PROJECT INFORMATION:

VERIZON NAME: RICHLAND CREEK

VERIZON No.: TBD

1642 BLUE RIDGE BOULEVARD

SENECA, SC 29672

OCONEE COUNTY

ISSUED FOR: CONSTRUCTION

ISSUED DATE: 07/10/15

CONSULTANT: KIMLEY-HORN AND ASSOCIATES, INC.

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PHONE: 770-833-0744

WWW.KIMLEY-HORN.COM

SC License C00188

COVER SHEET

SHEET NUMBER: T1

REVISION: 0

NOTES

- THIS SITE SURVEY HAS BEEN PREPARED PARTIALLY FROM AN ACTUAL FIELD SURVEY AND PARTIALLY FROM MAPS AND DEEDS OF RECORD.
- PROPERTY SUBJECT TO ANY VALID & ENFORCEABLE EASEMENTS, RESTRICTIONS & RIGHT OF WAY OF RECORD.
- ALL PROPERTY OWNERS ARE NOW OR FORMERLY.
- ADJACENT OWNER INFORMATION TAKEN FROM COUNTY TAX RECORDS.
- AREA BY COMPUTER (COORDINATE METHOD).
- ALL DISTANCES SHOWN ARE GROUND DISTANCES IN FEET UNLESS OTHERWISE NOTED.
- NORTH ORIENTATION BASED UPON S.C. GRID (NAD 83) AND WAS ESTABLISHED WITH A TRIMBLE R6 SURVEY GRADE GPS RECEIVER, COMBINED GRID FACTOR 0.9999919.
- THIS MAP IS FOR LEASE PURPOSES AND DOES NOT CREATE A SUBDIVISION OF LAND.
- COORDINATES LISTED ARE SOUTH CAROLINA STATE PLANE COORDINATES NAD83 (2011) IN INTERNATIONAL FEET.
- ELEVATIONS BASE ON NORTH AMERICAN DATUM OF 1988.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA FIRM COMMUNITY PANEL NUMBER 45073C0330C, EFFECTIVE DATE OF SEPTEMBER 11, 2009.

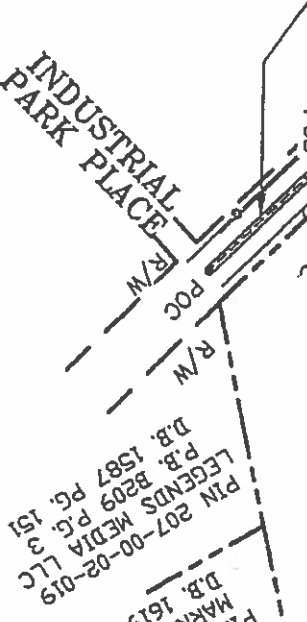
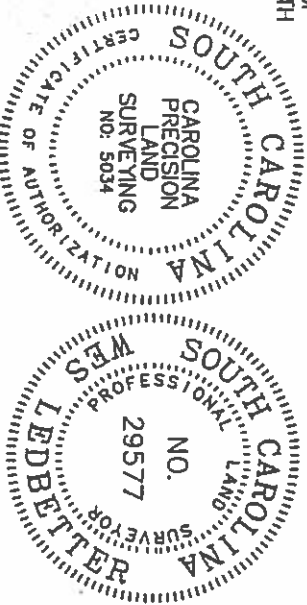
LEGEND

- = CALCULATED POINT
- BRG. = BEARING
- C/G = CURB AND GUTTER
- CGF = COMBINED GRID FACTOR = 0.9999919
- CB = CATCH BASIN
- D.B. = DEED BOOK
- EOP = EDGE OF PAVEMENT
- IPF = IRON PIN FOUND (#4 REBAR)
- IPPF = IRON PIPE FOUND
- IPS = IRON PIN SET (3/4" PIPE)
- LP = LIGHT POLE
- MB = MAIL BOX
- P.B. = PLAT BOOK
- PG. = PAGE
- POB = POINT OF BEGINNING
- POC = POINT OF COMMENCEMENT
- POT = POINT OF TERMINUS
- PP = POWER POLE
- PP-TRSF = POWER POLE WITH TRANSFORMER
- R/W = RIGHTS OF WAY
- SCGS = SOUTH CAROLINA GEODETIC SURVEY
- SCSPC = SOUTH CAROLINA STATE PLANE COORDINATES
- SMH = SANITARY MANHOLE
- TP = TELEPHONE PEDESTAL

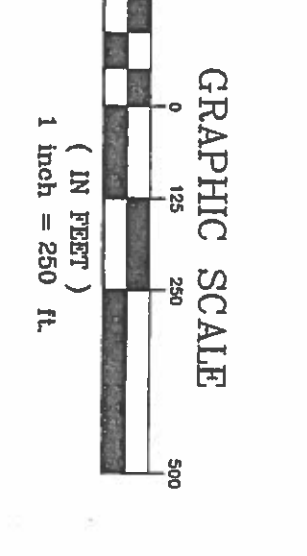
FIELD WORK COMPLETED ON APRIL 3, 2015.
THIS SURVEY WAS PREPARED AT THE REQUEST OF KIMLEY-HORN AND ASSOCIATES, INC.

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THERE IN.

Wes Ledbetter
06/02/15
CAROLINA PRECISION LAND SURVEYING, LLC. DATE 6/02/15
WES LEDBETTER
5638 NORWOOD RIDGE DRIVE
ROCK HILL, SC 29732
S.C. PROFESSIONAL LAND SURVEYOR NO. 29577
TELEPHONE NUMBER (803) 367-1917



196' FROM THE (POC) INTERSECTION OF INDUSTRIAL PARK PLACE AND BLUE RIDGE BLVD TO THE (POB)

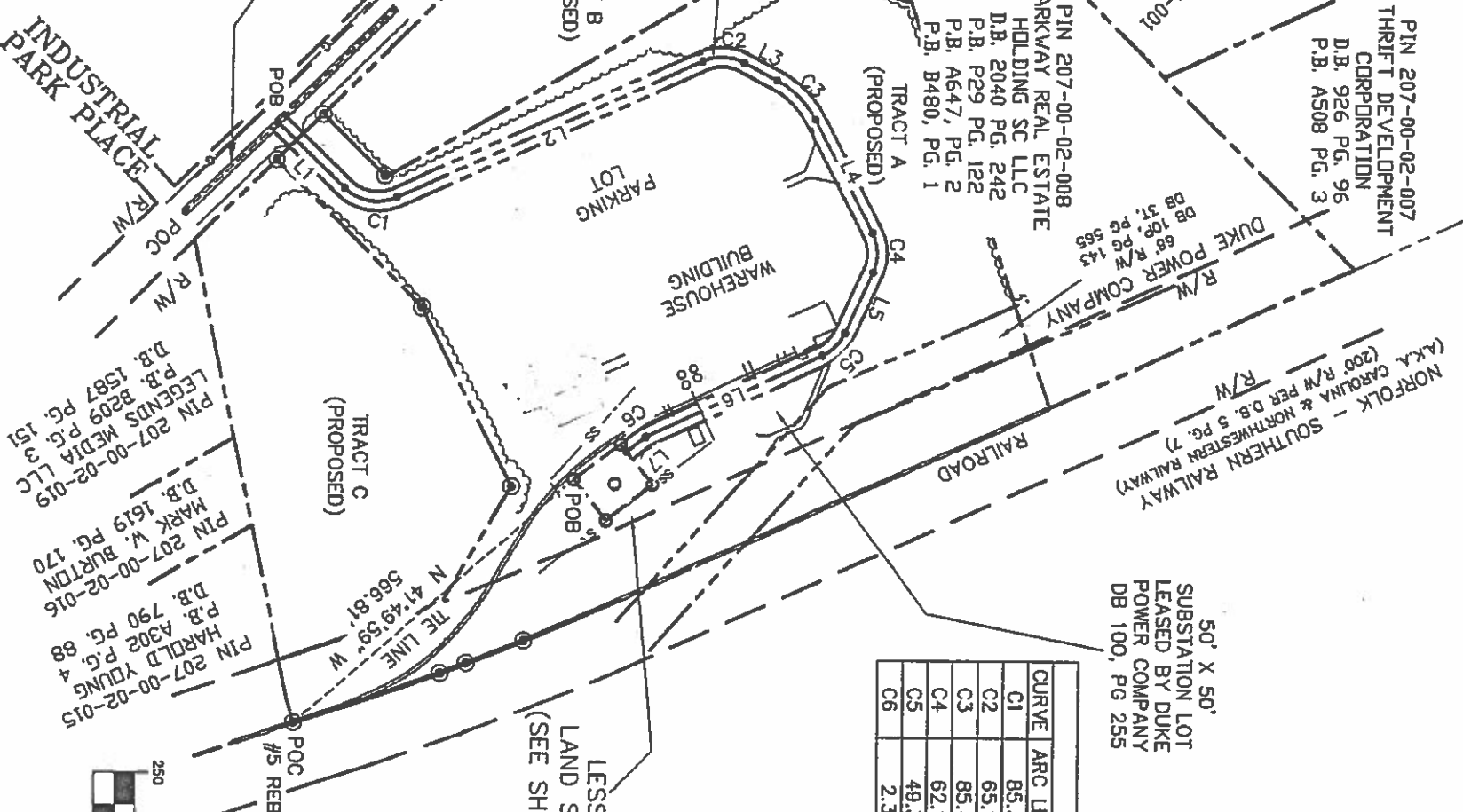
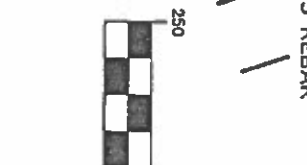


CURVE TABLE

CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	85.32'	70.00'	N 10°04'57" E	80.14'
C2	65.14'	70.00'	N 01°49'25" E	62.81'
C3	85.41'	140.00'	N 45°57'31" E	84.09'
C4	62.19'	70.00'	N 88°53'07" E	60.16'
C5	49.36'	70.00'	S 45°27'48" E	48.34'
C6	2.38'	10.00'	S 32°05'01" E	2.38'

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 45°00'00" E	144.12'
L2	N 24°50'06" W	511.11'
L3	N 28°28'56" E	56.36'
L4	N 63°26'06" E	196.20'
L5	S 65°39'53" E	101.07'
L6	S 25°15'43" E	295.45'
L7	S 38°54'19" E	35.56'



TRACT A (PROPOSED)
TRACT B (PROPOSED)
TRACT C (PROPOSED)

LEGENDS MEDIA LLC
MARK W. BURTON
HAROLD YOUNG

LESSSEE LAND SPACE (SEE SHEET 2)

50' X 50' SUBSTATION LOT LEASED BY DUKE POWER COMPANY DB 100, PG 255

INDUSTRIAL PARK CREEK
1642 BLUE RIDGE BLVD
SENECA, SC 29672
OCONEE COUNTY

Kimley-Horn
2 SUN COURT, SUITE 450 PEACHTREE CORNERS, GA 30092
PHONE: 770-825-0744 WWW.KIMLEY-HORN.COM

REVISIONS

NO.	DATE	DESCRIPTION
1	6/02/15	REVISED LESSEE LAND SPACE
0	5/17/15	ISSUED AS FINAL DRAWING
A1	4/13/15	REVISED-ISSUED FOR REVIEW
A	4/07/15	ISSUED FOR REVIEW

SITE SURVEY PROPOSED MONOPOLE

NO.	DATE	BY	CHK	APPD
1	6/02/15	WL	EK	WL
0	5/17/15	WL	EK	WL
A1	4/13/15	WL	EK	WL
A	4/07/15	ZR	EK	WL

DRAWING NO. SHEET 1 OF 2

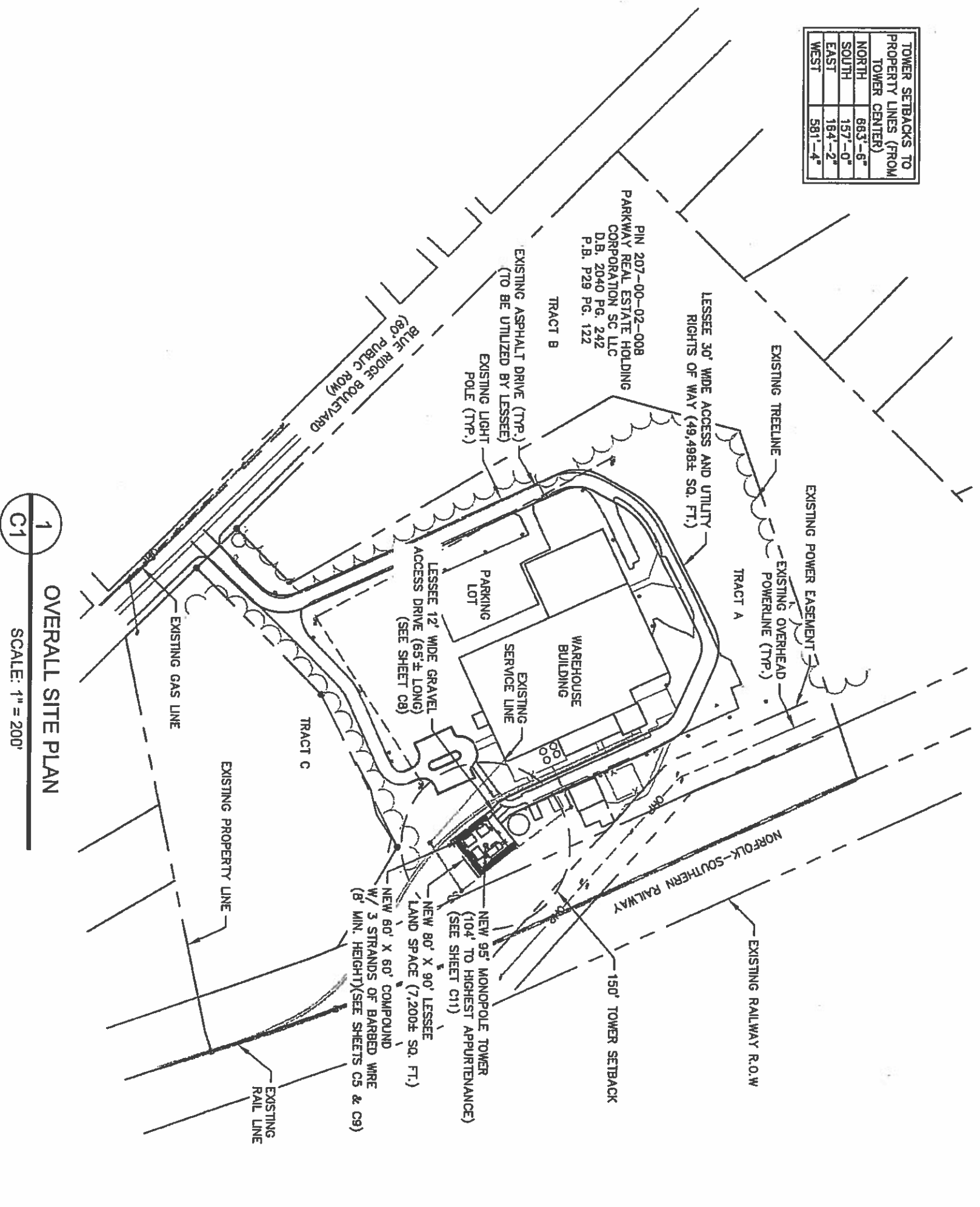
6 5 4 3 2 1

VERIZON wireless

6/02/15



TOWER SETBACKS TO PROPERTY LINES (FROM TOWER CENTER)	
NORTH	663'-6"
SOUTH	157'-0"
EAST	164'-2"
WEST	581'-4"



1
C1
OVERALL SITE PLAN
SCALE: 1" = 200'



SURVEY NOTE:
 1. VERIZON WIRELESS STAFF SHALL COORDINATE WITH THE PROPERTY OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
 2. PROPOSED COMPOUND LAYOUT BASED ON SURVEY PROVIDED BY CAROLINA PRECISION LAND SURVEYING, LLC, DATED 04/13/2015 AND SITE VISIT ON 03/24/2015.

This document, together with the exhibits and design presented herein, is an instrument of service, is intended only for the specific purpose and subject for which it was prepared. Review of said instrument indicates on this document without further explanation and adaptation by the client. Kimley-Horn and Associates, Inc. shall be retained solely to design, plan and execute, the work as defined herein and associated therewith.

Verizon wireless
 8801 RESEARCH DRIVE
 CHARLOTTE, NORTH CAROLINA 28202

PROJECT INFORMATION:
 VERIZON NAME:
 RICHLAND CREEK
 VERIZON No.: TBD
 1642 BLUE RIDGE BOULEVARD
 SEWEEA, SC 29672
 OCONEE COUNTY

CURRENT ISSUE DATE:
 07/10/15

ISSUED FOR:
CONSTRUCTION

REV./DATE: 07/10/15 ISSUED FOR: CONSTRUCTION WCE

CONSULTANT:
Kimley-Horn
 2 SAN COURT, SUITE 450
 PEACHTREE CORNERS, GA 30082
 PHONE: 770-832-0744
 WWW.KIMLEY-HORN.COM
 SC License 00018

SOUTH CAROLINA
 CERTIFICATE OF AUTHORIZATION
 KIMLEY-HORN
 AND ASSOCIATES,
 INC.
 NO. 00018

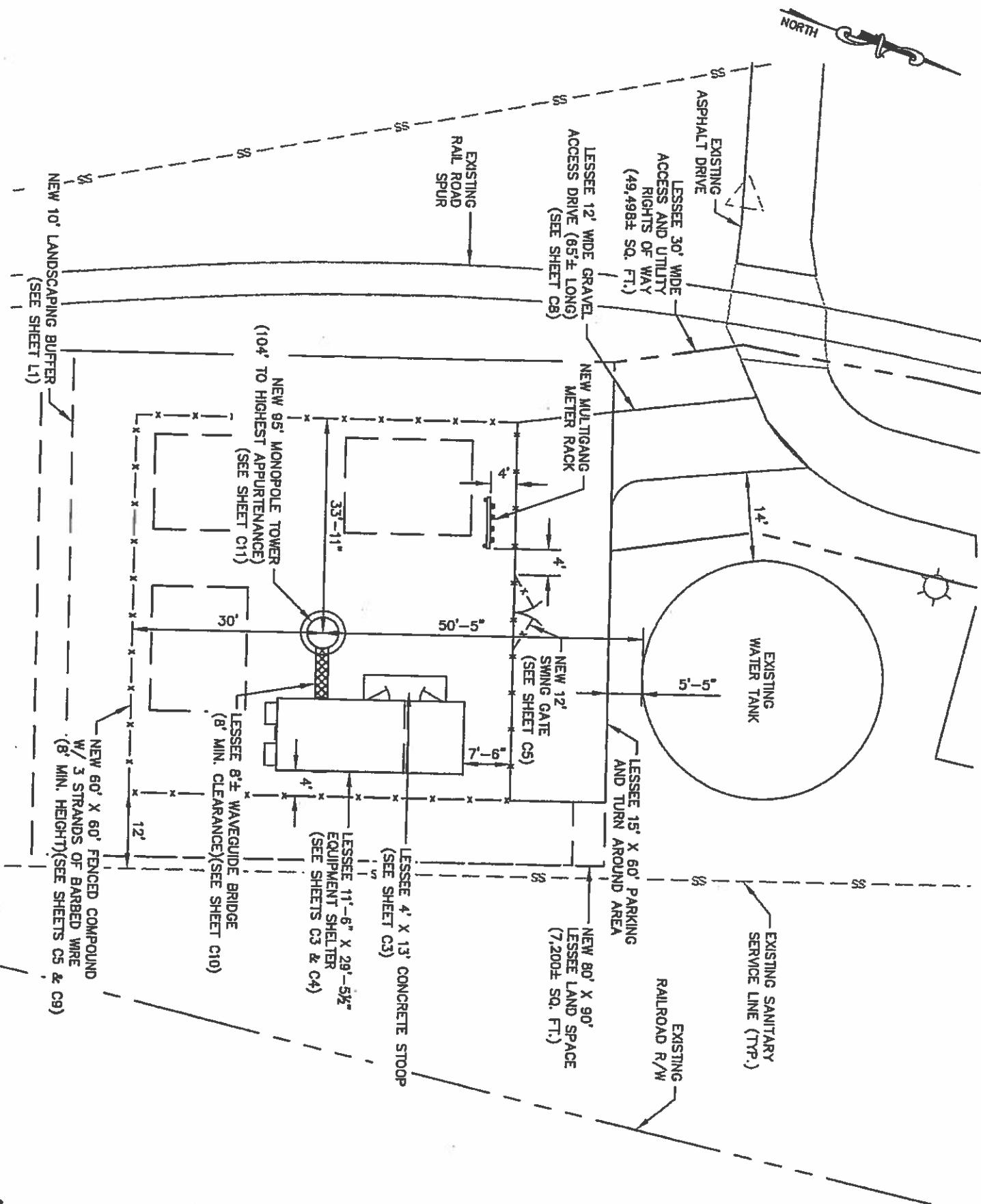
WILLIAM C. EDWARDS
 LICENSED PROFESSIONAL ENGINEER
 No. 31806
 SOUTH CAROLINA
 ENGINEERING BOARD
 07-10-15

OVERALL SITE PLAN

SHEET NUMBER: C1

REVISION: 0

012055925



1 SITE PLAN
SCALE: 1" = 20'



SURVEY NOTE:
1. VERIZON WIRELESS STAFF SHALL COORDINATE WITH THE PROPERTY OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
2. PROPOSED COMPOUND LAYOUT BASED ON SURVEY PROVIDED BY CAROLINA PRECISION LAND SURVEYING, LLC DATED 04/13/2015 AND SITE VISIT ON 03/24/2015.

SHELTER NOTE:
1. CONTRACTOR TO CONFIRM WITH VERIZON CONSTRUCTION MANAGER THAT THE SHELTER SHOWN ABOVE HAS BEEN ORDERED/SCHEDULED FOR DELIVERY TO THIS SITE.

COAX NOTE:
1. ROUTE COAX/FIBER UP TOWER PER TOWER DESIGN DRAWING BY TOWER OWNER.

TOWER NOTE:
1. TOWER DIMENSIONS SHOWN ON THIS PLAN ARE FOR TOWER CENTER LOCATION. CONTRACTOR TO OBTAIN COPY OF TOWER ERECTION DRAWINGS FROM VERIZON CONSTRUCTION MANAGER PRIOR TO DRILLING TOWER FOUNDATIONS. GASSIONS AND OTHERS, DO NOT SCALE.

GENERAL NOTES:

1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE, LOCAL AND NATIONAL CODES, ORDINANCES AND OR REGULATIONS APPLICABLE TO THIS PROJECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE PROJECT MANAGER AND/OR ENGINEER AND BE RESOLVED BEFORE PROCEEDING WITH WORK. WHERE THERE IS A CONFLICT BETWEEN DRAWING AND VERIZON SPECIFICATIONS, THE VERIZON PROJECT ENGINEER SHOULD BE CONTACTED FOR CLARIFICATION.
3. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE PROJECT MANAGER AND/OR ENGINEER SO THAT PROPER REVISIONS MAY BE MADE. MODIFICATION OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE PROJECT MANAGER AND/OR ENGINEER.
4. CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH SITE CONDITIONS AS SHOWN ON THE ATTACHED SITE PLAN AND/OR SURVEY DRAWINGS.
5. WAVEGUIDE BRIDGE AND PRE-FAB SHELTER ARE SHOWN FOR REFERENCE ONLY. REFER TO SEPARATE PRE-ENGINEERED DRAWINGS FOR SPECIFIC INFORMATION INCLUDING FOOTINGS AND WAVEGUIDE BRIDGE LOCATION.
6. ALL FINISHED GRADES SHALL BE MINIMUM 1/4" IN./FT. AWAY FROM EQUIPMENT IN ALL DIRECTIONS. CONTRACTOR SHALL SLOPE SWALES AS REQUIRED ALONG EXISTING TERRAIN TO DRAIN AWAY FROM COMPOUND AND ACCESS DRIVE.
7. THE PROPOSED TOWER AND TOWER FOUNDATIONS WERE DESIGNED BY OTHERS. TOWER INFORMATION PROVIDED ON THESE PLANS ARE PROVIDED FOR REFERENCE PURPOSES ONLY. NOTIFY ENGINEER OR PROJECT MANAGER OF ANY CONFLICTS OR DISCREPANCIES. CONTRACTOR TO OBTAIN COPY OF TOWER DESIGN DRAWINGS FROM VERIZON PROJECT MANAGER TO CONFIRM COAX ROUTING AND ANTENNA MOUNT INFORMATION.
8. THE CONTRACTOR SHALL PROVIDE ADEQUATE EXCAVATION SLOPING, SHORING, BRACING, AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL SAFETY ORDINANCES.
9. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE EXISTING ACCESS ROAD AND COMPOUND GRAVEL AREAS. ANY NEW FILL MATERIALS SHALL BE COMPACTED.
10. THE CONTRACTOR IS HEREBY NOTIFIED THAT PRIOR TO COMMENCING CONSTRUCTION, HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND SHALL REQUEST A VERIFICATION AT THE CONSTRUCTION SITE OF THE LOCATIONS OF THEIR UNDERGROUND UTILITIES AND WHERE THEY MAY POSSIBLY CONFLICT WITH THE PLACEMENT OF IMPROVEMENTS AS SHOWN ON THESE PLANS. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT WILL BE REQUIRED TO NOTIFY SOUTH CAROLINA 811* 72 HOURS IN ADVANCE OF PERFORMING ANY WORK BY CALLING THE TOLL FREE NUMBER (888) 721-7877 (OR 811). ANY UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR, AT NO EXPENSE TO THE OWNER.
11. CONTRACTOR TO PROVIDE DUMPSTER AND PORTABLE TOILET FACILITY DURING CONSTRUCTION.
12. CONTRACTOR TO PROVIDE STYME LOCK, DAISY CHAIN OR EQUIVALENT AS APPROVED BY VERIZON PROJECT MANAGER.
13. CONTRACTOR TO PROVIDE ANY NECESSARY SIGNAGE PER VERIZON PROJECT MANAGERS INSTRUCTIONS. SEE DETAIL ON SHEET C9.

SANITARY SEWER SERVICE LINE NOTE:
1. CONTRACTOR TO PROTECT EXISTING SERVICE LINE FROM DAMAGE.

Verizon wireless
8241 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28245

PROJECT INFORMATION:
VERIZON NAME:
RICHLAND CREEK
VERIZON NO.: 178D
1942 BLUE RIDGE BOULEVARD
SPRUELL, SC 29972
OCCONE COUNTY

CURRENT ISSUE DATE:
07/10/15

ISSUED FOR:
CONSTRUCTION

REV. DATE	ISSUED FOR	BY
0	07/10/15	CONSTRUCTION WCE

Kimley-Horn
2 SUN COURT, STATE 450
FACHRE COMBOS, GA 30092
PHONE: 770-825-0744
WWW.KIMLEY-HORN.COM
SC LICENSE: C00184

CONSULTANT

SOUTH CAROLINA
KIMLEY-HORN
AND
ASSOCIATES,
INC.
NO. C00184

BOARD OF PROFESSIONAL ENGINEERS
OFFICE OF AUTHORIZATION

South Carolina Professional Engineer
WILLIAM C. EDMONDSON
No. 31805

DRAWN BY: CHK: NPY: WCE

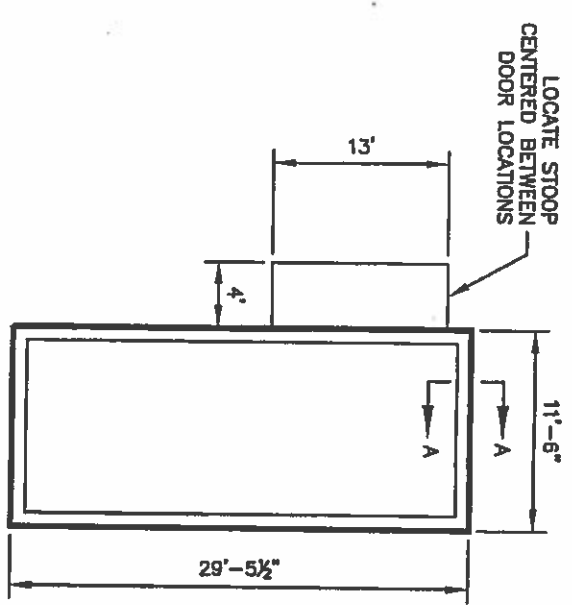
SITE PLAN

SHEET NUMBER: C2
REVISION: 0

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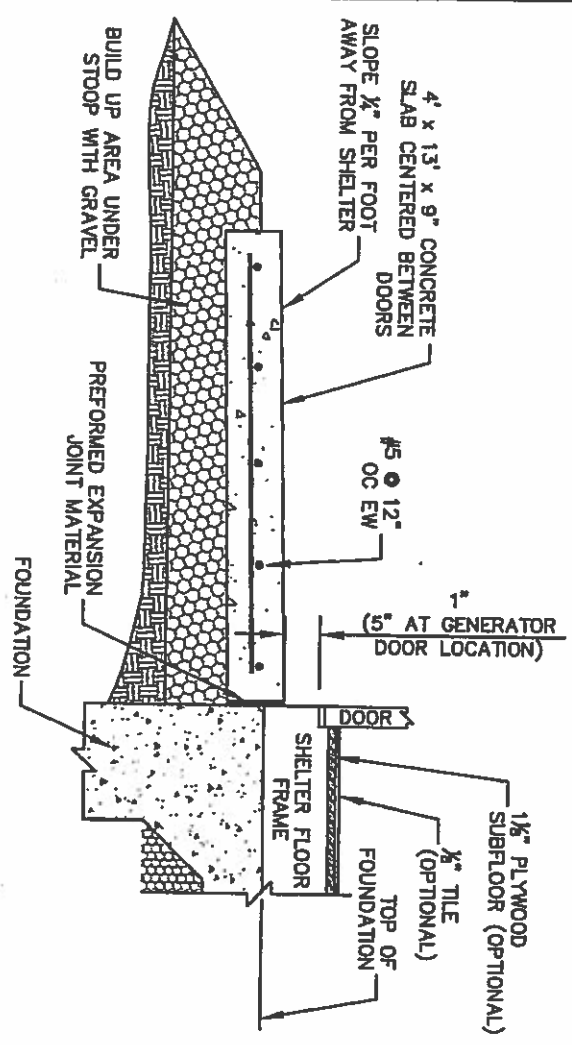
FOUNDATION NOTES

1. GENERAL
- 1.1 FOUNDATIONS ARE DESIGNED FOR A PRESUMPTIVE SOIL BEARING CAPACITY OF 2,000 PSF. CONTRACTOR SHALL VERIFY SOIL CONDITIONS PRIOR TO CONSTRUCTION.
- 1.2 EXCAVATE A MINIMUM 18" BELOW PROPOSED EQUIPMENT FOUNDATION(S) OF EXPANSIVE, ORGANIC, UNCONSOLIDATED OR OTHERWISE UNACCEPTABLE MATERIAL, AND REPLACE WITH WELL-COMPACTED MATERIAL ACCEPTABLE TO VERIZON.
- 1.3 PERIMETER FOOTING FOR THE SHELTER FOUNDATION MUST BE A MINIMUM DEPTH OF 24" BELOW FINISH GRADE (SEE SECTION A-A)
- 1.4 CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, PROTECTING, AND RELOCATING AS REQUIRED ALL SERVICE AND UTILITY LINES IN VICINITY OF THE WORK SITE. ALL EXCAVATIONS NEAR THESE LINES TO BE CARRIED OUT WITH EXTREME CAUTION.
- 1.5 CONTRACTOR TO CUT/FILL FOUNDATION TO PROVIDE AN AREA AS LEVEL AS POSSIBLE FOR THE EQUIPMENT. ALL FILL AREAS ARE TO BE FILLED WITH SUITABLE MATERIALS. FILL MATERIALS ARE TO BE PLACED, COMPACTED, AND TESTED IN MAXIMUM LAYERS OF 8". COMPACTION OF ALL MATERIALS SHALL ACHIEVE 95% OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D698. ALL TESTS MUST MEET THE MINIMUM SPECIFIED SOIL BEARING CAPACITY. COMPACTION TESTING IS BY THE GEOTECHNICAL TESTING COMPANY DESIGNATED FOR THE PROJECT. SCHEDULING AND COORDINATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. REPORTS OF ALL TESTING ARE TO BE PROMPTLY DELIVERED OR FAXED TO THE VERIZON WIRELESS PROJECT MANAGER.
2. MATERIALS
- 2.1 CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION TO ACI-318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
- 2.2 CONCRETE SHALL HAVE A SLUMP BETWEEN 3" AND 6"
- 2.3 REINFORCING BARS SHALL CONFORM TO THE LATEST REVISION OF ASTM-A615 GRADE 60 SPECIFICATIONS, AND BE DETAILED IN ACCORDANCE WITH THE LATEST REVISION TO ACI-318.
- 2.4 AT THE REQUEST OF THE VERIZON WIRELESS PROJECT MANAGER, TEST CYLINDERS SHALL BE MOLDED AND LABORATORY CURED IN ACCORDANCE WITH ASTM C31. THREE CYLINDERS SHALL BE TAKEN FOR EACH DAY'S CONCRETE PLACEMENT. CYLINDERS SHALL BE TESTED IN ACCORDANCE WITH THE LATEST REVISION TO ASTM C39.
- 2.5 CHAMFER ALL EXPOSED EXTERNAL CORNERS OF CONCRETE WITH 3/4" x 45' CHAMFER, UNLESS OTHERWISE NOTED.
- 2.6 CONCRETE FORMWORK IS TO BE STRIPPED WITHIN 48 HOURS. VIBRATION OF THE CONCRETE MUST ASSURE THAT HONEYCOMBING WILL BE AT A MINIMUM. MECHANICAL VIBRATION OF ALL CONCRETE IS REQUIRED UNLESS OTHERWISE DIRECTED BY VERIZON WIRELESS' PROJECT MANAGER. ABOVE GRADE CONCRETE IS TO BE RUBBED AND PATCHED TO ASSURE SMOOTH FINISH AT TIME OF FORMS REMOVAL. CONTRACTOR SHALL PROVIDE A BROOM FINISH ON THE TOP SURFACE OF THE EQUIPMENT FOUNDATION.
- 2.7 CONCRETE REINFORCEMENT SHALL HAVE THE FOLLOWING PROTECTIVE COVER:
 - CONCRETE PLACED AGAINST EARTH OR GROUND....2"
 - ALL OTHER LOCATIONS....3"
3. TOLERANCES
- 3.1 TOPS OF CONCRETE FOUNDATION MUST BE WITHIN 0.02' OF ELEVATION REQUIRED.

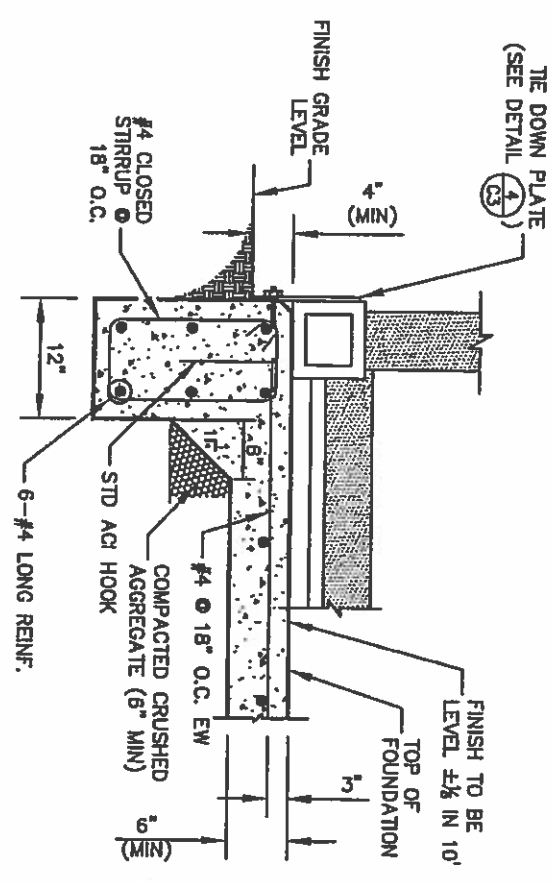


NOTE:
SEE SHEET C2 FOR FOUNDATION LOCATION AND ORIENTATION.
SEE SHELTER MANUFACTURER'S DRAWINGS FOR ADDITIONAL INFORMATION REGARDING SLAB FOUNDATION DESIGN.

1 VERIZON FOUNDATION PLAN
NOT TO SCALE

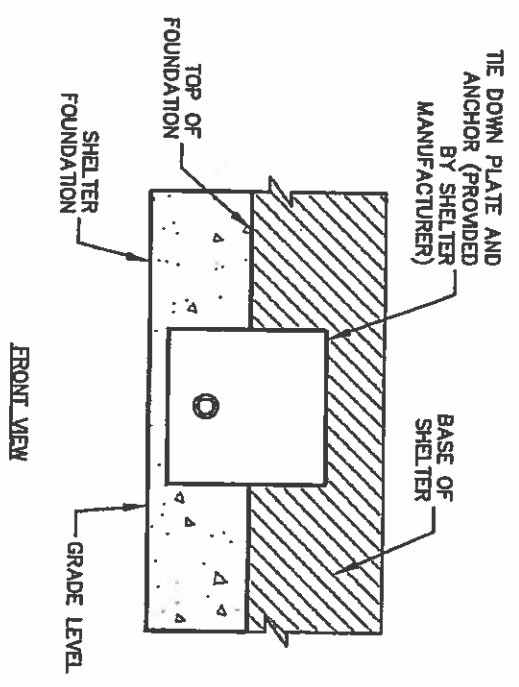


3 VERIZON STOOP DETAIL
NOT TO SCALE



NOTE:
BOTTOM OF FOOTING TO BE 24" BELOW GRADE OR TO 2000 PSF SOIL BEARING CAPACITY, WHICHEVER IS GREATER.

2 SECTION "A-A"
NOT TO SCALE



4 TIE DOWN PLATE (FRONT VIEW)
NOT TO SCALE

Verizon wireless
6821 RESEARCH DRIVE
GREENSBORO, NORTH CAROLINA 27409

PROJECT INFORMATION:
VERIZON NAME:
RICHLAND CREEK
VERIZON NO.: TBD
1842 BLUE RIDGE BOULEVARD
SENECA, SC 29672
OCONEE COUNTY

CURRENT ISSUE DATE:
07/10/15

ISSUED FOR:
CONSTRUCTION

REV.	DATE	ISSUED FOR:	BY:
0	07/10/15	CONSTRUCTION	WCE

Kimley-Horn
2 SIV COUNT, SUITE 450
PELHAMME CORNERS, GA 30082
PHONE: 770-433-0744
WWW.KIMLEY-HORN.COM
SIC: 81100000

CONSULTANT:

SOUTH CAROLINA
KIMLEY-HORN
AND
ASSOCIATES,
INC.
NO. 000168

CERTIFICATE OF AUTHORIZATION

DRAWN BY: CHK. / W.P.
AND / WCE

SOUTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
No. 31806
WILLIAM C. EDWARDS

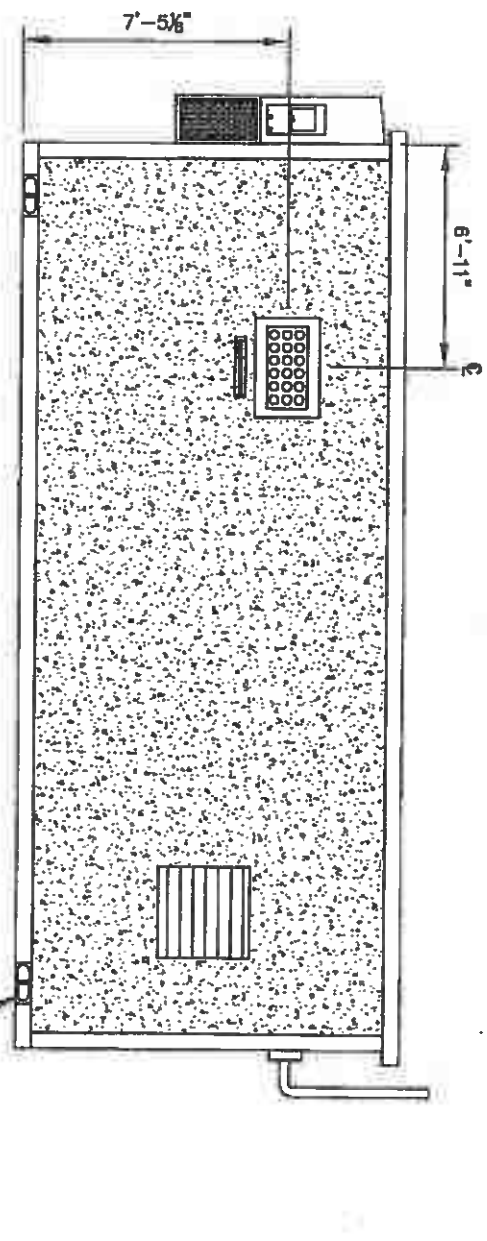
SHEET TITLE:
FOUNDATION & SHELTER TIE DOWN DETAILS

SHEET NUMBER: **C3**

REVISION: **0**

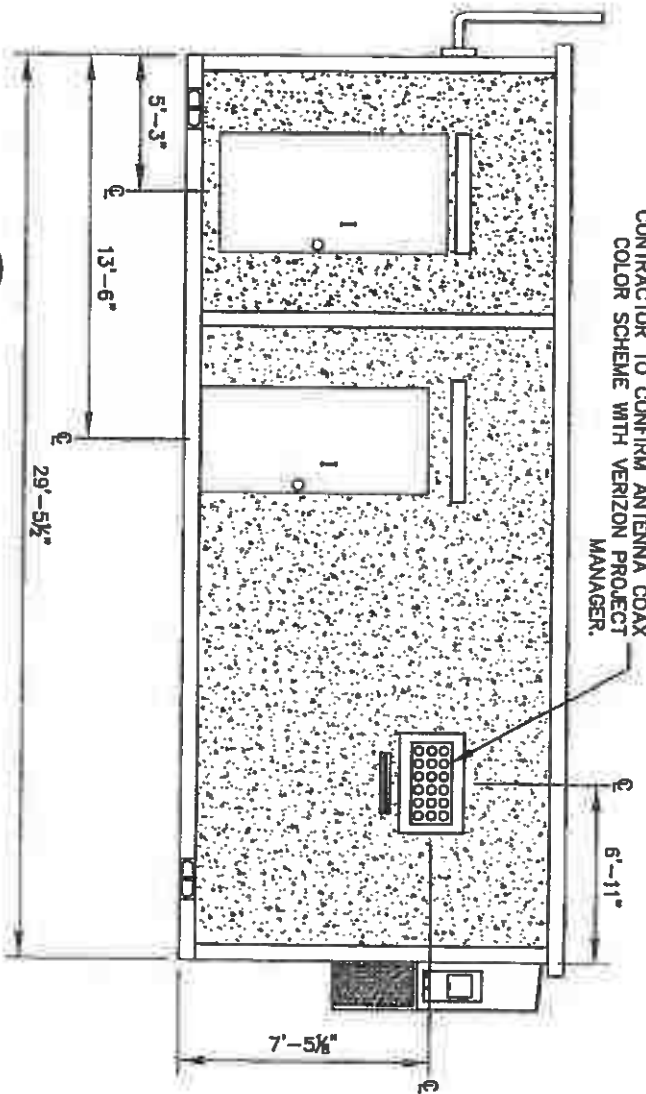
012055925

This document, together with the drawings and design presented herein, is an instrument of service, to be retained only for the specific purpose and shall be void if not properly issued. Issues of and changes to drawings shall be without liability to Kimley-Horn and Associates, Inc.

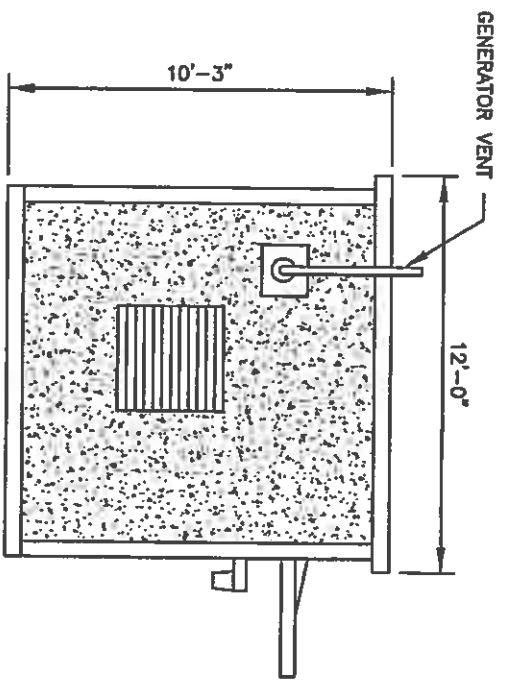


1
REAR WALL ELEVATION A
NOT TO SCALE

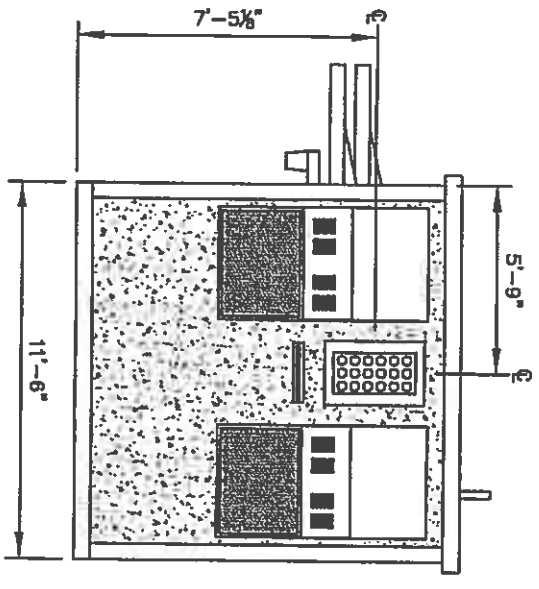
CONTRACTOR TO ENTER VIA THIS PORT.
COLOR SCHEME WITH VERIZON PROJECT MANAGER.



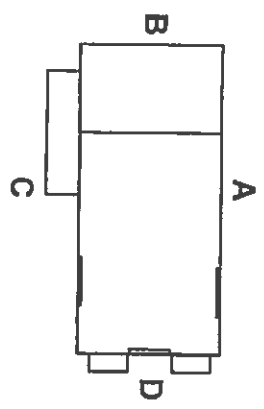
3
FRONT WALL ELEVATION C
NOT TO SCALE



2
SIDE WALL ELEVATION B
NOT TO SCALE



4
SIDE WALL ELEVATION D
NOT TO SCALE



5
TYPICAL WALL LAYOUT
NOT TO SCALE

NOTE:
PRE-FAB BUILDING WAS DESIGNED BY OTHERS AND DRAWINGS WERE PROVIDED AS PART OF VERIZON WIRELESS STANDARD DETAILS. REFER TO CONCRETE SHELTER DRAWINGS FOR SPECIFIC INFORMATION.



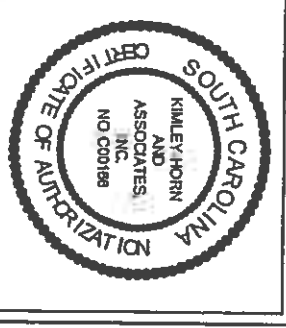
PROJECT INFORMATION:
VERIZON NAME:
RICHLAND CREEK
VERIZON No.: TBD
1842 BLUE RIDGE BOULEVARD
SENECA, SC 29672
OCCONEE COUNTY

CURRENT ISSUE DATE:
07/10/15

ISSUED FOR:
CONSTRUCTION

REV.	DATE	ISSUED FOR:	BY:
0	07/10/15	CONSTRUCTION	WDC

CONSULTANT:
Kimley»Horn
2 SUN COURT, SUITE 450
PEACHTREE CORNERS, GA 30022
PHONE: 770-825-0744
WWW.KIMLEY-HORN.COM
SC LICENSE: C000188



FOR ILLUSTRATIVE PURPOSES ONLY - REFER TO MANUFACTURERS APPROVED SHELTER DRAWINGS

SHEET TITLE:
SHELTER ELEVATIONS

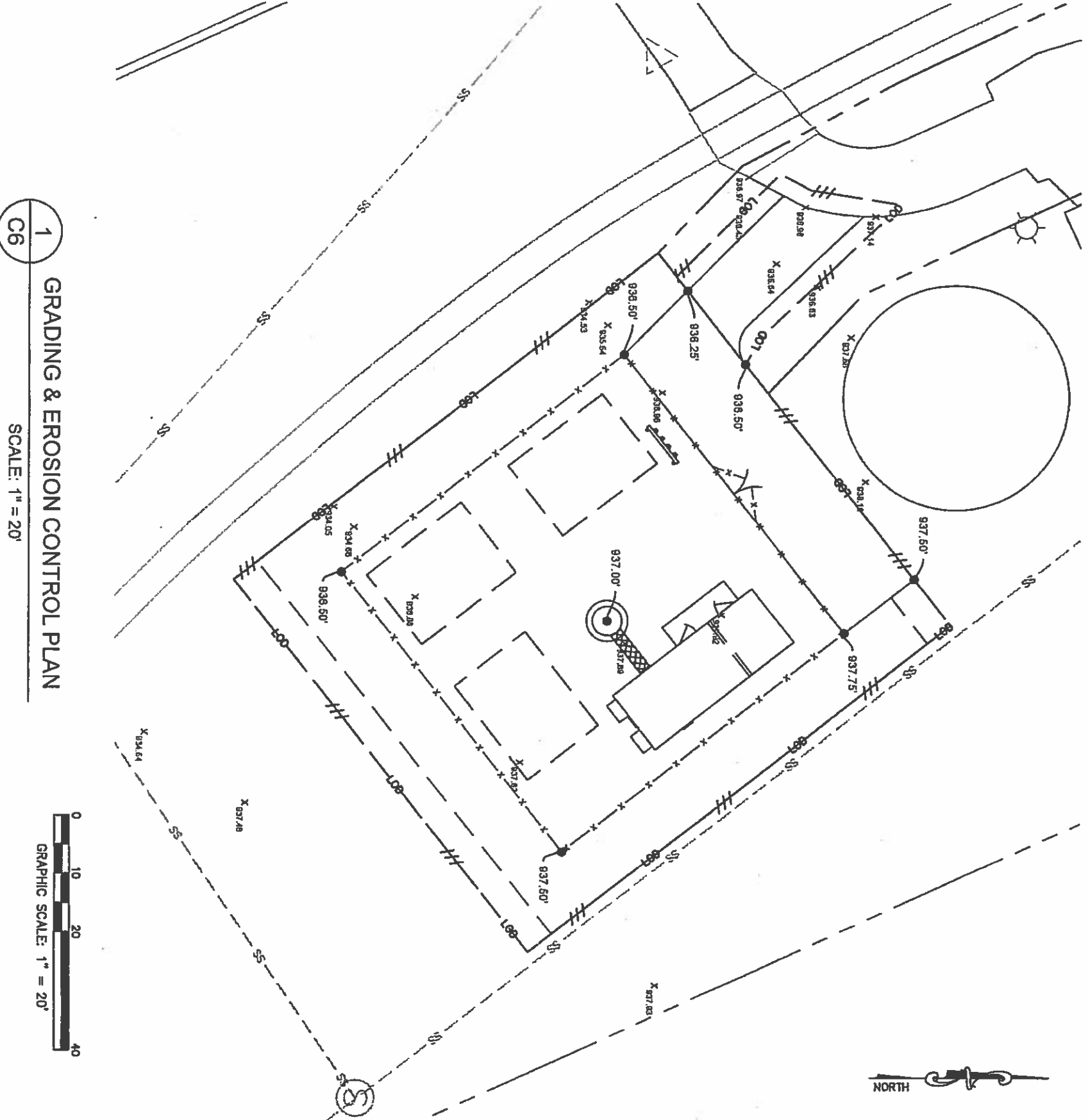
SHEET NUMBER	REVISION
C4	0

NOTE:
 CURRENT DESIGN ANTICIPATES APPROXIMATELY 7,736± SQ. FT. (0.18 ACRES) OF CLEARING AND GRADING FOR THE PROPOSED PROJECT. IF ADDITIONAL CLEARING IS REQUIRED BEYOND WHAT IS SHOWN IN THE PLANS THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND/OR PROJECT MANAGER. IF DURING THE BID WALK OR CONSTRUCTION IT IS DETERMINED THAT MORE THAN (1) ACRE OF LAND IS TO BE DISTURBED FOR CONSTRUCTION AN EROSION AND SEDIMENTATION CONTROL PLAN MUST BE FILED 30 DAYS PRIOR TO CONSTRUCTION.

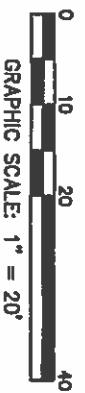
- GRADING NOTES:**
1. THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE PROJECT GEOTECHNICAL ENGINEERS SPECIFICATIONS. FILL MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
 2. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES. CONTRACTOR SHALL BLEND EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
 3. PORTIONS OF THE SITE NOT SPECIFICALLY MENTIONED WITHIN THE GEOTECHNICAL REPORT SHALL BE COMPACTED TO 95 PERCENT OF THE MATERIALS MAXIMUM-DRY MOISTURE CONTENT.
 4. FILL SHALL BE PLACED IN MAXIMUM 8 INCH LOOSE LIFTS.
 5. UNDISTURBED AREAS WITHIN 30' INGRESS/EGRESS EASEMENT NOT NEEDED FOR UTILITY ROUTING TO BE LEFT UNDISTURBED.
 6. GROUND WATER SHOULD BE REASONABLY EXPECTED. ANY DE-WATERING OR MOISTURE CONDITIONING IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHOULD BE INCLUDED IN THE CONTRACT PRICE.
 7. SEED ALL DISTURBED AREAS NOT TOPPED WITH GRAVEL PER SEEDING SCHEDULE ON DETAIL ON SHEET C7.
 8. MAXIMUM CUT SLOPE = 2H:1V UNLESS OTHERWISE NOTED.
 9. MAXIMUM FILL SLOPE = 3H:1V UNLESS OTHERWISE NOTED.

LEGEND

EXISTING CONTOURS	---
PROPOSED CONTOURS	---
LOD/SILT FENCE	---
EXISTING SPOT ELEVATION	X XXX
PROPOSED SPOT ELEVATION	● XXX



1
C6
GRADING & EROSION CONTROL PLAN
 SCALE: 1" = 20'



This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Plans of and/or engineer reliance on this document without written authorization and signature by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Verizon wireless
 8991 RESERVE DRIVE
 CHARLOTTE, NORTH CAROLINA 28269

PROJECT INFORMATION:
 VERIZON NAME:
 RICHLAND CREEK
 VERIZON No.: TBD
 1842 BLUE RIDGE BOULEVARD
 SENECA, SC 29672
 OCONEE COUNTY

CURRENT ISSUE DATE:
 07/10/15

ISSUED FOR:
 CONSTRUCTION

REV./DATE	ISSUED FOR	BY
0 07/10/15	CONSTRUCTION	WCE

Kimley-Horn
 2 SAN COURT, SUITE 450
 PLANTHUR CONCRETE, GA 30092
 PHONE: 770-828-0144
 WWW.KIMLEY-HORN.COM
 SC License CD07188

SOUTH CAROLINA
 KIMLEY-HORN
 AND
 ASSOCIATES,
 INC.
 NO. CD07188
 OFFICER OF AUTHORIZATION

DRAWN BY: CHK: [Signature]
APPV: [Signature]
AMD: [Signature] **ODS:** [Signature] **WCE:** [Signature]
LICENSED: [Signature]

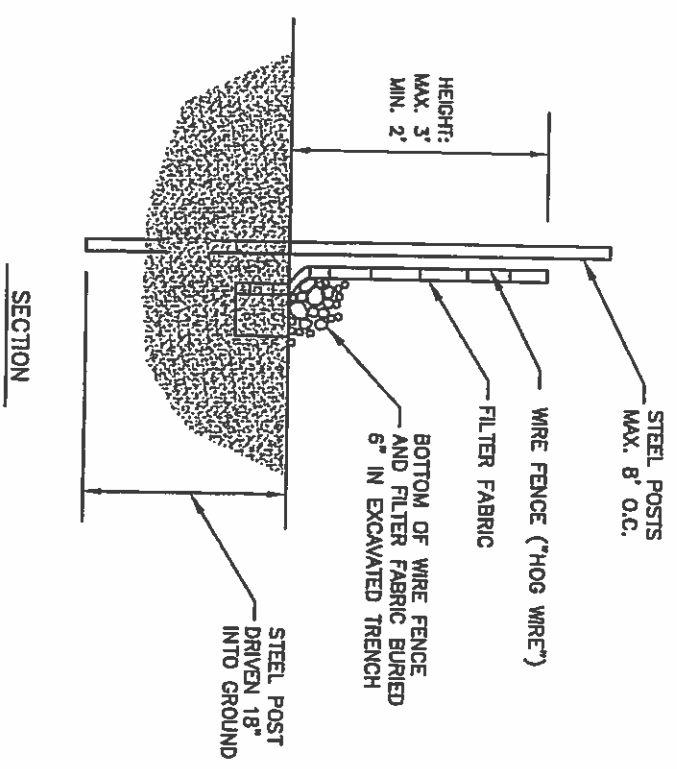
South Carolina
 WILLIAM C. EDWARDS
 LICENSED PROFESSIONAL ENGINEER
 No. 31806
 NCSNOMW 2-10-15

SHEET TITLE:
 GRADING & EROSION CONTROL PLAN

SHEET NUMBER: C6
REVISION: 0
 012055925

EROSION CONTROL NOTES:

1. EROSION CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE.
2. ALL EXCAVATED SOILS NOT NEEDED ON SITE FOR BACKFILL OPERATIONS SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE TAKEN OFF SITE AND LEGALLY DISPOSED OF.
3. SOIL REMAINING ON SITE SHALL HAVE SILT FENCE TIGHTLY PLACED AROUND THE ENTIRE CIRCUMFERENCE OF THE PILE.
4. PROMOTE EROSION CONTROLS AS NECESSARY TO PREVENT EXISTING SOILS FROM DRAINING OFF SITE OR INTO EXISTING DRAINAGE STRUCTURES.
5. ERECTION OF EROSION CONTROLS SHALL BE IN ACCORDANCE WITH STATE AND LOCAL EROSION CONTROL REGULATIONS.



1 SEDIMENT FENCE (SILT FENCE)
NOT TO SCALE

SEEDING SCHEDULE FOR WINTER / SPRING CONSTRUCTION ACTIVITIES

SEEDING MIXTURE

Species	Rate (lb/acre)
Rye (grain)	120
Annual lespedeza (Kobe In Piedmont and Coastal Plain, Korean In Mountains)	50

Omit annual lespedeza when duration of temporary cover is not to extend beyond June.

SEEDING DATES

Mountains--Above 2500 ft: Feb 15 - May 15
 Below 2500 ft.: Feb. 1 - May 1
 Piedmont--Jan. 1 - May 1
 Coastal Plain--Dec. 1 - Apr. 15

SOIL AMENDMENTS

Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.

MULCH

Apply 4,000 lb/acre straw. Anchor straw by locking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

MAINTENANCE

Referfertilize if growth is not fully adequate. Reseed, referfertilize and mulch immediately following erosion or other damage.

SEEDING SCHEDULE FOR SUMMER CONSTRUCTION ACTIVITIES

SEEDING MIXTURE

Species	Rate (lb/acre)
Common Bermudagrass	40-80 (1-2 lb/1,000 sq. ft.)

SEEDING DATES
 Coastal Plain--Apr. 1 - July
 Piedmont--Apr. 15 - June 30

SOIL AMENDMENTS

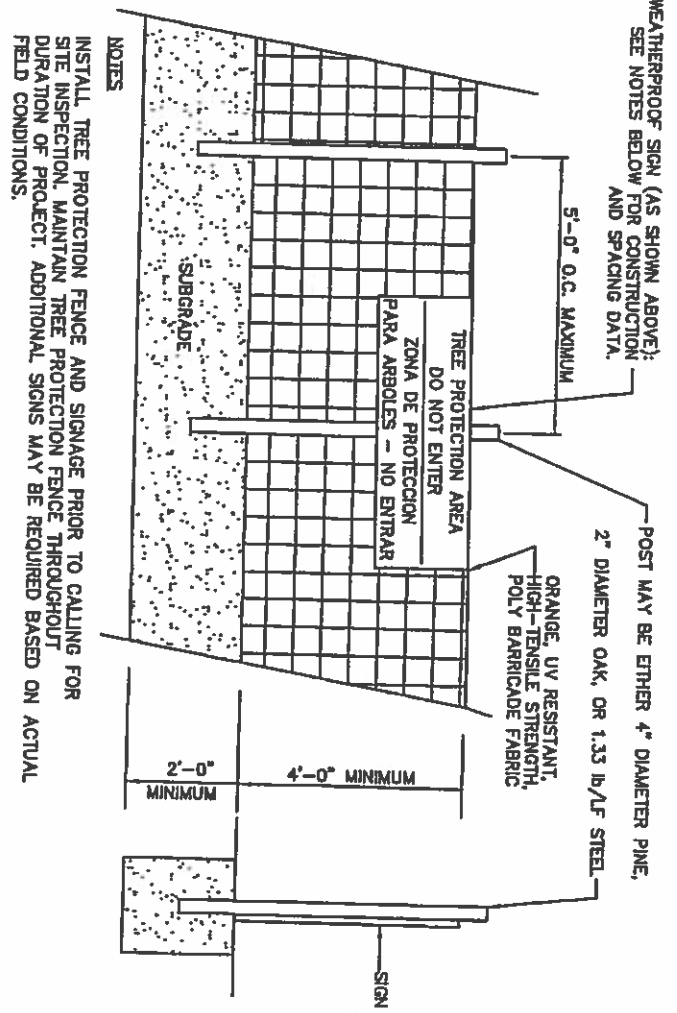
Apply lime and fertilizer according to soil tests, or apply 3,000 lb/acre ground agricultural limestone and 500 lb/acre 10-10-10 fertilizer.

MULCH

Use jute, excelsior matting, or other effective channel lining material to cover the bottom of channels and ditches. The lining should extend above the highest calculated depth of flow. On channel side slopes above this height, and in drainages not requiring temporary lining, apply 4,000 lb/acre grain straw and anchor straw by stapling netting over the top.

MAINTENANCE

A minimum of 3 weeks is required for establishment. Inspect and repair mulch frequently. Referfertilize the following Apr. with 50 lb/acre nitrogen.



2 TREE PROTECTION FENCE
NOT TO SCALE

NOTES
 INSTALL TREE PROTECTION FENCE AND SIGNAGE PRIOR TO CALLING FOR SITE INSPECTION. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT. ADDITIONAL SIGNS MAY BE REQUIRED BASED ON ACTUAL FIELD CONDITIONS.

Verizon wireless
 8881 RESURGENCE DRIVE
 COLUMBIA, NORTH CAROLINA 28288

PROJECT INFORMATION:
 VERIZON NAME:
 RICHLAND CREEK
 VERIZON No.: TBD
 1942 BLUE RIDGE BOULEVARD
 SENEDGA, SC 28572
 OCONEE COUNTY

ISSUED FOR:
 CONSTRUCTION

ISSUED DATE:
 07/10/15

CONSULTANT:
 Kimley-Horn
 2 SUIV COURT, SUITE 400
 PLYMOUTH, NORTH CAROLINA 27662
 WWW.KIMLEY-HORN.COM
 SC License 000168

CONSULTANT:
 SOUTH CAROLINA
 KIMLEY-HORN
 AND
 ASSOCIATES,
 INC.
 NO. 000168

DRAWN BY: CHK
APPV:
AWD **ODS** **WCE**
LICENSER:

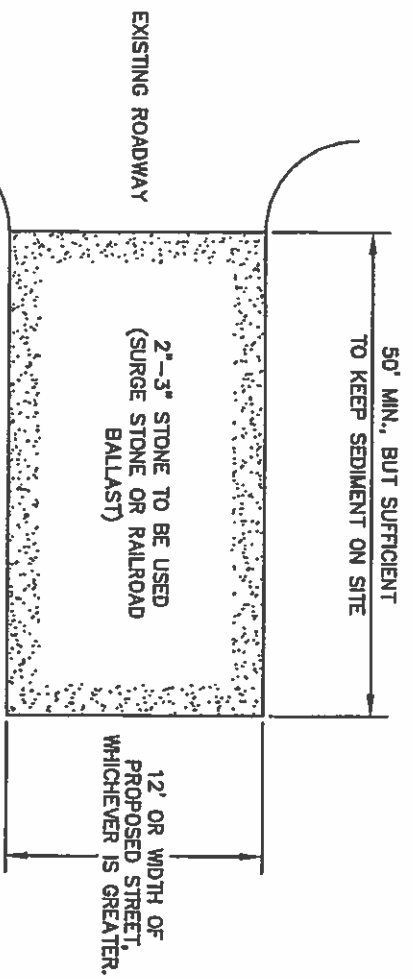
SHEET TITLE:
 GRADING & EROSION CONTROL DETAILS

SHEET NUMBER:
 C7

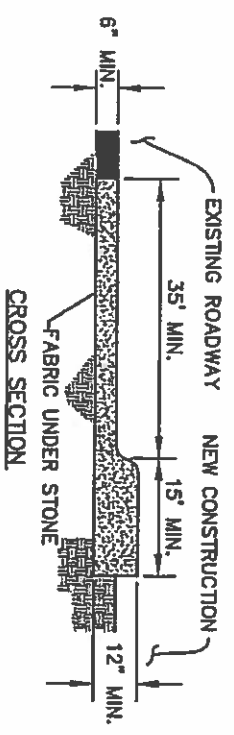
REVISION:
 0

Professional Engineer Seal:
 WILLIAM C. EDMONSON
 LICENSED PROFESSIONAL ENGINEER
 No. 31888
 SOUTH CAROLINA
 2-10-15

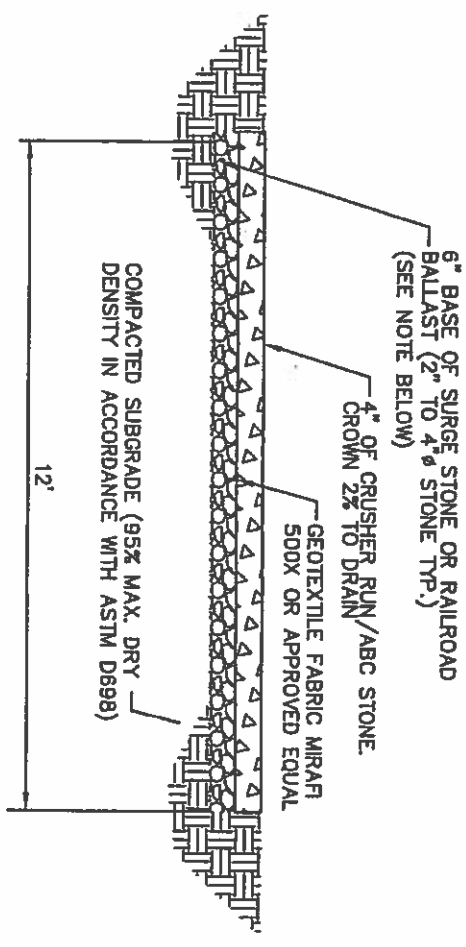
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- NOTES:
1. PUT SILT FENCE OR TREE PROTECTION FENCE UP TO ENSURE CONSTRUCTION ENTRANCE IS USED.
 2. IF CONSTRUCTION ON THE SITES ARE SUCH THAT THE MUD IS NOT REMOVED BY THE VEHICLE TRAVELING OVER THE STONE, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING THE PUBLIC ROAD.
 3. IF A PROJECT CONTINUES TO PULL MUD AND DEBRIS ON TO THE PUBLIC ROAD, THE GOVERNING AUTHORITY WILL CLEAN THE AREA AND INVOICE THE FINANCIALLY RESPONSIBLE PERSON AS INDICATED ON THE FINANCIAL RESPONSIBILITY FORM.



1 CONSTRUCTION ENTRANCE
C8 NOT TO SCALE



NOTE:
IF DETERMINED NECESSARY DURING GRADING AND CONSTRUCTION OF THE ACCESS ROAD BY THE VERIZON WIRELESS PROJECT MANAGER, THE CONTRACTOR SHALL INSTALL 6" BASE OF SURGE STONE OR RAILROAD BALLAST (2" TO 4" STONE TYP.)

2 STANDARD ACCESS ROAD DETAIL
C8 NOT TO SCALE

Verizon wireless
 8001 RESERVANCE DRIVE #2000
 CHARLOTTE, NORTH CAROLINA 28269

PROJECT INFORMATION:
 VERIZON NAME:
 RICHLAND CREEK
 VERIZON No.: TBD
 1842 BLUE RIDGE BOULEVARD
 SENECA, SC 29672
 OCONEE COUNTY

CURRENT ISSUE DATE:
 07/10/15

ISSUED FOR:
 CONSTRUCTION

REV.	DATE	ISSUED FOR:	BY:
0	07/10/15	CONSTRUCTION	WJCE

CONSULTANT:
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 2 SUN COURT, SUITE 400
 PEACHTREE CORNERS, GA 30092
 PHONE: 770-328-0744
 WWW.KIMLEY-HORN.COM
 SC LICENSE: C051188

CONSULTANT:
 SOUTH CAROLINA
 CERTIFICATE OF AUTHORIZATION
 KIMLEY-HORN
 AND
 ASSOCIATES,
 INC.
 NO.000166

DRAWN BY: CHK
 APPV: WJCE
 AND CDS
 LICENSE:

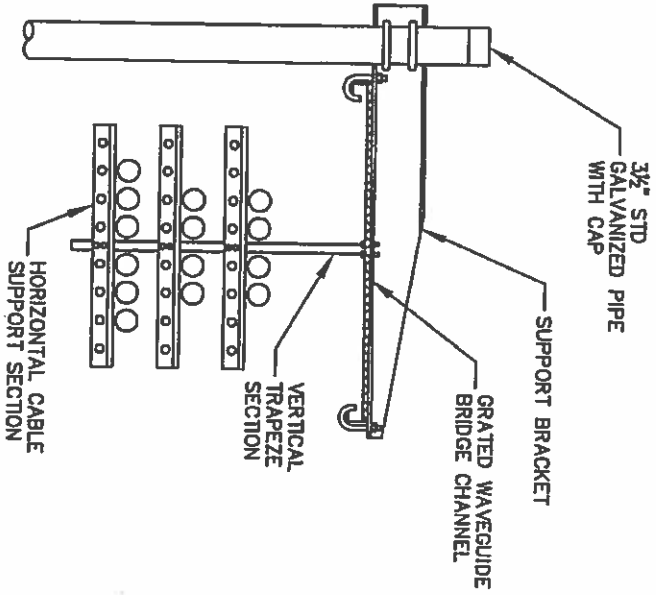
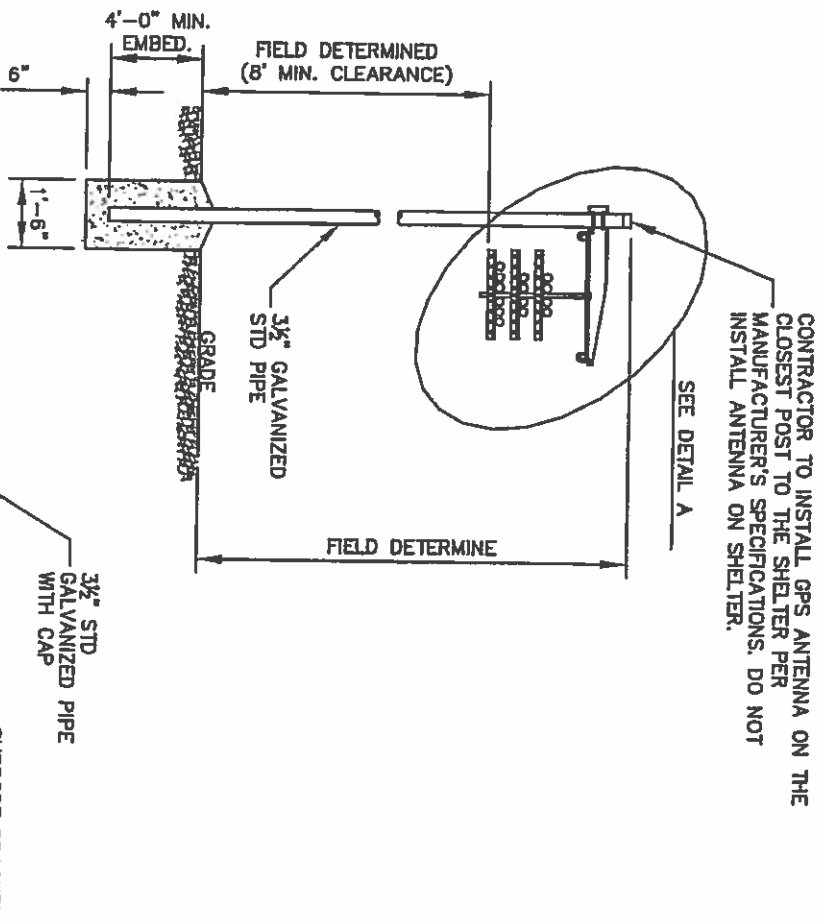
South Carolina
 LICENSED PROFESSIONAL ENGINEER
 No. 31808
 WILLIAM C. EDWARDS
 NCSNOMW 21071

SHEET TITLE:
**ACCESS ROAD
 DETAILS**

SHEET NUMBER: C8
 REVISION: 0
 012055925

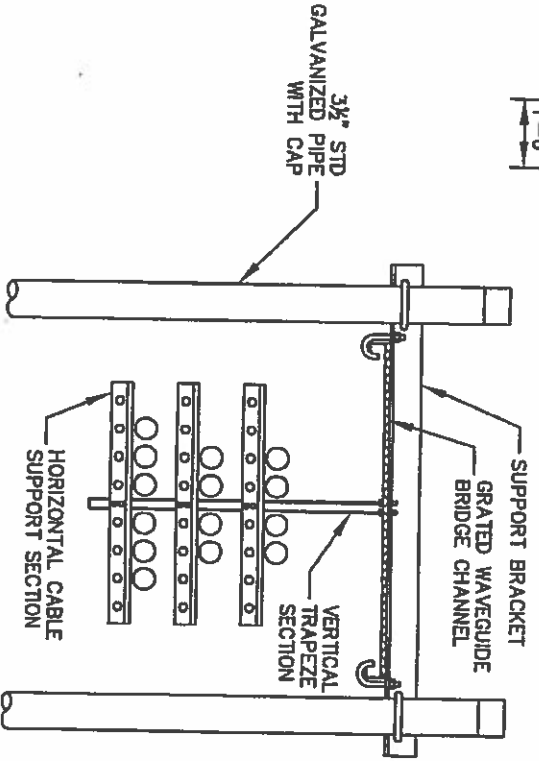
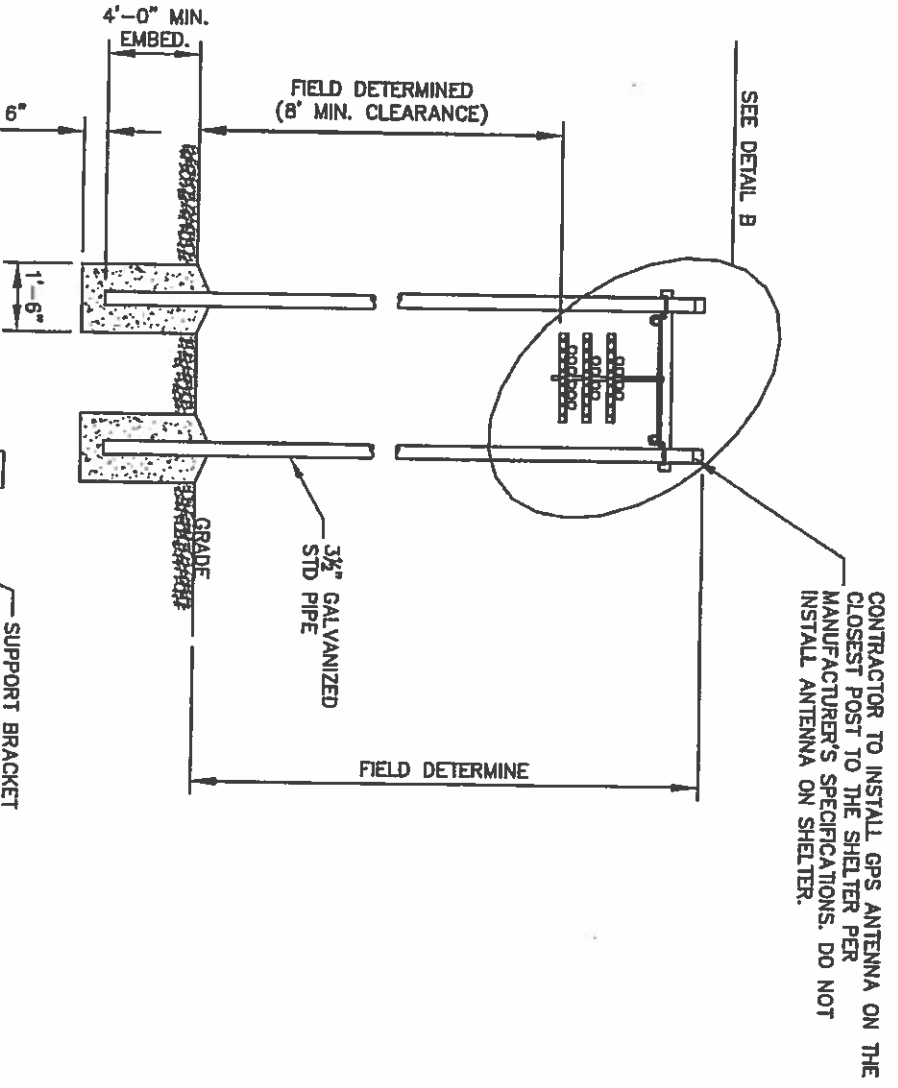
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- NOTES:**
1. ALL MATERIALS FURNISHED BY CONTRACTOR UNLESS OTHERWISE NOTED.
 2. REFER TO GENERAL NOTES ON SHEET C2.



1 WAVEGUIDE BRIDGE DETAIL
NOT TO SCALE
C10

- NOTES:**
1. ALL MATERIALS FURNISHED BY CONTRACTOR UNLESS OTHERWISE NOTED.
 2. REFER TO GENERAL NOTES ON SHEET C2.



2 WAVEGUIDE BRIDGE DETAIL (ALTERNATIVE DESIGN WITH 2 PIPE COLUMNS)
NOT TO SCALE
C10



PROJECT INFORMATION:

VERIZON NAME:
RICHLAND CREEK
VERIZON No.: TBD
1842 BLUE RIDGE BOULEVARD
SERVING, SC 29972
OCONEE COUNTY

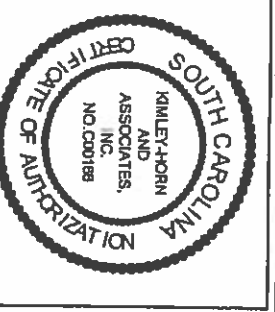
CURRENT ISSUE DATE:
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CONSTRUCTION

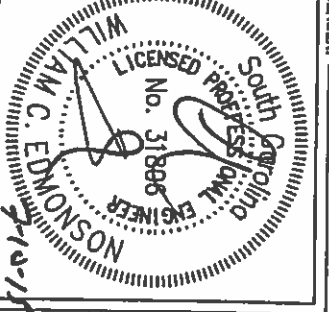
REV. DATE	ISSUED FOR	BY
0	07/10/15	CONSTRUCTION WCE

Kimley-Horn

2 SUN COURT, SUITE 450
PLANTING CONCRETS, GA 30092
PHONE: 770-825-0144
WWW.KIMLEY-HORN.COM
SC License CD00188

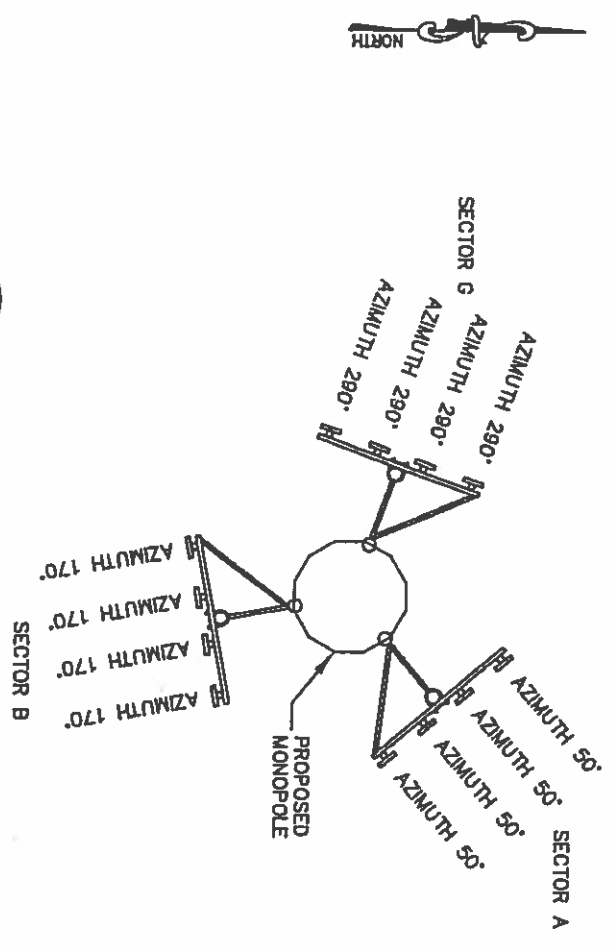


DRAWN BY: CHIK
MWD CDS
LICENSED: NPL
WCE



WAVEGUIDE BRIDGE DETAILS

SHEET NUMBER: **C10**
REVISION: **0**
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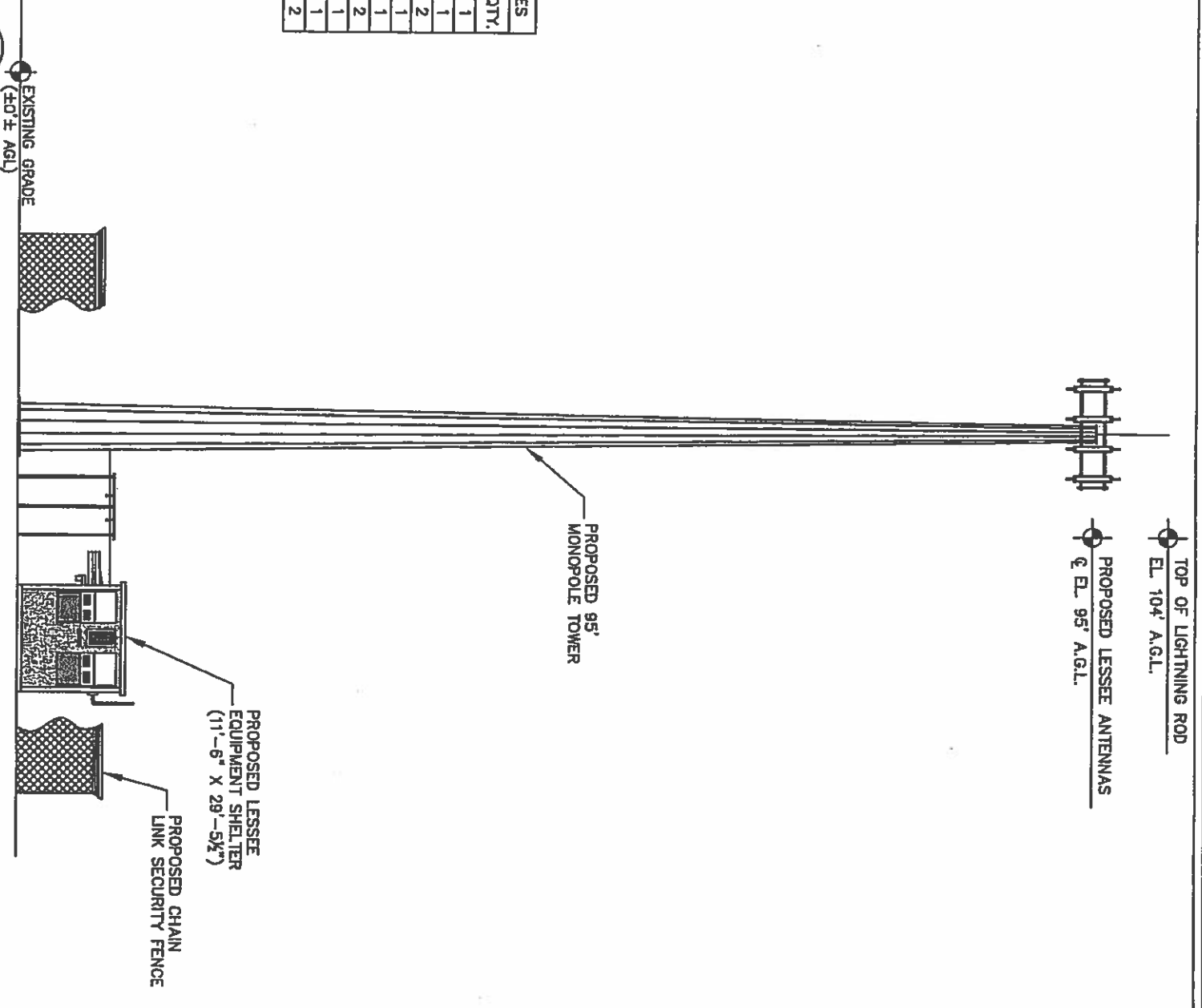
1 ANTENNA ORIENTATION PLAN
 (NOT TO SCALE, FOR ILLUSTRATIVE PURPOSES ONLY, SEE STRUCTURAL ANALYSIS BY OTHERS TO CONFIRM ANTENNA MOUNT TYPE)

ANTENNA SECTOR	AZIMUTH IN DEGREES	MECHANICAL DOWN TILT	ANTENNA* (QTY.) MAKE/MODEL	COMPOSITION CABLES		
				LENGTH	SIZE	QTY.
SECTOR A	50°	0°	(1) ANDREW / HBXX-6516DS-A2M_PORT1±45_02DT_1920	118±	1-5/8"ø	1
	50°	0°	(1) ANDREW / HBXX-6515DS-A2M_PORT1±45_02DT_2110	118±	1-5/8"ø	1
SECTOR B	170°	0°	(1) ANDREW / HBXX-6516DS-A2M_PORT1±45_02DT_1920	118±	1-5/8"ø	1
	170°	0°	(2) ANDREW / LNX-6515DS-A1M_4DT_750MHZ	118±	1-5/8"ø	2
SECTOR G	290°	0°	(1) ANDREW / HBXX-6516DS-A2M_PORT1±45_02DT_1920	118±	1-5/8"ø	1
	290°	0°	(2) ANDREW / LNX-6515DS-A1M_4DT_750MHZ	118±	1-5/8"ø	2

* CONTRACTOR ALSO TO INSTALL THREE(3) RRUS B13 W / A2 UNITS, SIX(6) RRUS 12 W / A2 UNITS OR SIX(6) RRUS 32 UNITS, TWO(2) HYBRID FIBER CABLES, AND ANY RAYCAP BOXES AS NEEDED, CONTRACTOR TO VERIFY WITH VERIZON WIRELESS PROJECT MANAGER PRIOR TO INSTALLATION.

NOTE:
 1. ALL INFORMATION ON THIS PAGE IS PROVIDED BY VERIZON WIRELESS AND IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL CONTACT THE VERIZON WIRELESS CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION FOR ALL DETAILED ANTENNA, AND COAX CABLE INFORMATION.
 2. REFER TO TOWER DESIGN DRAWINGS BY TOWER OWNER FOR ANALYSIS OF PROPOSED TOWER.
 3. IT IS UNDERSTOOD THAT KIMLEY-HORN MAKES NO WARRANTY, EITHER EXPRESSED OR IMPLIED, FINDINGS, DESIGNS, RECOMMENDATIONS, SPECIFICATIONS, OPINION, OR PROFESSIONAL ADVICE RELATING TO THE STRUCTURAL ADEQUACY OF THE PROPOSED TOWER OR ATTACHMENT OF ANTENNAS OR OTHER APURTENANCES.

2 MONOPOLE TOWER ELEVATION - SOUTHEAST VIEW
 (FACING NORTHWEST)
 NOT TO SCALE



- NOTES:**
1. ALL EXISTING AND PROPOSED ATTACHMENTS TO TOWER BASED ON TOWER DESIGN DRAWINGS BY OTHERS (SEE GENERAL NOTE 7, SHEET C2).
 2. THE TOWER ELEVATION SHOWN IS FOR REFERENCE ONLY.
 3. COAX/FIBER CABLE LENGTHS ARE APPROXIMATE. CONTRACTOR TO VERIFY CORRECT LENGTH IN FIELD AT TIME OF CONSTRUCTION.
 4. PROPOSED BUILDING WILL HAVE BROWN AGGREGATE FINISH.
 5. PROPOSED TOWER WILL BE GALVANIZED STEEL-GRAY IN COLOR AND UNLIT.

Verizon wireless
 8881 RESEARCH DRIVE
 CHARLOTTE, NORTH CAROLINA 28203

PROJECT INFORMATION:
 VERIZON NAME:
 RICHLAND CREEK
 VERIZON No.: TBD
 1842 BLUE RIDGE BOULEVARD
 SENECA, SC 29672
 OCONEE COUNTY

CURRENT ISSUE DATE:
 07/10/15

ISSUED FOR:
CONSTRUCTION

REV./DATE: ISSUED FOR: BY:
 0 07/10/15 CONSTRUCTION WCE

Kimley-Horn
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 SC License: 000188

CONSULTANT:

SOUTH CAROLINA
 KIMLEY-HORN AND ASSOCIATES, INC.
 NO.000188
 CERTIFICATE OF AUTHORIZATION

DRAWN BY: CHK: APJ:
 MWD GDS WCE

FOR ILLUSTRATIVE PURPOSES ONLY. NO SIGNATURE REQUIRED

SHEET TITLE:
ANTENNA AND TOWER ELEVATION DETAILS

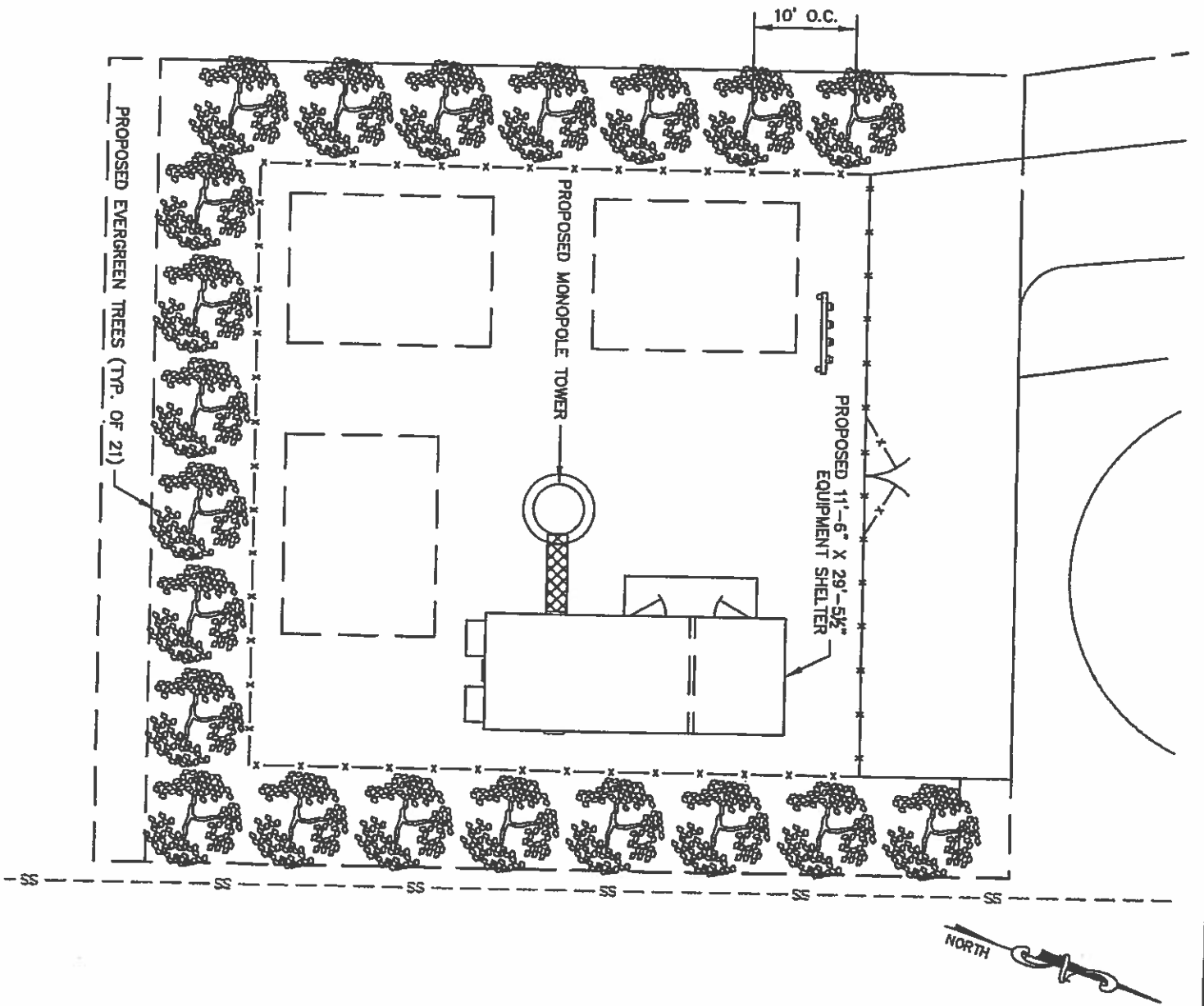
SHEET NUMBER: **C11** REVISION: **0**
 012058925

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	MATURE SIZE	REMARKS
	21	Ilex 'Nellie R. Stevens'	Nellie R. Stevens Holly	B&B	7 Gal.	15'-20'	N/A

GENERAL LANDSCAPE NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF HIS WORK WITH THAT OF ALL OTHER CONTRACTORS. THIS PLAN DOES NOT GUARANTEE THE EXISTENCE OR NON-EXISTENCE OF ANY UTILITIES. PRIOR TO COMMENCEMENT OF ANY WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE GROUND AND UNDERGROUND UTILITIES.
2. THE QUALITY AND SIZE OF ALL PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT STANDARDS AS SET FORTH IN ANSI Z60.180 - AMERICAN STANDARD FOR NURSERY STOCK.
3. ALL DISTURBED AREAS NOT COVERED BY HARDSCAPE OR PLANT MATERIALS SHALL BE COVERED WITH SEED AND STRAW.
4. PLANT SUBSTITUTION MAY BE PERMITTED ONLY AFTER PROOF THAT SPECIFIED PLANTS ARE UNAVAILABLE AND THE REQUEST HAS BEEN SUBMITTED TO THE OWNER OR LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL PROVIDE THE NEAREST EQUIVALENT OBTAINABLE SIZE AND VARIETY OF THE PLANT HAVING THE SAME ESSENTIAL CHARACTERISTICS AS THE PLANT SPECIFIED.
5. MINOR PLANT LOCATION ADJUSTMENTS MAY BE MADE IN THE FIELD TO ENSURE ACCESS TO UTILITY JUNCTION BOXES, FREE SITE LIGHTING OF FUTURE TREE CANOPY INTERFERENCE AND ALLOW UNINHIBITED PEDESTRIAN / VEHICULAR CIRCULATION ON ALL PAVEMENTS OR FOUNDATIONS.
6. ALL SHRUB MASSES OF TWO OR MORE SHALL BE EDGED INTO A PLANTING BED AND MULCHED PER DETAIL. ALL INDIVIDUAL TREES AND SHRUBS SHALL HAVE A MULCH SAUCER EQUAL IN DIAMETER TO THE PLANTING PIT DIAMETER AND SHALL BE MULCHED AS SHOWN ON THE DETAILS. UNLESS OTHERWISE INDICATED, ALL BED EDGES SHALL BE A DEEP CUT CLEAN SPADE EDGE.
7. THE CONTRACTOR SHALL VERIFY THAT EACH TREE OR SHRUB PIT WILL DRAIN BEFORE INSTALLING PLANT MATERIAL. HE SHALL FILL THE HOLE WITH SIX INCHES (6") OF WATER THAT SHOULD PERCOLATE OUT WITHIN TWENTY-FOUR HOURS. SHOULD ANY AREA NOT DRAIN PROPERLY, A PERFORATED DRAIN LINE SHALL BE INSTALLED, OR THE PLANTS RELOCATED.
8. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY IF HE ENCOUNTERS ANY UNSUITABLE SURFACE OR SUBSURFACE DRAINAGE CONDITIONS, SOIL DEPTH, LATENT SOILS, HARD PAN, UTILITY LINES, OR OTHER CONDITIONS THAT WILL JEOPARDIZE THE HEALTH AND VIGOR OF THE PLANTS. SHOULD THE CONTRACTOR NOT NOTIFY THE OWNER OF A PROBLEM AREA, HE WARRANTS THAT THE AREAS ARE SUITABLE FOR PROPER GROWTH AND DEVELOPMENT OF ALL PLANTS INSTALLED.
9. THE CONTRACTOR SHALL CLEAN UP THE SITE AT THE COMPLETION OF THE PROJECT AND MAINTAIN THE SITE IN A REASONABLY CLEAN AND NEAT CONDITION DURING INSTALLATION. STREETS AND DRIVES SHALL BE CLEANED REGULARLY TO REMOVE CONSTRUCTION DEBRIS AND DIRT RESULTING FROM THE WORK.
10. THE CONTRACTOR SHOULD VERIFY LANDSCAPING/TREE PLANTING LOCATIONS WITH THE PUBLIC UTILITIES DEPARTMENT TO AVOID CONFLICTS WITH WATER, SEWER, AND GAS LINES.
11. PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLE SUPERIOR IN FORM, COMPACTNESS AND SYMMETRY. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECT ADULT EGGS, PUPAE OR LARVAE. THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH.
12. THERE SHALL BE NO CIRCLING OR GIRDLING ROOTS. CIRCLING ROOTS SHOULD BE CUT IN AT LEAST ONE PLACE.
13. THERE SHOULD BE ONE DOMINANT LEADER TO THE TOP OF THE TREE WITH THE LARGEST BRANCHES SPACED AT LEAST 6 INCHES APART. THERE CAN BE TWO LEADERS IN THE TOP 10% OF THE TREE IF IT IS OTHERWISE OF GOOD QUALITY.
14. THE TREE CANOPY SHOULD BE SYMMETRICAL AND FREE OF LARGE HOLES. CLEAR TRUNK SHOULD BE NO MORE THAN 40% OF TREE HEIGHT UNLESS OTHERWISE SPECIFIED IN THE PLANTING SPECIFICATIONS. CLEAR TRUNK SHALL BE OF SUFFICIENT HEIGHT TO CLEAR SURROUNDING USES THAT MAY BE IMPACTED BY THE FUTURE GROWTH OF THE TREE.
15. OPEN TRUNK AND BRANCH WOUNDS SHALL BE LESS THAN 10% OF THE CIRCUMFERENCE AT THE WOUND AND NO MORE THAN 2 INCHES TALL. PROPERLY MADE PRUNING CUTS ARE NOT CONSIDERED OPEN TRUNK WOUNDS. THERE SHOULD BE NO COMBS OR BLEEDING, AND THERE SHOULD BE NO SIGNS OF INSECTS OR DISEASE ON MORE THAN 5% OF THE TREE.
16. IF ANY OF THE ABOVE CONDITIONS ARE NOT MET, TREES MAY BE REJECTED.
17. TREE PROTECTION DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY CLEARING, GRUBBING, OR GRADING OF THE SITE BY THE LOCAL AERBORIST.



Verizon wireless
 8001 RESEARCH DRIVE
 CHARLOTTE, NORTH CAROLINA 28228

PROJECT INFORMATION:
 VERIZON NAME:
 RICHLAND CREEK
 VERIZON NO.: TBD
 1442 BLUE RIDGE BOULEVARD
 SENECA, SC 29672
 OCONEE COUNTY

CURRENT ISSUE DATE:
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REV./DATE ISSUED FOR BY:
 0 07/10/15 CONSTRUCTION WCE

CONSULTANT:
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 PHONE: 770-852-0744
 WWW.KIMLEY-HORN.COM
 SC License 000168

CONSULTANT:
 SOUTH CAROLINA
 KIMLEY-HORN
 AND
 ASSOCIATES,
 INC.
 NO. 000168
 CERTIFICATE OF AUTHORIZATION

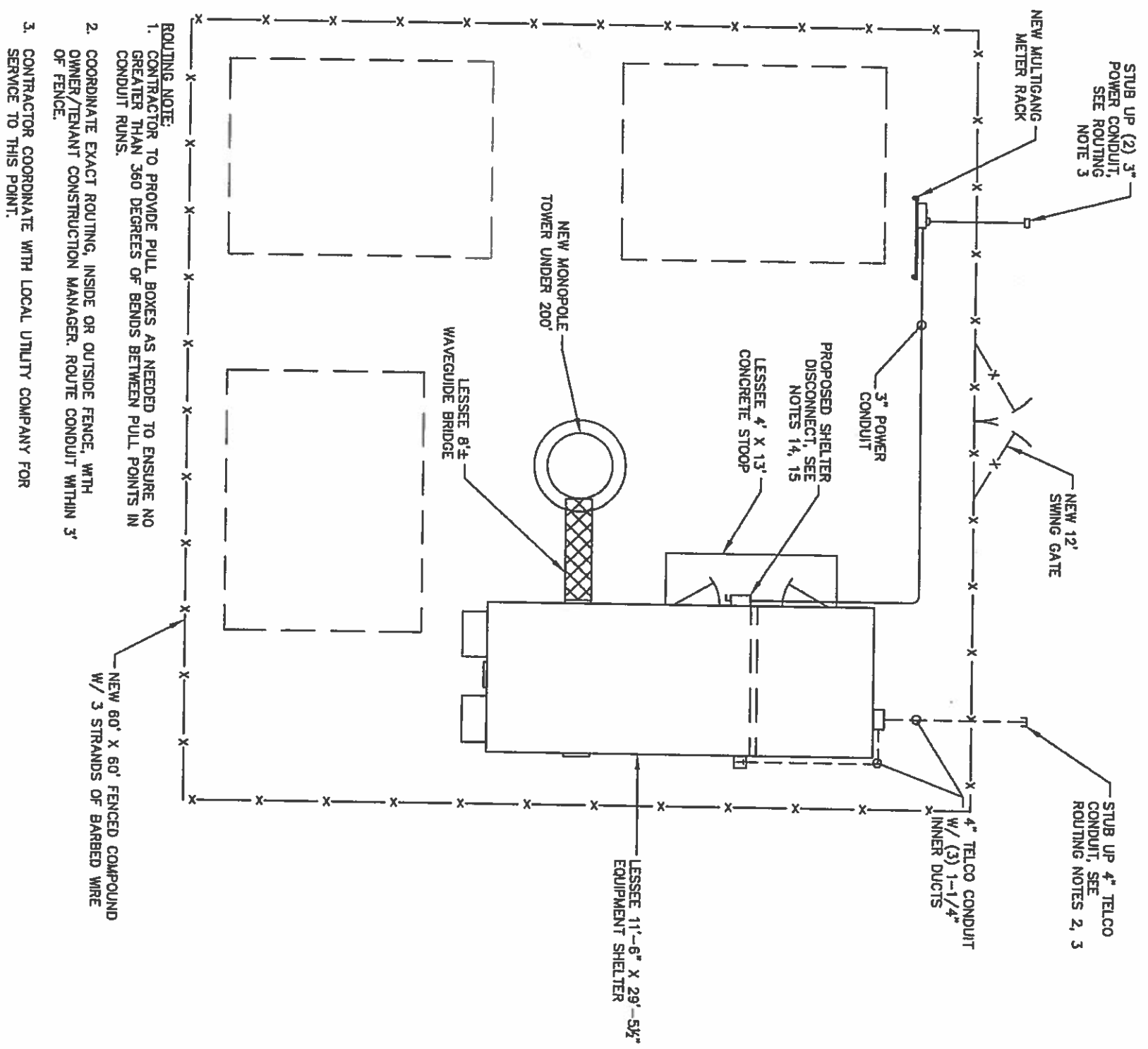
DRAWN BY: CHK. APV.
 MND CDS WCE
 LICENSED PROFESSIONAL ENGINEER
 WILLIAM C. EDMONDSON
 No. 51806
 SOUTH CAROLINA
 07/15

SHEET TITLE:
 LANDSCAPING PLAN

SHEET NUMBER:
 L1

REVISION:
 0

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 012085925



- ROUTING NOTE:**
1. CONTRACTOR TO PROVIDE PULL BOXES AS NEEDED TO ENSURE NO GREATER THAN 360 DEGREES OF BENDS BETWEEN PULL POINTS IN CONDUIT RUNS.
 2. COORDINATE EXACT ROUTING, INSIDE OR OUTSIDE FENCE, WITH OWNER/TENANT CONSTRUCTION MANAGER. ROUTE CONDUIT WITHIN 3' OF FENCE.
 3. CONTRACTOR COORDINATE WITH LOCAL UTILITY COMPANY FOR SERVICE TO THIS POINT.

BASIC SERVICE ROUTING PLAN

SCALE: 1" = 10'

NOTES AND SPECIFICATIONS:

1. ALL ELECTRICAL WORK SHALL COMPLY WITH NEC, STATE, AND LOCAL CODES. ALL ELECTRICAL DEVICES, MATERIALS, AND SERVICE EQUIPMENT SHALL BE LABEL-LISTED BY AN APPROVED THIRD PARTY TESTING AGENCY.
2. CONTRACTOR SHALL OBTAIN OWNER/TENANT SPECIFICATIONS AND REVIEW FOR ADDITIONAL DETAILS AND REQUIREMENTS THAT MAY NOT BE SHOWN IN THESE DRAWINGS. CONTRACTOR SHALL COMPLY WITH ANY ADDITIONAL OWNER/TENANT SPECIFICATIONS AND REQUIREMENTS.
3. CONTRACTOR SHALL APPLY FOR UTILITY SERVICES, BOTH ELECTRIC AND TELEPHONE, FOR THE OWNER/TENANT. THIS APPLICATION SHALL BE MADE NO LATER THAN THE NEXT BUSINESS DAY FOLLOWING THE AWARD OF THE CONTRACT. CONTRACTOR SHALL COORDINATE WITH THE ELECTRIC UTILITY FOR THE EXACT TRANSFORMER LOCATION, METERING REQUIREMENTS, AND SERVICE ROUTING. CONTRACTOR SHALL COORDINATE WITH THE TELEPHONE UTILITY FOR THE EXACT TELEPHONE REQUIREMENTS AND SERVICE ROUTING.
4. PRIOR TO PURCHASING EQUIPMENT, THE CONTRACTOR SHALL CONTACT THE ELECTRIC UTILITY AND OBTAIN IN WRITING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE UTILITY SERVICE POINT. PROVIDE MAX AFC SIGNAGE AS REQUIRED PER NEC 110.2.4. THE CONTRACTOR SHALL ENSURE ALL ELECTRICAL EQUIPMENT, CIRCUIT BREAKERS, DISCONNECTS, FUSES, AND PANELBOARDS HAVE A FAULT CURRENT INTERRUPTING RATING GREATER THAN THE AVAILABLE FAULT CURRENT. IN NO CASE SHALL THE FAULT CURRENT INTERRUPTING RATING BE LESS THAN 10,000 AMPS.
5. CONTRACTOR TO PROVIDE 2-200 LB TEST POLYETHYLENE PULL CORDS SECURELY FASTENED AT EACH END OF POWER AND TELCO CONDUIT. PROVIDE CAPS ON ENDS OF UNUSED CONDUIT.
6. CONTRACTOR TO PROVIDE A REBAR MARKER WITH AT LEAST 2 FEET EXPOSED ABOVE GRADE AND PAINTED BRIGHT ORANGE TO INDICATE LOCATION OF CONDUIT CAPPED BELOW GRADE.
7. PRIOR TO TRENCHING CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL REPAIR AT CONTRACTOR'S EXPENSE ANY DAMAGE TO EXISTING UTILITIES.
8. CONTRACTOR TO VERIFY EXACT ROUTING OF POWER AND TELCO CONDUIT WITH LOCAL UTILITIES AND OWNER/TENANT. ENSURE ALL CONDUIT STUB-UPS ACCOMMODATE EQUIPMENT REQUIREMENTS.
9. UNDERGROUND CONDUITS SHALL BE SCHEDULE 40 PVC UNLESS NOTED OTHERWISE. USE SCHEDULE 80 PVC UNDER ROADS. USE LONG-SWEEP RIGID GALVANIZED STEEL (RGS) FOR ELBOWS. USE RGS FOR RISERS TO 36" FOR CONDUIT. MANUFACTURED BENDS SHALL HAVE A MINIMUM RADIUS OF 36" FOR CONDUIT.
10. CONDUIT RUNS SHALL HAVE A CONTINUOUS SLOPE DOWNWARD AND AWAY FROM THE EQUIPMENT TO ALLOW WATER TO FLOW AWAY FROM THE EQUIPMENT AND SHELTER. EXCAVATE TRENCHES ALONG STRAIGHT LINES PRIOR TO INSTALLING CONDUIT TO ACCOMMODATE ADJUSTING THE ELEVATION, AS NEEDED.
11. CONDUIT ENTERING EQUIPMENT SHALL BE SEALED WITH A SEALANT THAT IS IDENTIFIED FOR USE WITH THE CABLE/CONDUCTOR INSULATION, SHIELDING, ETC.
12. THE OWNER SHALL FURNISH AND THE CONTRACTOR SHALL INSTALL ADDITIONAL SIGNAGE TO BE LOCATED AT THE COMPOUND FENCE. CONTRACTOR SHALL COORDINATE WITH OWNER/TENANT CONSTRUCTION MANAGER FOR PLACEMENT OF SIGNAGE.
13. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE LANDSCAPING AREA.
14. CONTRACTOR SHALL PROVIDE A LABEL TO READ: "OPENING THE SHELTER DISCONNECT WILL CAUSE THE SHELTER GENERATOR TO START. TO REMOVE POWER ENTIRELY FROM THE SHELTER, THE GENERATOR MUST BE TURNED OFF AND THE GENERATOR BREAKER MUST BE OPENED."
15. CONTRACTOR ENSURE A MINIMUM 3' WORKING CLEARANCE IN FRONT OF ELECTRICAL EQUIPMENT PER NEC.

Verizon Wireless
 881 RESERVE DRIVE
 COLUMBIA, SOUTH CAROLINA 29908

PROJECT INFORMATION:
 VERIZON NAME:
 RICHLAND CREEK
 VERIZON No.: TBD
 1642 BLUE RIDGE BOULEVARD
 SENECA, SC 29672
 OCONEE COUNTY

CURRENT ISSUE DATE:
 7/15/15

ISSUED FOR:
CONSTRUCTION

REV. DATE: 7/15/15 ISSUED FOR: JKL

CONSULTANT:
Kimley»Horn
 3 SUI COURT, SUITE 430
 FULTON, MISSISSIPPI 39092
 PHONE: 770-802-0144
 WWW.KIMLEY-HORN.COM
 SC License 000165

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 Consulting Group, PA
 Fort Collins, CO
 www.apogee.com
 (970) 685-7270
 ACG PROJECT NO.: 2015 388

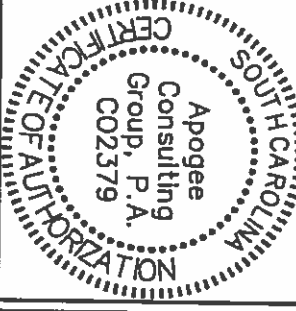
DRAWN BY: CHK. APP'D: JMK
 OCB: NAC
 LICENSE: JMK

SOUTH CAROLINA REGISTERED PROFESSIONAL ENGINEER
 20429
 KEVIN MASON
 7/15/15

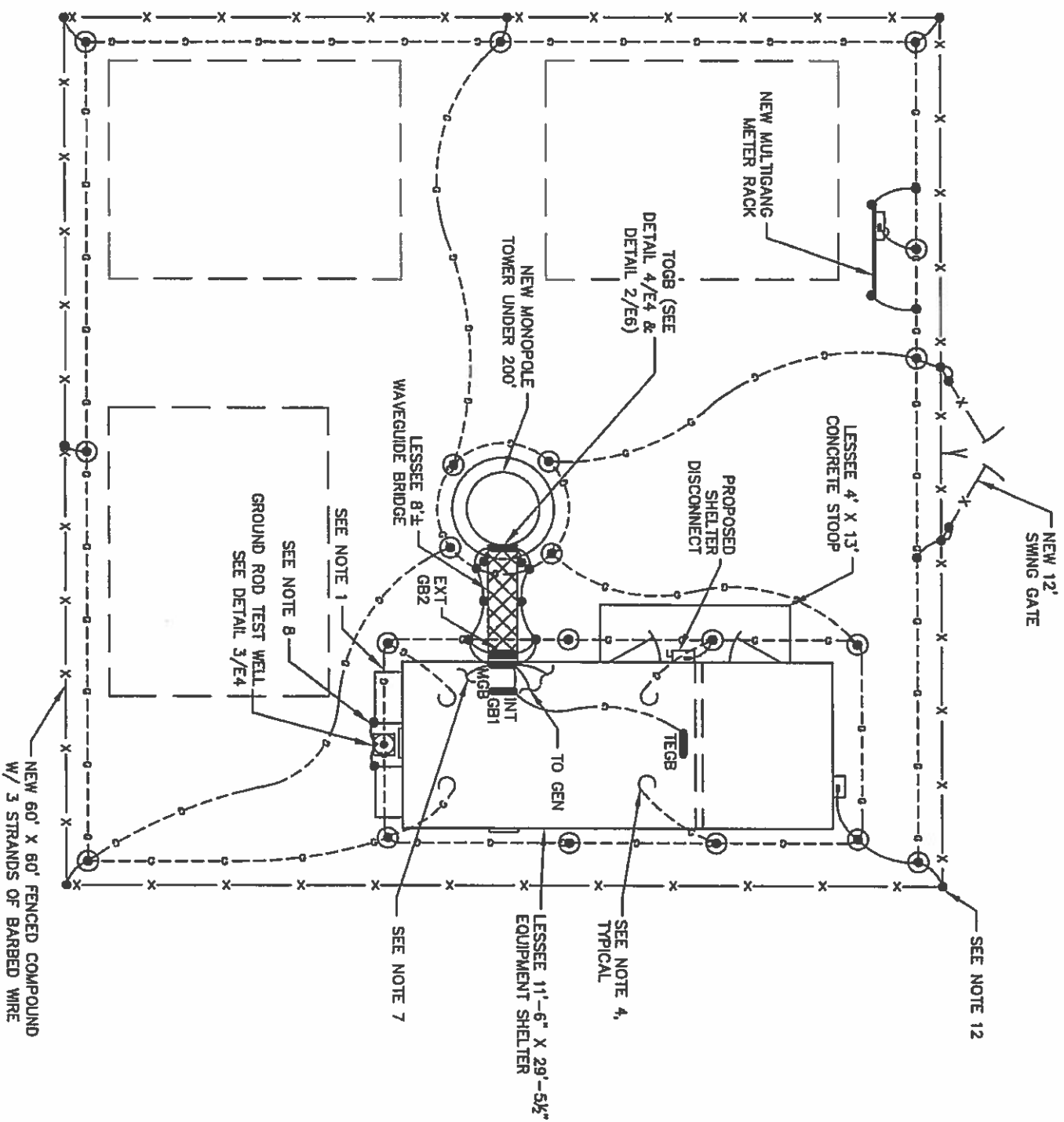
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BASIC SERVICE ROUTING PLAN

SHEET NUMBER:
E1

REVISION:
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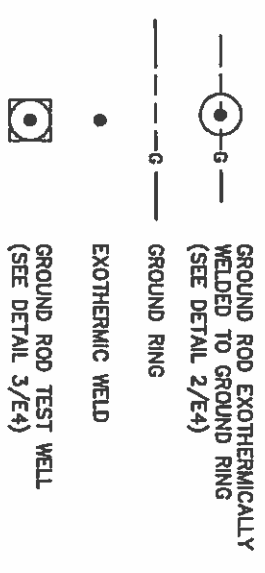


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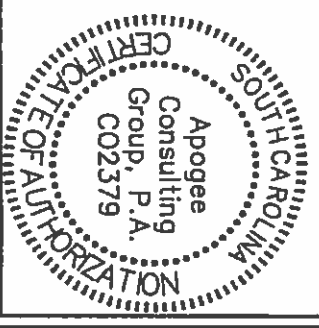


- NOTES AND SPECIFICATIONS:**
1. THE GROUND RING SHALL CONSIST OF 2 AWG TINNED SOLID BARE COPPER CONDUCTOR, UNLESS NOTED OTHERWISE. BURIED AT 30" BELOW FINISHED GRADE (OR BELOW FROSTLINE). ALL CONNECTIONS SHALL BE MADE USING AN EXOTHERMIC WELD, UNLESS NOTED OTHERWISE.
 2. GROUND CONDUCTOR BEND RADIUS SHALL NOT BE LESS THAN 8".
 3. MINIMUM SPACING BETWEEN GROUND RODS SHALL NOT BE LESS THAN 10', UNLESS NOTED OTHERWISE.
 4. CONTRACTOR SHALL PROVIDE A 60" 2 AWG TINNED SOLID BARE COPPER CONDUCTOR PIGTAIL, BOND THE PIGTAIL TO THE SHELTER INTERIOR GROUND HALO PIGTAIL USING AN EXOTHERMIC WELD (TYPICAL OF 4).
 5. CONTRACTOR SHALL BOND THE TOWER GROUND BAR (TOGB) TO THE GROUND RING USING A 2 AWG TINNED SOLID BARE COPPER CONDUCTOR AND AN EXOTHERMIC WELD.
 6. SHELTER INTERIOR GROUNDING PROVIDED BY SHELTER SUPPLIER, SHOWN FOR CLARITY. CONTRACTOR SHALL BOND THE MAIN GROUND BAR (MGB) & EXTERNAL GROUND BAR (GB2) TO THE GROUND RING USING 2 AWG TINNED SOLID BARE COPPER CONDUCTORS AND EXOTHERMIC WELDS.
 7. TO INTERNAL GROUND HALO (TYPICAL OF 2).
 8. CONTRACTOR SHALL BOND THE OUTSIDE A/C UNITS TO THE GROUND RING USING 2 AWG TINNED SOLID BARE COPPER CONDUCTORS AND EXOTHERMIC WELDS.
 9. ALL GROUNDING/BONDING CONDUCTORS LOCATED ABOVE FINISHED GRADE SHALL BE RUN IN 1" PVC CONDUIT.
 10. CONTRACTOR SHALL NOTIFY THE OWNER/TENANT CONSTRUCTION MANAGER TO ALLOW THE OWNER/TENANT CONSTRUCTION MANAGER TO INSPECT THE GROUNDING SYSTEM PRIOR TO BACKFILLING.
 11. CONTRACTOR SHALL HIRE AN INDEPENDENT 3RD PARTY (OTHER THAN THE GROUND SYSTEM INSTALLER) TO PERFORM AN IEEE 81 "FALL OF POTENTIAL" METHOD GROUND TEST. A VERIZON REPRESENTATIVE WILL BE PRESENT DURING THE TEST. CONTRACTOR SHALL SUBMIT A GROUND TEST DURING THE WALKTHROUGH.
 12. WHERE SHELTER AND/OR EQUIPMENT WITH EXPOSED METAL PARTS IS WITHIN 6' OF THE FENCE, BOND TO THE NEAREST FENCE POST WITH 2 AWG TINNED SOLID BARE COPPER CONDUCTOR.

LEGEND:



GROUNDING PLAN
SCALE: 1" = 10'



Verizon Wireless
2015 Research Drive
Columbia, SC 29222

PROJECT INFORMATION:
VERIZON NAME:
RICHLAND CREEK
VERIZON No.: TBD
1642 BLUE RIDGE BOULEVARD
SENECA, SC 29672
DOONEE COUNTY

ISSUED FOR:
CONSTRUCTION

REV./DATE: ISSUED FOR: BY:
0 7/15/15 CONSTRUCTION JKM

Kimley-Horn
2 SUN COURT, SUITE 430
P.O. BOX 5700
FLEMINGHAM, VA 22031
WWW.KH-CORP.COM
SC License 000188

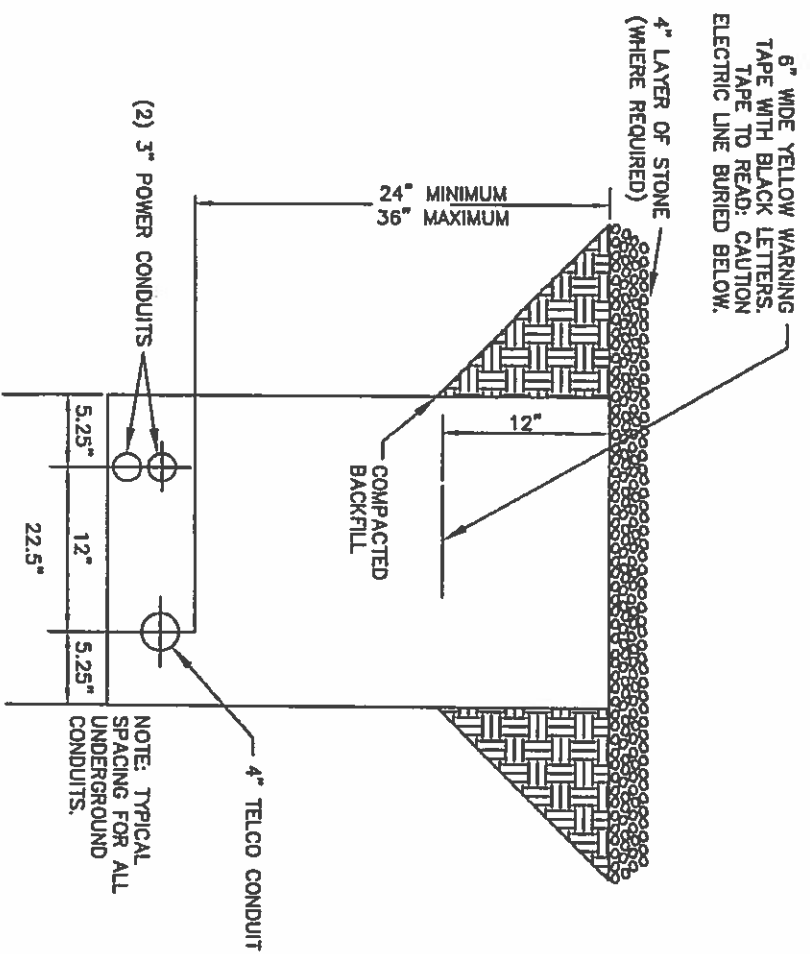
APOGEE
Consulting Group, PA
www.apogee.com
ACG PROJECT NO.: 2015 398

DRWING BY: CHK: APP: LICENSER:
OCB MAC JKM

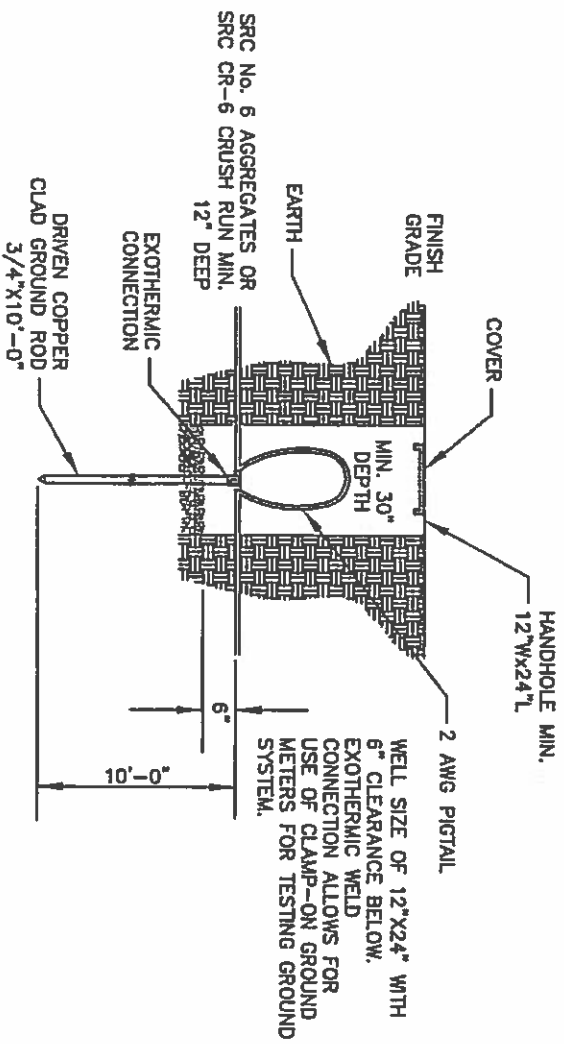
South Carolina Registered Professional Engineer
20429
KEVIN NOSWORTHY
7/15/15

GROUNDING PLAN

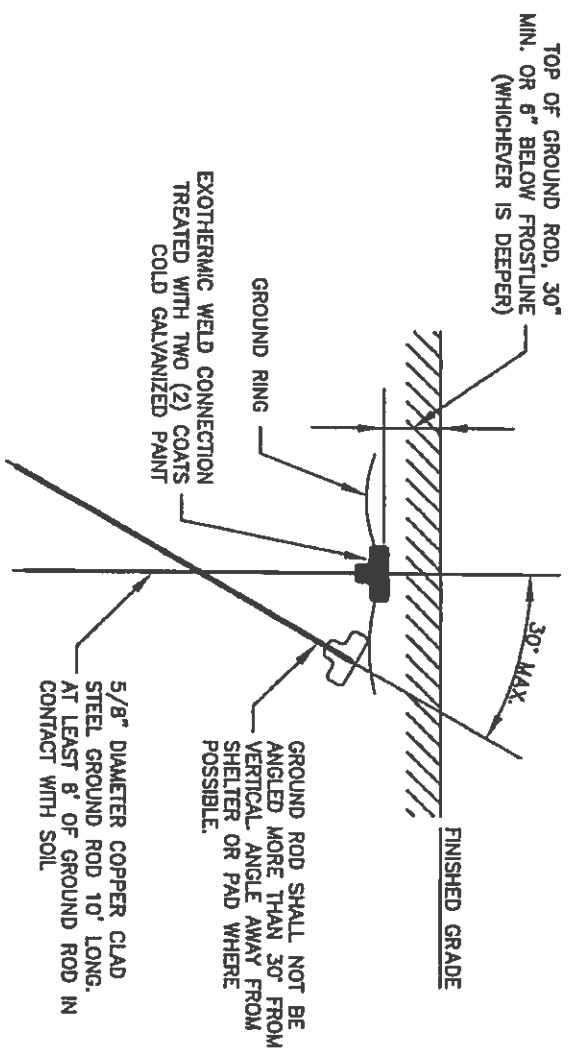
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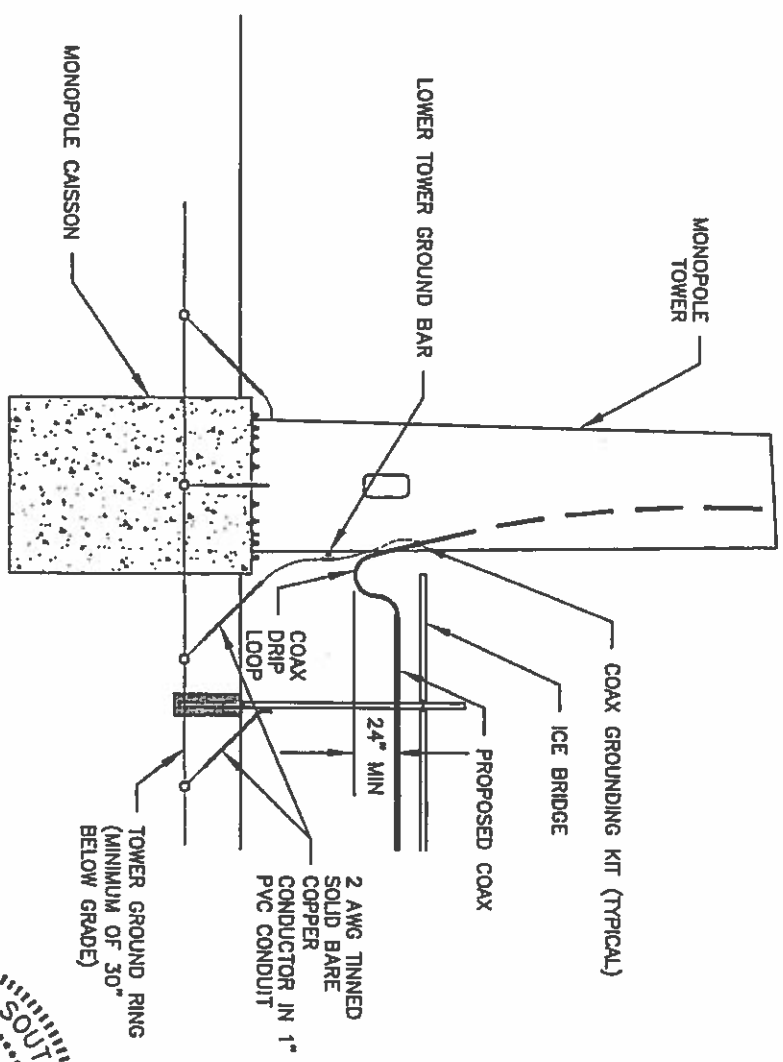
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UTILITY TRENCH DETAIL (TYP.)
SCALE: NOT TO SCALE



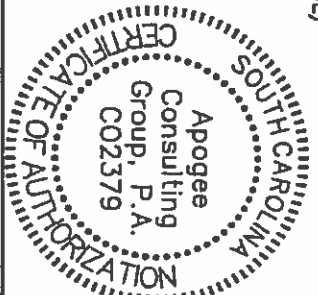
3
GROUND ROD TEST WELL
SCALE: NOT TO SCALE



2
GROUND ROD DETAIL
SCALE: NOT TO SCALE



4
DRIP LOOP DETAIL
SCALE: NOT TO SCALE



Verizon wireless
8821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28226

PROJECT INFORMATION:
VERIZON NAME:
RICHLAND CREEK
VERIZON No.: TBD
1842 BLUE RIDGE BOULEVARD
SPENGLA, SC 29972
OCONEE COUNTY

CURRENT ISSUE DATE:
7/15/15

ISSUED FOR:
CONSTRUCTION

REV. DATE: 7/15/15
ISSUED FOR: CONSTRUCTION
BY: JKM

CONSULTANT:
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2 SAN COURT, SUITE 450
PEACHTREE CORNERS, GA 30092
PHONE: 770-833-0744
WWW.KIMLEY-HORN.COM
SC LICENSE 000186

CONSULTANT:
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Raleigh, NC
Indianapolis, IN
Philadelphia, PA
Pittsburgh, PA
Virginia Beach, VA
Fort Collins, CO
www.aog-pa.com
(919) 858-7420
ACG PROJECT NO.: 2015.388

DRAWN BY: CHK. JKM
APR. JKM
LICENSER: OCB MAC JKM

SOUTH CAROLINA REGISTERED PROFESSIONAL ENGINEER
20429
KEVIN MASON
7/15/15

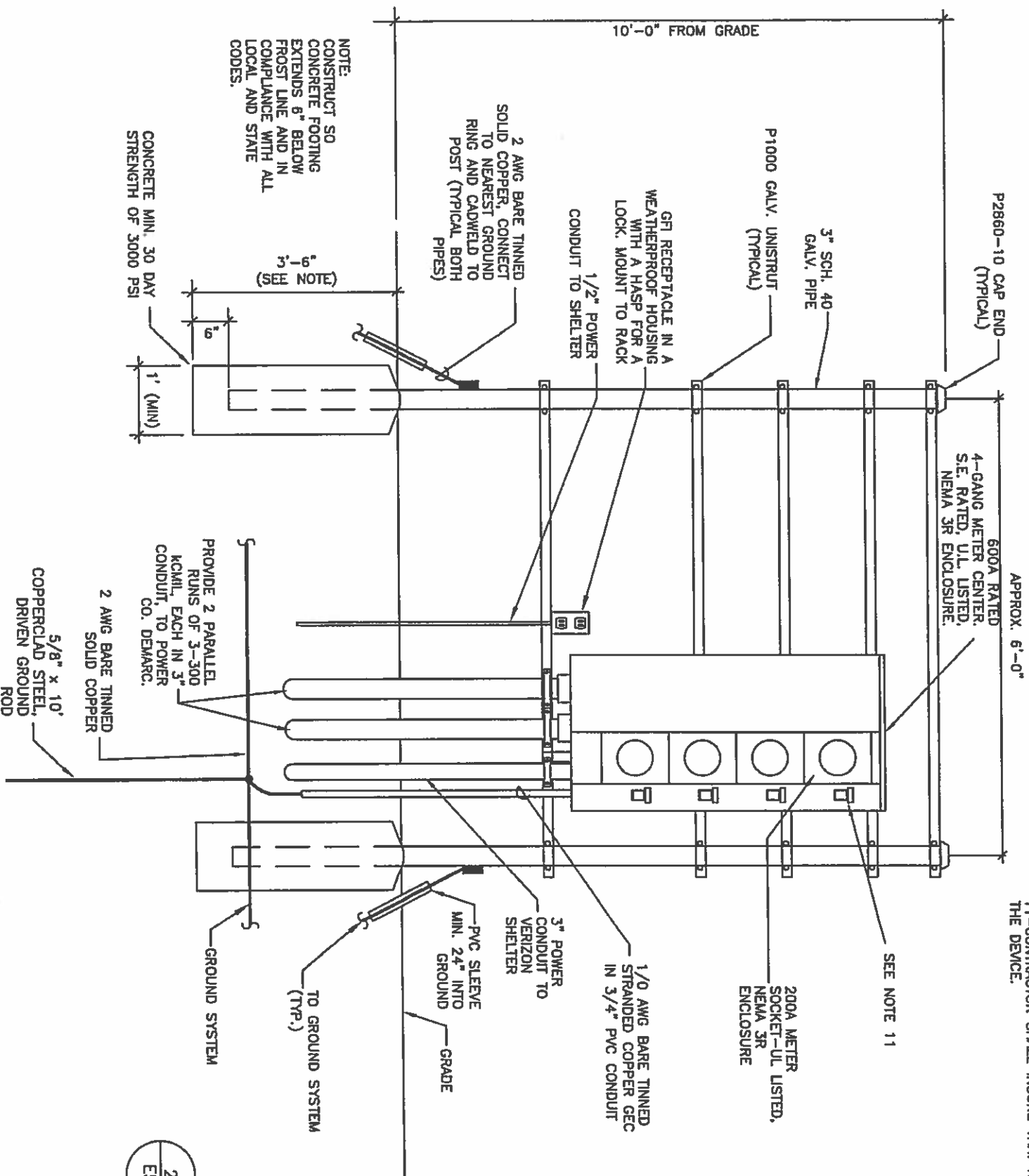
SHEET TITLE:
ELECTRICAL DETAILS

SHEET NUMBER:
E4 0
REVISION:
012055925

GENERAL NOTES:

- 1- ALL WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE, STATE BUILDING CODES AND THE LOCAL BUILDING CODES. ALL COMPONENTS SHALL BE U.L. LISTED.
- 2- REFER TO SITE LAYOUT PLAN FOR THE EXACT LOCATION OF H-FRAME.
- 3- CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANY FOR METER.
- 4- CONTRACTOR TO PROVIDE AND INSTALL METER SOCKET.
- 5- CONTRACTOR TO LOCATE METER RACK TO ENSURE WORKING SPACES REQUIRED BY THE NEC (ART. 110.26), STATE, OR LOCAL CODES ARE MAINTAINED BETWEEN FRONT OF ENCLOSURES AND THE CHAIN LINK FENCE.

- 6- SHOW LOCATION (INCLUDING DIMENSIONS) OF ALL CAPPED UNDERGROUND CONDUIT ON FINAL AS-BUILT DRAWINGS SUBMITTED TO OWNER.
- 7- COORDINATE EXACT LOCATION OF UNDERGROUND FEEDERS AND CIRCUITRY WITH THE OWNER.
- 8- CONTRACTOR SHALL COORDINATE WITH LOCAL ELECTRICAL AUTHORITY HAVING JURISDICTION (A.H.J.) AND OTHER TRADES TO DETERMINE "FROST" LINE, AND TYPES OF RACEWAYS REQUIRED FOR INSTALLATION.
- 9- ALL CONDUITS ABOVE GROUND SHALL BE GALVANIZED CONDUIT.
- 10- CONTRACTOR TO CONTACT LOCAL UTILITY PRIOR TO PURCHASING METER CENTER TO VERIFY ANY PARTICULAR REQUIREMENTS, SUCH AS LEVER BYPASS, ETC.
- 11- CONTRACTOR SHALL INSURE THAT NO OPERABLE DEVICE SHALL EXCEED 6'6" TO CENTER LINE OF THE DEVICE.



NOTE:
CONSTRUCT SO
CONCRETE FOOTING
EXTENDS 6" BELOW
FROST LINE AND IN
COMPLIANCE WITH ALL
LOCAL AND STATE
CODES.

CONCRETE MIN. 30 DAY
STRENGTH OF 3000 PSI

NOTE
(SEE NOTE 11)

PROVIDE 2 PARALLEL
RUNS OF 3-3000
KCMIL, EACH IN 3"
CONDUIT, TO POWER
CO. DEMARC.

2 AWG BARE TINNED
SOLID COPPER
5/8" x 10'
COPPERCLAD STEEL,
DRIVEN GROUND
ROD

200A METER
SOCKET-UL LISTED,
NEMA 3R
ENCLOSURE

SEE NOTE 11

1/0 AWG BARE TINNED
STRANDED COPPER GEC
IN 3/4" PVC CONDUIT

3" POWER
CONDUIT TO
VERIZON
SHELTER

PVC SLEEVE
MIN. 24" INTO
GROUND

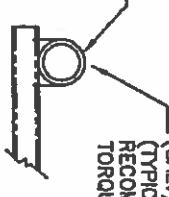
TO GROUND SYSTEM
(TYP.)

GROUND SYSTEM

ES

UNISTRUT SUPPORT

SCALE: NOT TO SCALE



UNISTRUT PIPE/CONDUIT
CLAMP P1119 OR P2558-35
(GALV)
(TYPICAL) FOLLOW MANUF.
RECOMMENDATIONS FOR BOLT
TORQUE

3-1/2" O.D.
POST

ES

H-FRAME DETAIL

SCALE: NOT TO SCALE

ES

Verizon wireless
801 RESOURCE DRIVE
COLUMBIA, NORTH CAROLINA 28028

PROJECT INFORMATION:
VERIZON NAME:
RICHLAND CREEK
VERIZON NO.: TBD
1642 BLUE RIDGE BOULEVARD
SERENA, SC 29672
DOONEE COUNTY

CURRENT ISSUE DATE:
7/15/15

ISSUED FOR:
CONSTRUCTION

REV./DATE	ISSUED FOR	BY
0 7/15/15	CONSTRUCTION	JRM

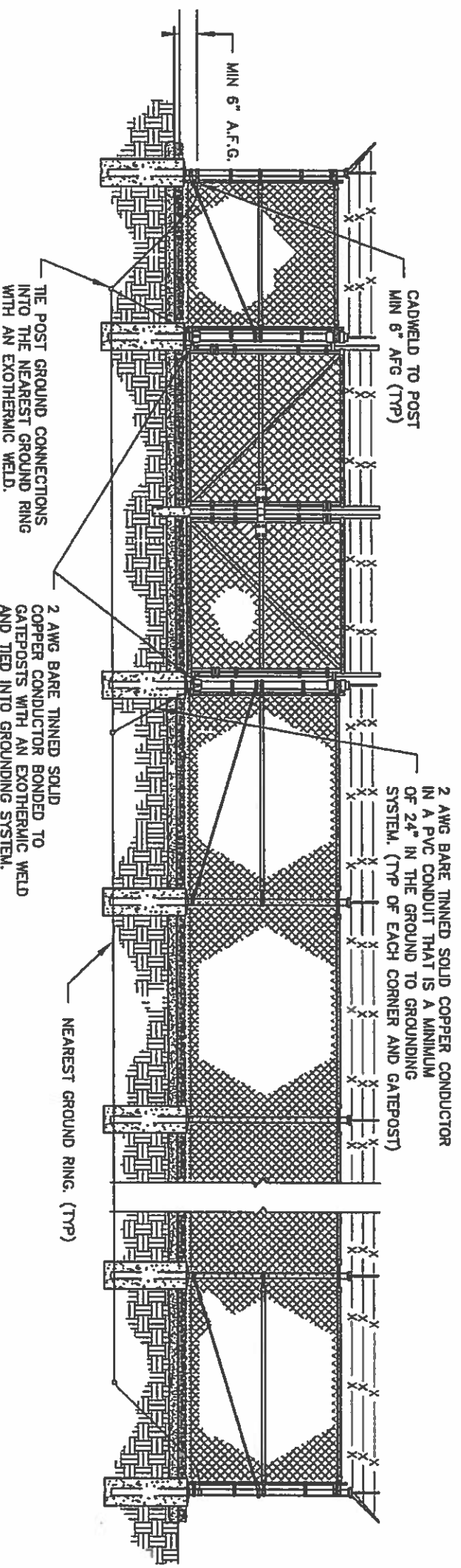
Kimley»Horn
2 SAN COURT, SUITE 450
PEACHTREE CORNERS, GA 30092
PHONE: 770-823-0744
WWW.KIMLEY-HORN.COM
ST. LOUIS, MISSOURI

CONSULTANT:
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Fort Collins, CO
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ACG PROJECT NO.: 2015.388

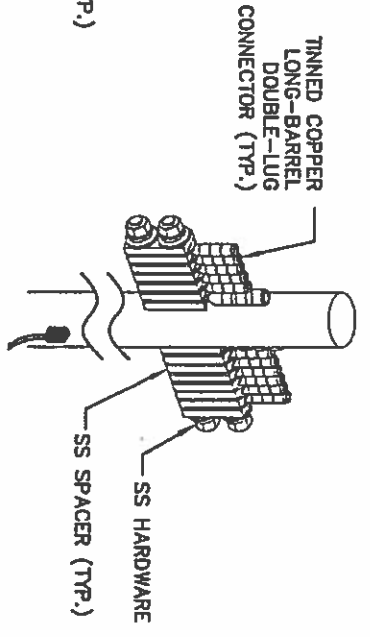
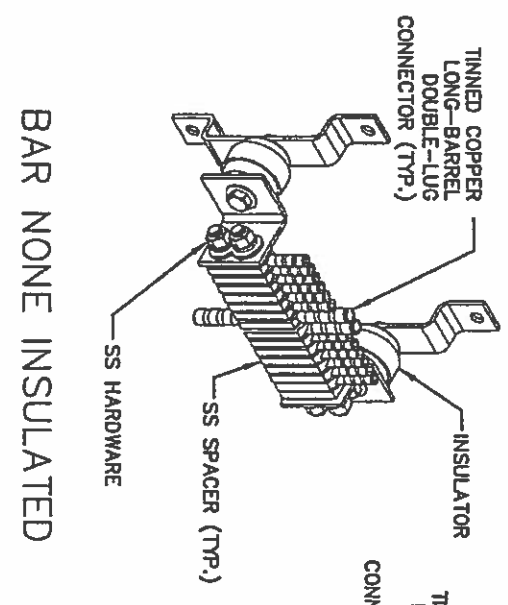
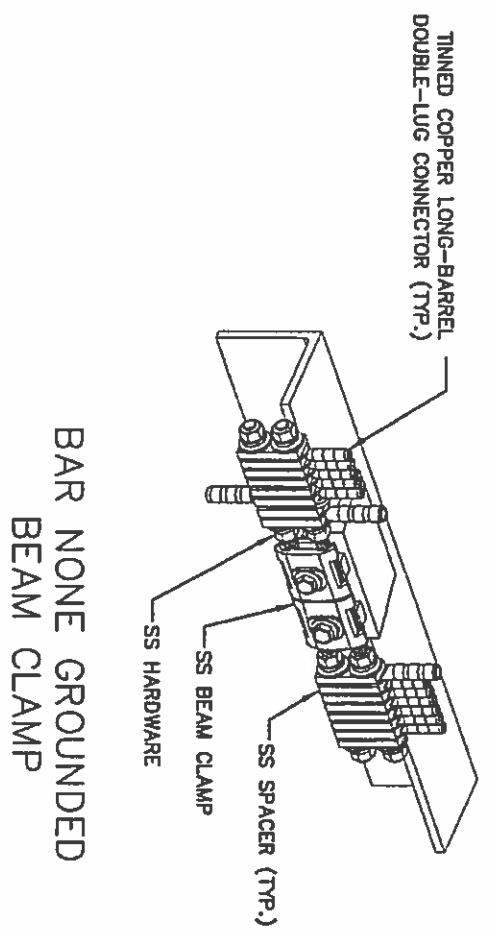
DRAWN BY: CHK
APV:
OCB MAC
LICENSER: JRM

SOUTH CAROLINA REGISTERED PROFESSIONAL ENGINEER
20429
KEVIN MASSEY
7/15/15

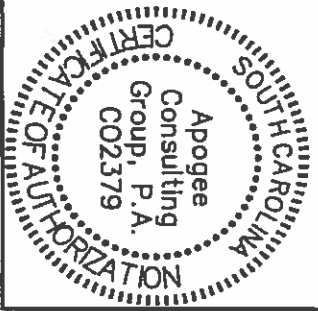
ELECTRICAL DETAILS
SHEET NUMBER: ES
REVISION: 0
012055925



1
FENCE GROUNDING DETAIL
 SCALE: NOT TO SCALE



2
BAR NONE GROUND BAR
 SCALE: NOT TO SCALE



Verizon Wireless
 8801 RESERVE DRIVE
 CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:
 VERIZON NAME:
 RICHLAND CREEK
 VERIZON No.: TBD
 1842 BLUE RIDGE BOULEVARD
 SPUR 4, SC 28072
 OCONEE COUNTY

CURRENT ISSUE DATE:
 7/15/15

ISSUED FOR:
 CONSTRUCTION

REV.	DATE	ISSUED FOR	BY
0	7/15/15	CONSTRUCTION	JKM

CONSULTANT:

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 PEACHTREE CORNERS, GA 30082
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 WWW.KIMLEY-HORN.COM
 SC License 00018

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 ACG PROJECT NO.: 2015 388

DRAWN BY: CHK. APV.
 OCB NAC JKM
 LICENSED:

SOUTH CAROLINA REGISTERED PROFESSIONAL ENGINEER
 20429
 KEVIN MASON
 7/15/15

SHEET TITLE:
ELECTRICAL DETAILS

SHEET NUMBER: **E6**
 REVISION: **0**
 012055925

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Network Operations



Verizon Wireless
8921 Research Drive
Charlotte, North Carolina 28262

Phone 704 510-8500

July 2, 2015

Oconee County
Community Development
Planning & Zoning Division
415 S Pine St.
Walhalla, SC 29691

Re: Proposed Verizon Wireless Telecommunications Tower on
1642 Blue Ridge Boulevard, Seneca SC 29672
Parcel # 207-00-02-008
Verizon Site Name: **Richland Creek**

Dear Sirs:

I am providing this Letter to comply with Zoning Code Sections:

A. Sec. 32-134. General requirements (d) – Removal

Verizon Wireless hereby agrees that it will remove the proposed tower and restore the site to its original condition at its own expense, if use of said tower is discontinued for a continuous period of one year.

Further, Verizon Wireless will notify the county within 30 days if telecommunications cease operations. The tower will be removed within 120 days of the date of the end of such one year period.

B. Section 32-138 Application Requirements (6) Alternative to co-location or stealth design

Verizon Wireless engineers have determined that the Verizon Wireless network requires that the tower that we are referring as "Richland Creek" be located within a certain portion of Oconee County.

B. Section 32-138 Application Requirements (6) Alternative to co-location or stealth design (Continued)

Verizon Wireless had done a review of said area to locate any existing sites that could serve as an alternative to constructing a new tower. After doing a thorough review of the search area, Verizon Wireless was not able to locate any existing cell towers or buildings that are of adequate height to provide a co-location option for these antennas.

Very truly yours,



Mike Haven
Real Estate Manager
Verizon Wireless
RE/ Regulatory

ULS License

Cellular License - KNKQ351 - Cellco Partnership

Call Sign	KNKQ351	Radio Service	CL - Cellular
Status	Active	Auth Type	Regular
Market			
Market	CMA625 - South Carolina 1 - Oconee	Channel Block	A
Submarket	0	Phase	2
Dates			
Grant	09/05/2012	Expiration	10/01/2022
Effective	09/05/2012	Cancellation	

Five Year Buildout Date

05/11/1998

Control Points

3 500 West Dove Rd., TARRANT, Southlake, TX
P: (800)264-6620

Licensee

FRN	0003290673	Type	General Partnership
-----	------------	------	---------------------

Licensee

Cellco Partnership 1120 Sanctuary Pkwy, #150 GASA5REG Alpharetta, GA 30009-7630 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:LicensingCompliance@VerizonWireless.com
--	---

Contact

Verizon Wireless Licensing - Manager LicensingCompliance@VerizonWireless.com Alpharetta, GA 30009-7630 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:LicensingCompliance@VerizonWireless.com
--	---

Ownership and Qualifications

Radio Service Type	Mobile
Regulatory Status	Common Carrier Interconnected Yes

Alien Ownership

Is the applicant a foreign government or the representative of any foreign government?	No
Is the applicant an alien or the representative of an alien?	No
Is the applicant a corporation organized under the laws of any foreign government?	No
Is the applicant a corporation of which more than one-fifth of the capital stock is owned of record or voted by aliens or their	No

representatives or by a foreign government or representative thereof or by any corporation organized under the laws of a foreign country?

Is the applicant directly or indirectly controlled by any other corporation of which more than one-fourth of the capital stock is owned of record or voted by aliens, their representatives, or by a foreign government or representative thereof, or by any corporation organized under the laws of a foreign country? **Yes**

If the answer to the above question is 'Yes', has the applicant received a ruling(s) under Section 310(b)(4) of the Communications Act with respect to the same radio service involved in this application? **Yes**

Basic Qualifications

The Applicant answered "No" to each of the Basic Qualification questions.

Demographics

Race

Ethnicity

Gender



Faulk & Foster

LETTER OF AUTHORIZATION

APPLICATION FOR ZONING/LAND USE/BUILDING PERMITS

Site Name: **RICHLAND CREEK**

William Dick, on behalf of Parkway Real Estate Holding Corporation SC LLC the owners of the real property located at 1642 Blue Ridge Boulevard, Seneca SC 29672, which is bears Oconee County tax ID #24578-09-02-008 authorizes Faulk and Foster Real Estate Services, Inc. including its employees and agents, to act as an agent on the company's behalf for the purpose of performing all and every act that is required, necessary or appropriate to prepare, sign, submit, file and present on my/our behalf building, permitting, zoning, and /or land use applications to obtain land use changes, special exceptions, zoning variances, zoning permits, conditional use permits, special use permits, administrative permits, construction permits, operational permits, building permits, and other approvals or permits that may be required for the construction of a communications facility at the above described real property.

The undersigned hereby certifies to being the fee owner(s) of the real property described above and that to the best of my/our knowledge the information contained within this authorization is true and correct.

William Dick

Site Impact Analysis

**A proposed 95' Monopole Communication Tower
Verizon Wireless Site Name: Richland Creek**

**To be located at:
1642 Blue Ridge Boulevard, Seneca, South Carolina 29672
Verizon Site #: TBD
PIN # 207-00-02-008**

Prepared for:

**Kimley-Horn and Associates, Inc.
2 Sun Court, Suite 450
Norcross, Georgia 30092**

Date of Balloon Test: July 7, 2015

Mr. Keith Markland, Kimley-Horn & Associates, Inc.

RE: Site Impact Analysis (Balloon Test and Photo-simulations) in connection with a proposed 95' monopole communication tower to be located at 1642 Blue Ridge Boulevard, Seneca, South Carolina consisting of views from various Locations.

Dear Mr. Markland,

Per your request, we conducted a Site Impact Analysis (balloon test and photo-simulations) on July 7, 2015. This analysis was conducted by floating a red balloon approximately 32"- 36" in diameter at a height of 95' at the proposed tower location.

The site is accessed from Blue Ridge Boulevard and goes into the Parkway Real Estate Holding property around the rear of the building approximately 1,715 feet.

The test was conducted in the morning from 10:45am through the early afternoon at 1:00pm on July 7th. The weather was sunny with mostly clear skies and wind conditions were mild.

The Intellicast Weather Observations (www.intellicast.com) for this time period indicated a Westerly wind averaging approximately 2 mph during the entire balloon test.

The procedure for the balloon test was as follows: We arrived on site Tuesday morning, July 7th, to inspect the site, which was marked at the four corners with wooden stakes and surveyor's tape. A wooden stake also indicated the spot where the tower would be located. We set up the balloon test area and equipment then promptly launched the balloon at 10:45am. We drove the entire area within a 1 mile radius of the site and marked on a map six locations. Because of the evergreen pine trees surrounding the site we couldn't find any areas where the balloon was visible from the west. See photos #1 & #2. We then took photos at each of the locations indicated on the attached map so that photosims could be created.

Attached to this report is an aerial map showing each viewpoint location along with a list of each location identified by a description and its coordinates. Each view location is numbered to correspond to the vantage point where photos were taken and from which photo-simulations were composed.

Please see the Google Earth map, DeLorme Street map and Viewpoint Location List accompanying this report.

Regarding the photos, I would typically remain at a given Location for several minutes and took numerous photos in order to have an optimal view of the balloon. Apart from visual observations, I was in frequent communication with my assistant who remained at the balloon tether site/proposed tower location the whole while. He was able to confirm when the balloon was at its full height, the most opportune time to take a picture.

Please feel free to contact me at your convenience should you have any questions or comments.

Sincerely,

David Best for Chase Real Estate Services,

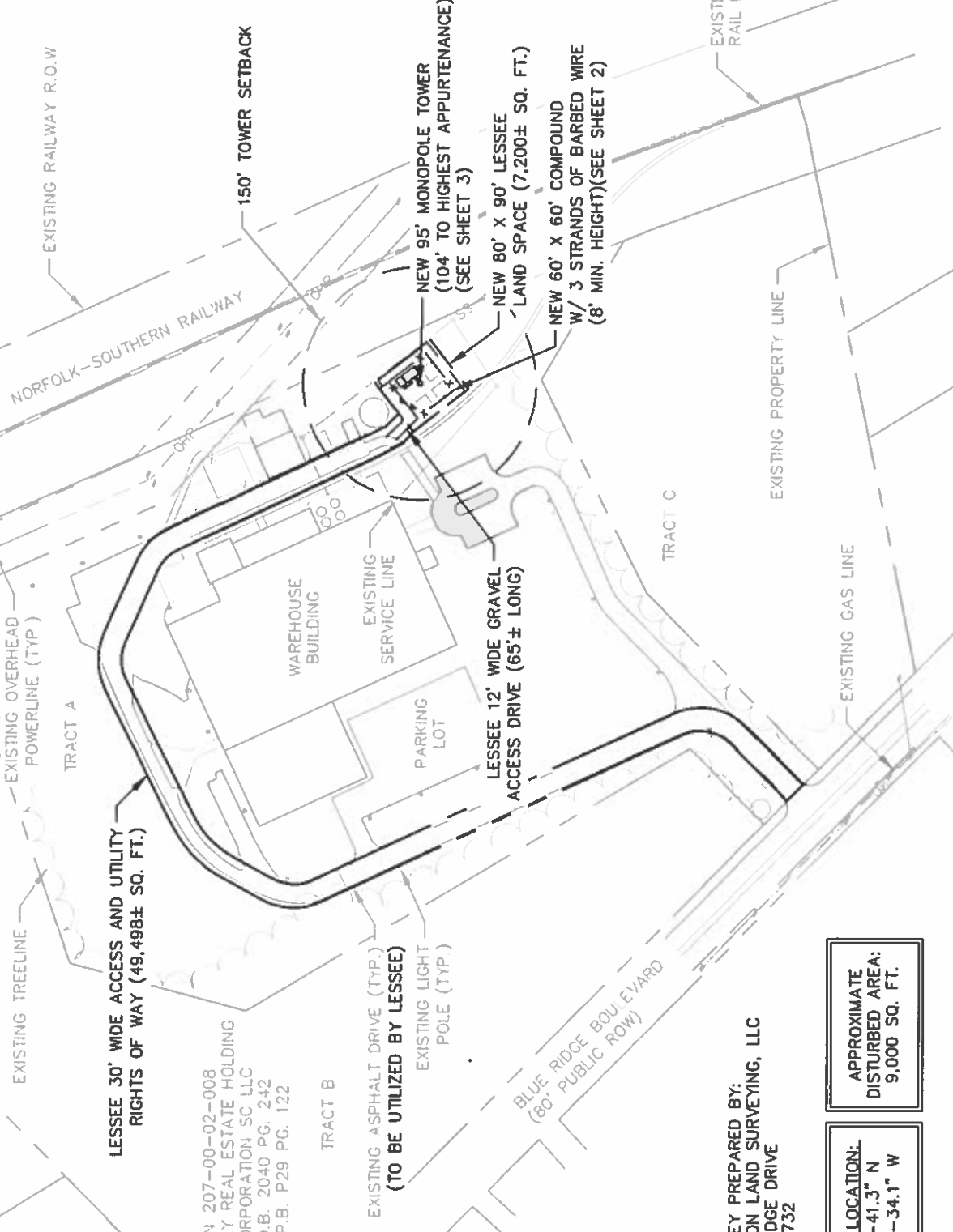
A handwritten signature in black ink that reads "David Best". The signature is written in a cursive, slightly slanted style.

VERIZON WIRELESS APPROVAL

DATE

PROPERTY OWNER APPROVAL

DATE



LESSEE 30' WIDE ACCESS AND UTILITY RIGHTS OF WAY (49,498± SQ. FT.)

PIN 207-00-02-008
PARKWAY REAL ESTATE HOLDING CORPORATION SC LLC
D.B. 2040 PG. 242
P.B. P29 PG. 122

TRACT B

EXISTING ASPHALT DRIVE (TYP.)
(TO BE UTILIZED BY LESSEE)
EXISTING LIGHT POLE (TYP.)

LESSEE 12' WIDE GRAVEL ACCESS DRIVE (65'± LONG)

NEW 95' MONOPOLE TOWER (104' TO HIGHEST APPURTENANCE) (SEE SHEET 3)

NEW 80' X 90' LESSEE LAND SPACE (7,200± SQ. FT.)

NEW 60' X 60' COMPOUND W/ 3 STRANDS OF BARBED WIRE (8' MIN. HEIGHT)(SEE SHEET 2)

TRACT C

UNDERLYING SURVEY PREPARED BY:
CAROLINA PRECISION LAND SURVEYING, LLC
5638 NORWOOD RIDGE DRIVE
ROCK HILL, SC 29732
SC PLS# 29577

TOWER CENTER LOCATION:
LAT: 34°-42'-41.3" N
LONG: 82°-59'-34.1" W

APPROXIMATE DISTURBED AREA:
9,000 SQ. FT.

REV 1: REVISED LEASE AREA & COMPOUND PER COMMENTS FROM CLARK LAW, P.C.

JOB No.:	012055925
DATE:	05/27/15
REV:	1
DRAWN:	KBB
CHECKED:	CDS

Kimley»Horn
2 SUN COURT, SUITE 450, PEACHTREE CORNERS, GA 30092
PHONE: 770-825-0744 WWW.KIMLEY-HORN.COM
SC License C00186

Site Visit Attendees:
Christopher Stranga
Tim Barker
Dan Brown

PROPOSED MONOPOLE TOWER
RICHLAND CREEK
1642 BLUE RIDGE BOULEVARD
SENECA, SC 29672
OCONEE COUNTY

OVERALL SITE PLAN
SHEET 1 OF 3
SCALE: 1" = 200'
NOT FOR CONSTRUCTION

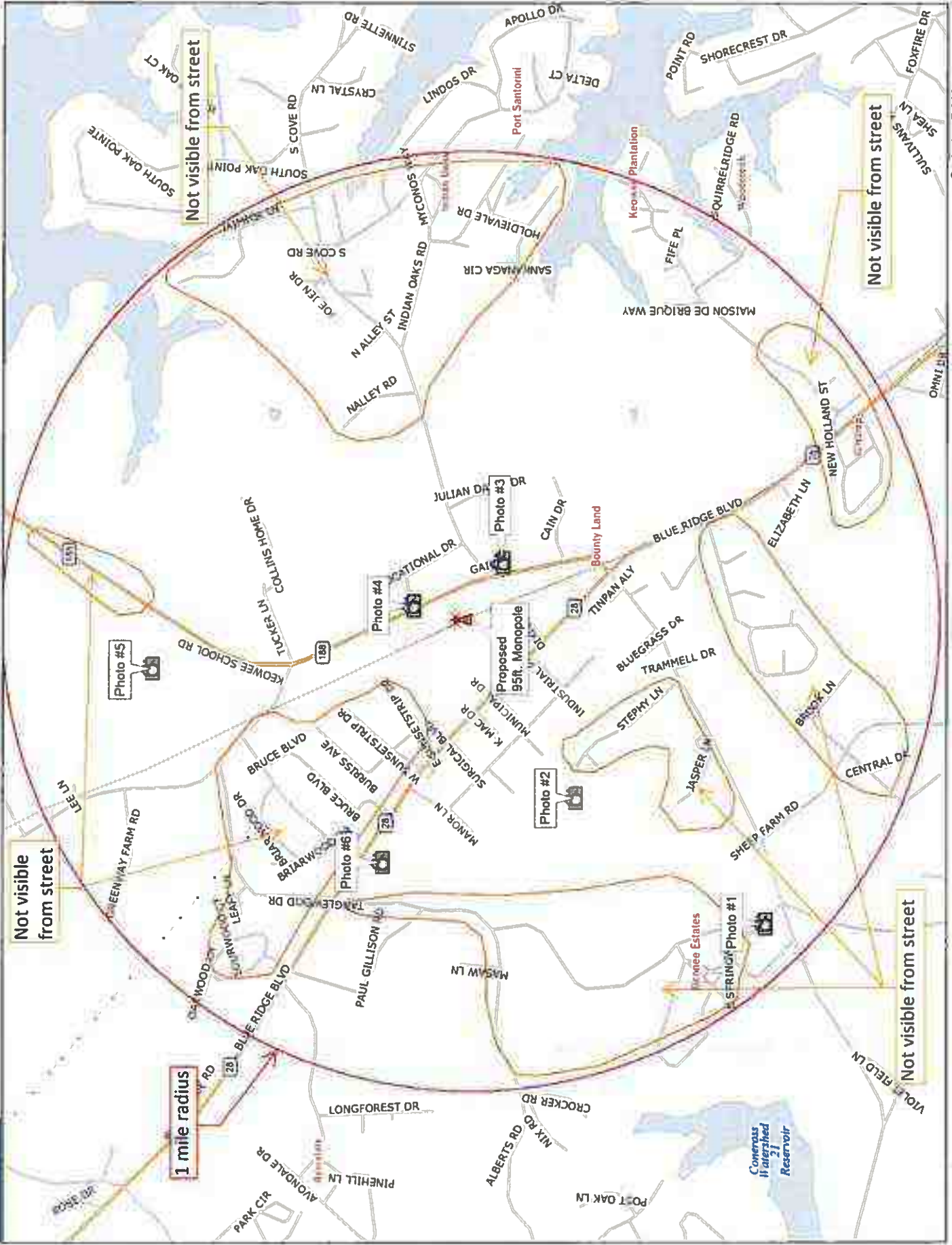
This document, together with the drawings and design presented herein, is prepared only for the specific purpose and shall not be used for any other purpose. It is the responsibility of the user to verify the accuracy of the information and to obtain all necessary permits and approvals. Kimley-Horn and Associates, Inc. shall not be held liable for any errors or omissions in this document without written authorization and signature by Kimley-Horn and Associates, Inc. Copyright Kimley-Horn and Associates, Inc. 2015

Proposed Richland Creek Cell Tower

Proposed 95' Monopole Coordinates: N34-42-41.3 / W82-59-34.1

Viewpoint Locations/Photo Numbers for Balloon Test Photos

1. Approx. 103 Oconee Estates Rd. (not visible)	N34-42-8.74/W83-0-14.97
2. 147 Camelot Dr. (not visible)	N34-42-29.83/W82-59-58.20
3. Keowee Cove Apartments (Gail Court)	N34-42-37.93/W82-59-26.21
4. Keowee School Rd. & Vocational Dr.	N34-42-47.91/W82-59-32.09
5. His Way Cir.	N34-43-16.83/W82-59-40.54
6. Cemetery	N34-42-51.34/W83-0-6.71





Not visible from street

Not visible from street

Photo #5

VZW Tower

Photo #3

Photo #2 (not visible)

Photo #6

28

© 2015 Google

Not visible from street

1 mile radius

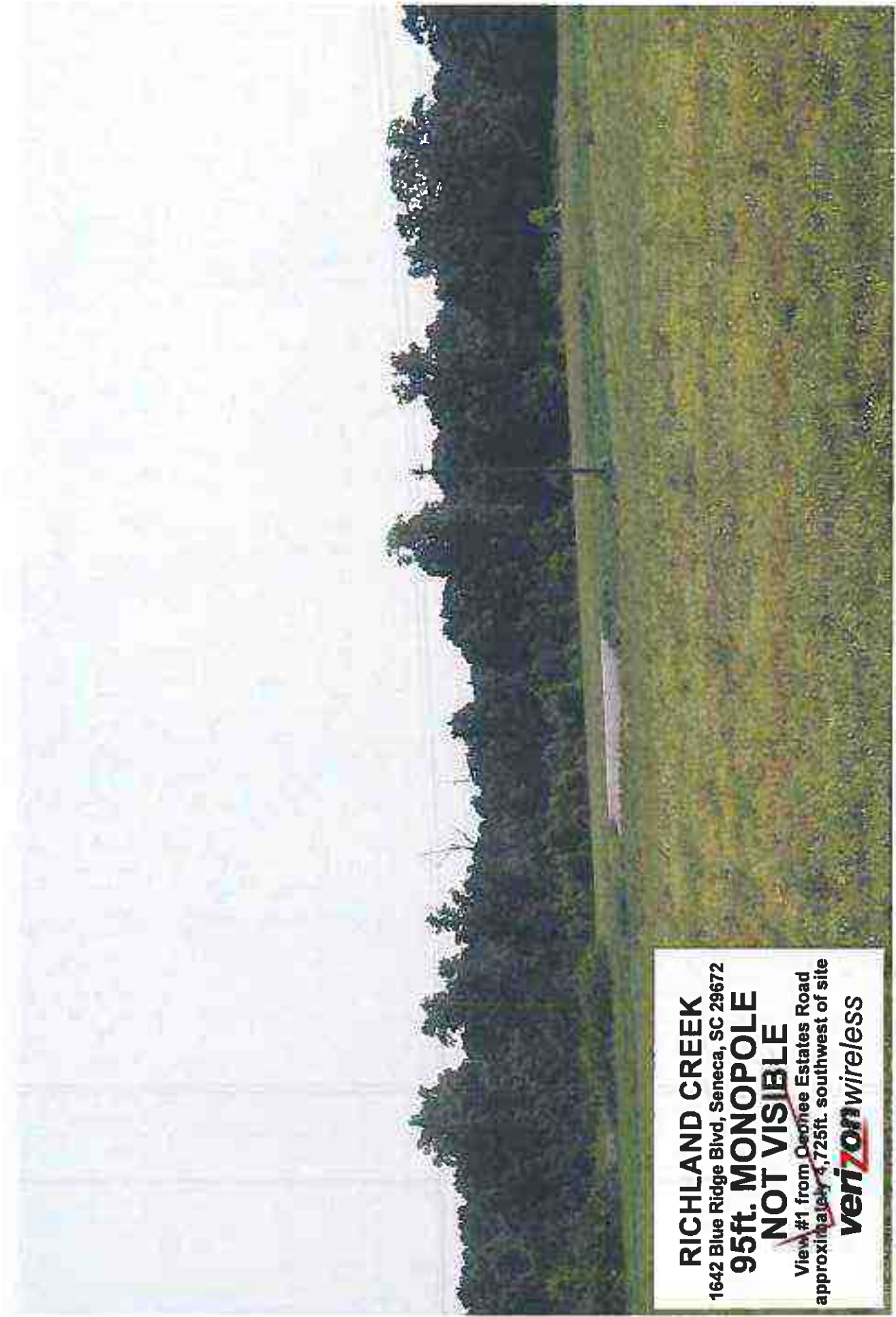
Photo #1 (not visible)

Not visible from street

188

County Road 188

Map data © 2014 Google, Imagery © 2014 Google, Street View © 2014 Google



RICHLAND CREEK
1642 Blue Ridge Blvd, Seneca, SC 29672
95ft. MONOPOLE
NOT VISIBLE
View #1 from Deepsee Estates Road
approximately 4,725ft. southwest of site
verizonwireless



RICHLAND CREEK
1642 Blue Ridge Blvd, Seneca, SC 29672

95ft. MONOPOLE
NOT VISIBLE

View #2 from Camelot Drive
approx. 2.3mi. west-southwest of site

verizonwireless

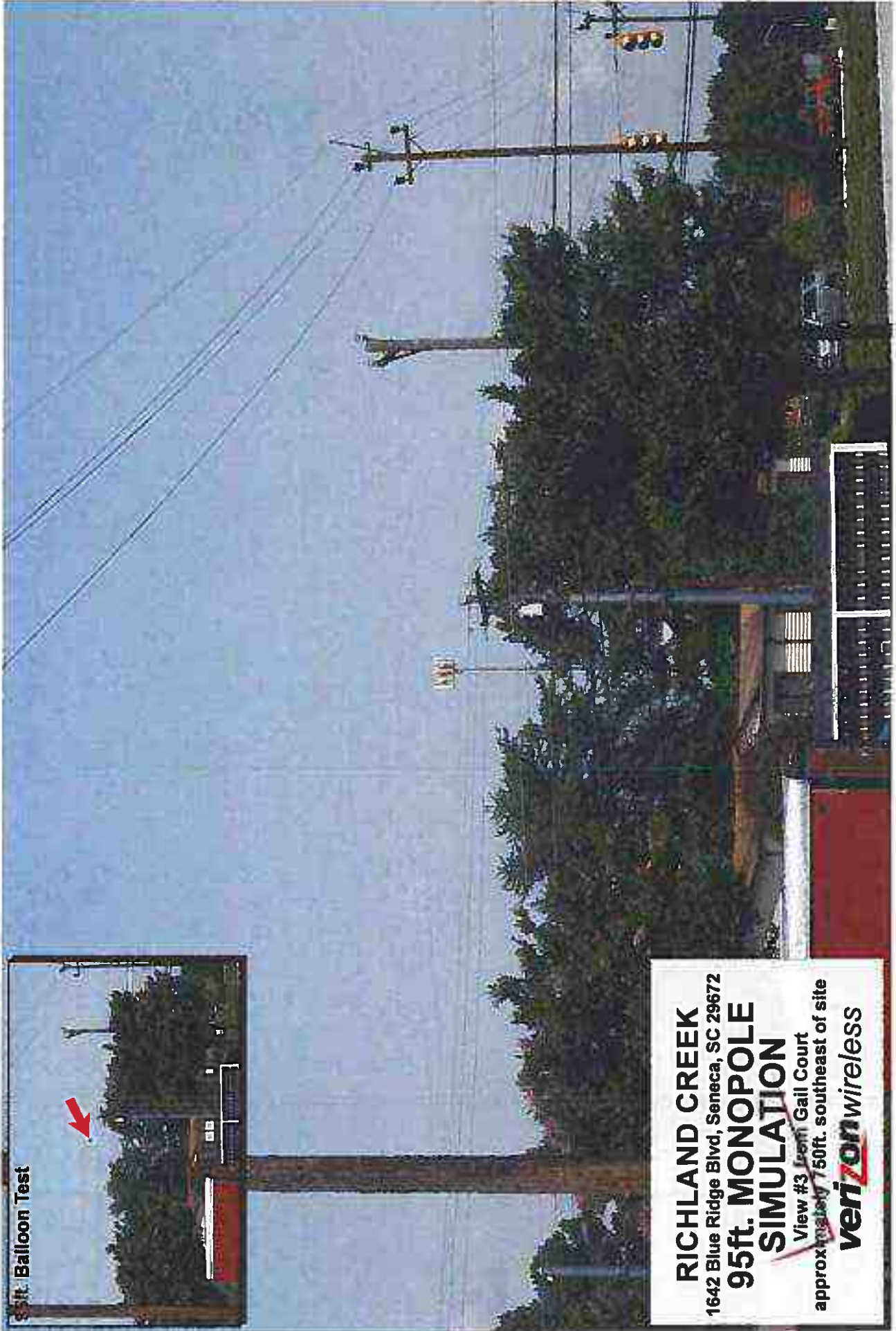
85 ft. Balloon Test



RICHLAND CREEK
1642 Blue Ridge Blvd, Seneca, SC 29672
95ft. MONOPOLE
SIMULATION

View #3 from Gail Court
approximately 750ft. southeast of site

verizonwireless



95ft. Balloon Test



RICHLAND CREEK
1642 Blue Ridge Blvd, Seneca, SC 29672

**95ft. MONOPOLE
SIMULATION**

View #4 from Vocational Drive
approx. 700ft. north-northeast of site

verizonwireless

95ft. Balloon Test



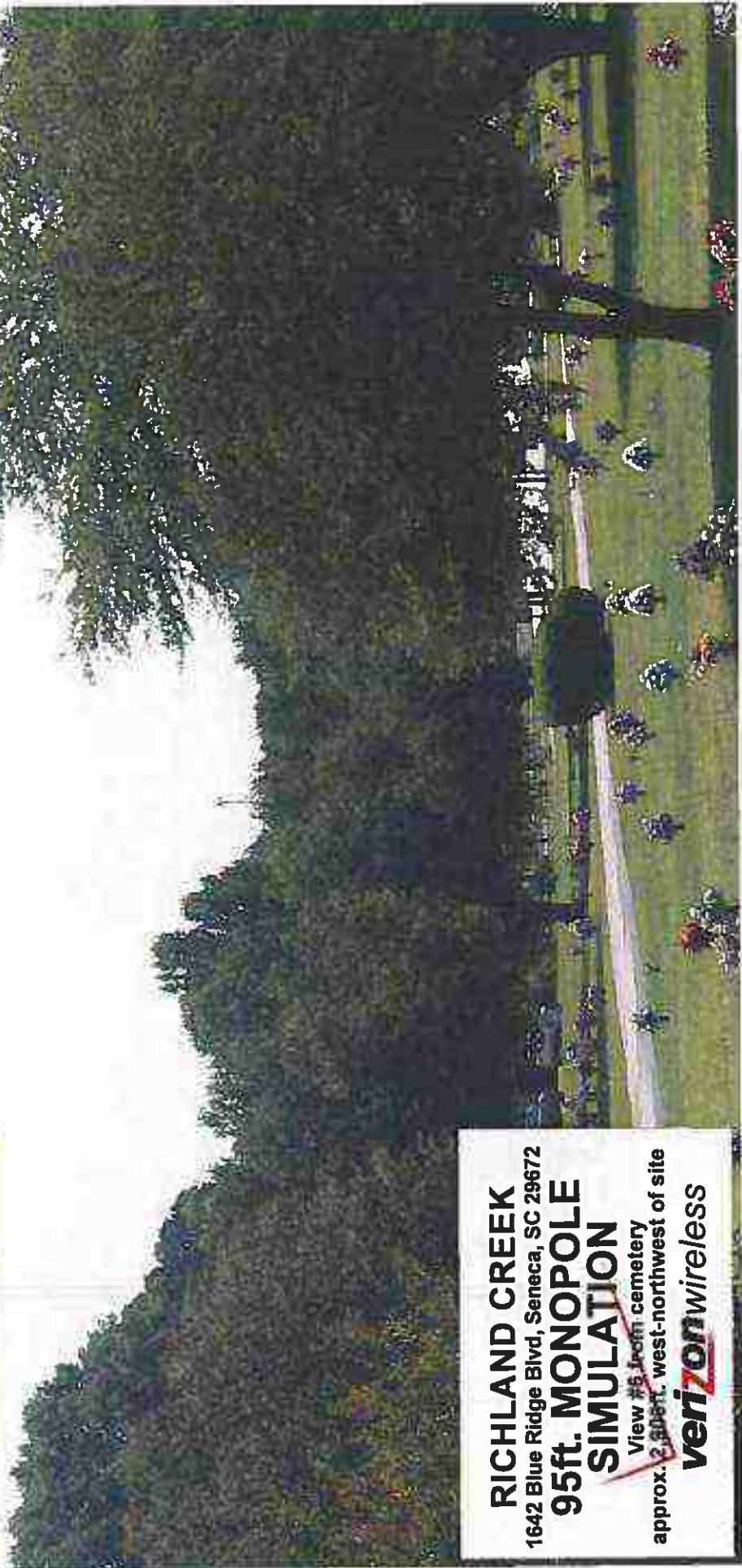
RICHLAND CREEK
1642 Blue Ridge Blvd, Seneca, SC 29672

**95ft. MONOPOLE
SIMULATION**

View #5 from Flis Way Circle
approximately 3,625ft. north of site

verizonwireless

95ft. Balloon Test



RICHLAND CREEK

1642 Blue Ridge Blvd, Seneca, SC 29672

**95ft. MONOPOLE
SIMULATION**

View #5 from cemetery
approx. 2.5mi. west-northwest of site

verizonwireless



9221 Lyndon B. Johnson Freeway, #204, Dallas, TX 75243 * PHONE 972-231-8893 * FAX 1-866-364-8375
www.allprocgi.com * e-mail: info@allprocgi.com

July 21, 2015

Oconee County Planning Department
415 S. Pine Street
Walhalla, SC 29691

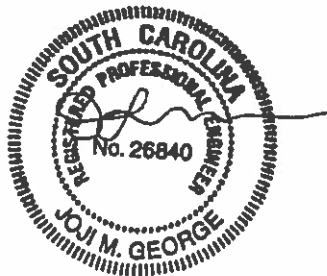
Ref: *Site Name – Richland Creek – 95' Monopole Tower (104' with Appurtenance)
ACGI# 15-2579
Jurisdiction: Oconee County, SC
Site Address: 1642 Blue Ridge Boulevard, Seneca, SC 29672, Oconee County
Scope of Work: Tower Specification Letter
Applicable Code: IBC2012 & ASCE 7-10, Risk Category II, TIA/EIA-222-G
Wind Speed: TIA-222-G (90 mph basic wind speed), IBC2012 (115 mph ultimate wind speed),
Exposure "C"*

This letter is provided in reference to the above mentioned site for the following specifications:

1. The purpose of this tower is to support telecommunication antenna equipment for cellular coverage of the affected area.
2. Above reference tower to be designed to meet or exceed industry standards defined by TIA/EIA-222-G, "Standard Standards for Steel Antenna Towers and Antenna Supporting Structures" (TIA/EIA-222-G Standard).
3. The total height of tower is 95' (104' with Appurtenance). All site location data to be re-verified by survey.
4. Above reference tower shall contain only equipment meeting standards of the Federal Communication Commission (FCC).
5. The tower must be designed and certified by an Engineer to be structurally sound and as a minimum in conformance with the adopted Building code. This tower to be designed using the following minimum wind speed criteria as defined by TIA/EIA-222-G for Oconee County, SC:
 - i) 90 mph 3-second-gust basic wind speed with no ice.
 - ii) 30 mph 3-second-gust wind speed with 0.75" ice.The "3-second-gust wind speed refers to a wind measured at 33 ft. above the ground. Equations in TIA/EIA-222-G Standard take into account that the wind speed escalates with the increasing height of the tower.
6. In our opinion the possibility of a tower collapse is very unlikely. The tower to be designed using extreme wind and ice conditions. The wind speeds specified by TIA/EIA-222-G Standard are 50-years wind speeds. That is they have only a 2% statistical chance of occurring in any given year.
7. Although we cannot guarantee exactly how a tower would fall if it were to fail, but the most likely mode of failure will be buckling failure of one of the tower sections (weakest section) due to excessive compression loading. The tower is to be designed so that the fall radius remains within 70% of the total tower height.

If you have any other questions or concerns regarding our recommendations, please contact us.

Sincerely,
Bikash Khanal, EIT
07/21/2015



Approved by:

Joji M. George, P.E.
SC PE # 26840



Header Operations

July 2, 2015

Oconee County Planning Department
415 S. Pine Street
Walhalla, SC 29691

Re: Indemnification Letter for Verizon Wireless site: **Richland Creek,**
PIN: 207-00-02-008

Dear Mr. Anspach:

Verizon Wireless agrees to and shall indemnify and hold Oconee County harmless from and against any and all actions, cause of actions, demands, damages, injuries, judgments, liabilities, liens, losses, obligations, orders, proceedings, rights, and suits and any and all costs and expenses, including reasonable attorney's fees, litigation expenses, and interest) arising out of damage to real or personal property or injury to any person or in any way connected with the construction of, erection of, and/or maintenance of the communication tower and antenna, including the removal of said communication tower and antenna, as set forth in Section 32-138(7) of the Oconee County Zoning Ordinance.

Sincerely,

Sergei Mislevy
Executive Director-Network
Carolinas/Tennessee Region



CERTIFICATE OF LIABILITY INSURANCE

DATE(MM/DD/YYYY)
08/05/2015

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Aon Risk Services Northeast, Inc. New York NY Office 199 Water Street New York NY 10038-3551 USA	CONTACT NAME: PHONE (A/C. No. Ext): (866) 283-7122 FAX (A/C. No.): (800) 363-0105 E-MAIL ADDRESS:	
	INSURER(S) AFFORDING COVERAGE	
INSURED Verizon Communications Inc. 1095 Avenue of the Americas New York NY 10036 USA	INSURER A: National Union Fire Ins Co of Pittsburgh 19445	
	INSURER B: New Hampshire Ins Co 23841	
	INSURER C: Illinois National Insurance Co 23817	
	INSURER D:	
	INSURER E:	
	INSURER F:	

Holder Identifier :

COVERAGES **CERTIFICATE NUMBER: 570058924664** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS. **Limits shown are as requested**

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Standard Contractual Liability <input checked="" type="checkbox"/> X,C,U Not Excluded GENL AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			GL9575218	06/30/2015	06/30/2016	EACH OCCURRENCE \$5,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$5,000,000 MED EXP (Any one person) \$10,000 PERSONAL & ADV INJURY \$5,000,000 GENERAL AGGREGATE \$5,000,000 PRODUCTS - COMP/OP AGG \$5,000,000
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS			CA 533-95-32 AOS CA 533-95-33 MA CA 533-95-34 VA	06/30/2015	06/30/2016	COMBINED SINGLE LIMIT (Ea accident) \$2,000,000 BODILY INJURY (Per person) BODILY INJURY (Per accident) PROPERTY DAMAGE (Per accident)
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input type="checkbox"/> RETENTION						EACH OCCURRENCE AGGREGATE
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR / PARTNER / EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below			WC021942794 AOS WC021942799 NJ	06/30/2015	06/30/2016	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$4,000,000 E.L. DISEASE-EA EMPLOYEE \$4,000,000 E.L. DISEASE-POLICY LIMIT \$4,000,000

Certificate No : 570058924664

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Named Insured includes: Cellco Partnership dba Verizon wireless, One Verizon Way, Basking Ridge, New Jersey 07920. RE: Vzw
 Site: Richland Creek, Location Code: 277593, located at 1642 Blue Ridge Blvd. Seneca, DC 29672.

CERTIFICATE HOLDER**CANCELLATION**

Oconee County Attn: J. Marshall 415 S. Pine Street Walhalla SC 29691 USA	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE <i>Aon Risk Services Northeast, Inc.</i>
---	---



ADDITIONAL REMARKS SCHEDULE

AGENCY Aon Risk Services Northeast, Inc.		NAMED INSURED Verizon Communications Inc.	
POLICY NUMBER See Certificate Number: 570058924664			
CARRIER See Certificate Number: 570058924664	NAIC CODE	EFFECTIVE DATE:	

ADDITIONAL REMARKS

**THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORD FORM,
FORM NUMBER: ACORD 25 FORM TITLE: Certificate of Liability Insurance**

INSURER(S) AFFORDING COVERAGE	NAIC #
INSURER	
INSURER	
INSURER	
INSURER	

ADDITIONAL POLICIES If a policy below does not include limit information, refer to the corresponding policy on the ACORD certificate form for policy limits.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	LIMITS
	WORKERS COMPENSATION						
A		N/A		WC021942796 CA	06/30/2015	06/30/2016	
B		N/A		WC021942800 MA, ND, OH, WA, WI, WY	06/30/2015	06/30/2016	
B		N/A		WC021942795 MN	06/30/2015	06/30/2016	
C		N/A		WC021942797 FL	06/30/2015	06/30/2016	
B		N/A		WC021942798 ME	06/30/2015	06/30/2016	

Ordinance Compliance Statement

Re: Application for a Proposed Verizon Wireless communications tower

Applicant: Verizon Wireless by Faulk and Foster, on behalf of the property owner, Parkway Real Estate Holding Corporation SC LLC

Project Description: Verizon plans to construct a 95' monopole tower with a 9' lightning rod. Verizon will also place an 11'6" x 29' 5.5" equipment shelter within a fenced compound area at the tower base. Please see enclosed drawings and photos (Attached as Exhibit A), for details.

Verizon Site Name: RICHLAND CREEK

Location: 1642 Blue Ridge Boulevard, Seneca SC 29672

Parcel ID: 207-00-02-008

Property Owner: Parkway Real Estate Holding Corporation SC LLC

Verizon Wireless offers this Ordinance Compliance Statement in support of its application for a Special Exception for the above-referenced project. We have taken the liberty of recasting the relevant portions, our answers are in bold, and we have omitted sections not requiring an answer.

Sec. 32-134. General requirements.

(a)*Illumination.* Communication towers shall be illuminated only as required by the Federal Communication Commission (FCC) and/or the Federal Aviation Administration (FAA).

The proposed tower will not be required to be illuminated by the FCC or the FAA. The tower will be less than 200 ft. in height and there are no airports within 5 miles of the proposed location.

(b)*Color.* Communication towers shall only be painted with a gray, nonreflective paint unless otherwise required by state or federal regulations.

Verizon's proposed tower will be a galvanized steel finish that will appear gray and blend well with most sky conditions.

(d)*Removal.* A communication tower which use has been discontinued for a continuous period of one year, shall be removed within 120 days of the date of the end of such period. Companies must notify the county within 30 days if telecommunications cease operations at a tower or antenna. All structures, fencing, screening and other improvements must be removed, and the site must be returned to its original condition at the company's expense.

Verizon Wireless agrees to comply with this provision, please see attached letter, Exhibit B.

(h)*FCC license.* The owner of a communication tower shall possess a valid FCC license for the proposed activity, or at the discretion of the board, the owner shall provide other substantial documentation in lieu of FCC licensing proving to the board that the owner has a verifiable history of satisfactory communications tower construction and operation.

Verizon Wireless has authority granted by the FCC to transmit and a copy of the FCC license is annexed as Exhibit C.

(j)*Safety codes.* A communication tower shall comply with all applicable health, nuisance, noise, fire, building and safety code requirements.

Verizon Wireless agrees to comply with all applicable federal, state, and local laws and regulations.

(l)*Application of county land use regulations.* Land development regulations and other performance standards shall apply to the use, unless otherwise provided in this article.

Verizon's proposed site is in compliance with the applicable land development regulations.

Sec. 32-138. Application requirements.

The following information shall be submitted for all applications for approval of a communication tower:

(1) Specifications. Two copies of the specifications for proposed structures and antennae, including description of design characteristics and material.

Please see Exhibit A, attached

- (2) Site plan. Two copies of a site plan drawn to scale showing property boundaries, communication tower location, communication tower height, guy wires and anchors, existing structures, photographs or elevation drawings depicting typical design of proposed structures, parking, fences, landscape plan, and existing land uses on adjacent property. A site plan is not required if antenna is to be mounted on an approved existing structure. Prototypical drawings indicating various types of equipment to be located on the communication tower may be submitted at the time of the permit application. Identification of the owners of all antennae and equipment to be located on the site. Other equipment may be added to the communication tower without additional permits or inspections as long as electrical wiring is not required.

Please see Exhibit A, attached.

- (3) Location map. Two copies of a current map, or update for an existing map on file, showing locations of applicant's antennae, coverage areas, facilities, existing communication towers, and proposed communication towers, serving any property within the county are required. An applicant may request that specific proprietary or confidential information be withheld from the public record.

A map of the current Verizon sites and the coverage from said towers and the proposed coverage that will be in place after the addition of the Richland Creek site is annexed as Exhibit D

- (4) Owner authorization. Written authorization from the site owner for the application.

Please see the fully signed authorization annexed as Exhibit E.

- (5) Visual impact analysis. A line of sight analysis showing the potential visual and aesthetic impact on adjacent residential districts.

Please see the Site impact analysis, including photo simulations, attached as Exhibit F.

- (6) Alternative to co-location or stealth design. Co-located or stealth designs shall be required unless satisfactory documented evidence can be provided indicating that:
- a. The proposed antenna and equipment cannot be accommodated and function as required;
 - b. The applicant's technical design requirements are such that without unreasonable modifications they cannot function on any existing structure or communication tower under the control of applicant; and

- c. The applicant has considered all available publicly owned sites, and available privately owned sites occupied by a compatible use, including all applicable sites or locations or a combination of sites and locations as described under section 32-133(b) for priority of approval and the applicant has demonstrated that for the reasons described in section 32-133(b) that these sites and/or locations are unsuitable for operation of the facility under applicable state and federal communications regulations, the applicant's technical design requirements and/or valid economic reasons.

Please see a letter from an authorized representative of Verizon Wireless, which is attached as Exhibit B.

- (7) **Indemnity**. The applicant must show by certificate from a registered engineer that the proposed facility will contain only equipment meeting FCC rules, and must file with the planning director a written indemnification of the county and proof of liability insurance or financial ability to respond to claims up to \$1,000,000.00 in the aggregate which may arise from operation of the facility during its life, at no cost to the county, in a form approved by the county attorney.

Please see the following attached:

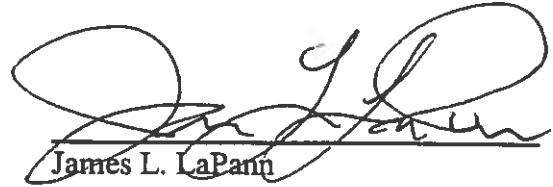
- **Exhibit G** – a certification from a registered engineer that the proposed facility will contain only equipment meeting FCC rules.
- **Exhibit H** - a written indemnification of the county.
- **Exhibit I** - proof of liability insurance or financial ability to respond to claims up to \$1,000,000.00 in the aggregate which may arise from operation of the facility during its life, at no cost to the county, in a form approved by the county attorney. – Proof of Insurance will be sent under separate cover.

(8) **Application fees**. All communication tower applications shall include a check made out to the county treasurer in an amount to be determined by the planning director, based upon a schedule of fees enacted by the county council. Additional fees may be imposed in order to offset the costs associated with processing applications for special exceptions, appeals, or variances.

Please see a check for Six Thousand Dollars (\$6,000.00) attached. A check for \$ 100.00 is being sent under separate cover.

Verizon Wireless respectfully submits this application for a Special Exception for this site for a telecommunications tower.

July 24, 2015

A handwritten signature in black ink, appearing to read "James L. LaPann", written over a horizontal line.

James L. LaPann
Zoning Specialist
Faulk & Foster
1707 Roxbury Drive, N
Wilson, N.C. 27893
(518) 791-3740
Jim.lapann@faulkandfoster.com